

Ordinary Meeting of Council

Thursday 23 March 2023 4.00pm Council Chambers 209 Comur Street, Yass

ATTACHMENTS TO REPORTS

Ordinary Meeting of Council

Attachments to Reports

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yass valley council

the country the people

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PLANNING PROPOSAL

Yass Valley LEP 2013
Housekeeping Amendment

March 2023

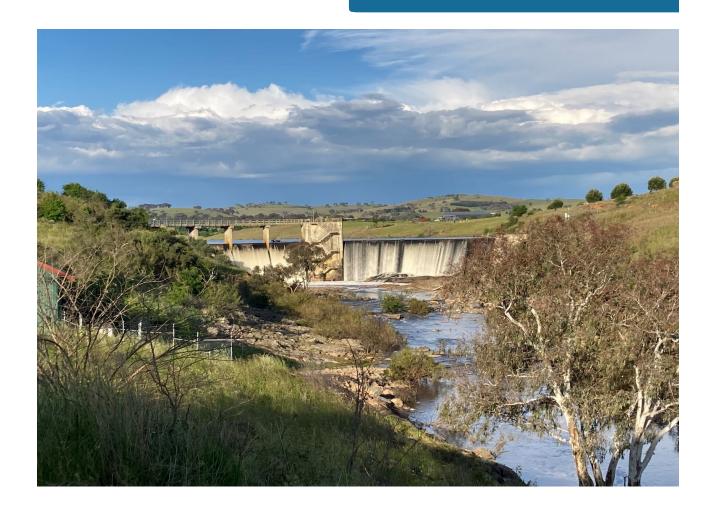


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Planning Proposal - YVLEP 2013 Housekeeping Amendment (2022)

PART 1 – OBJECTIVES/INTENDED OUTCOMES

The planning proposal is intended to amend the *Yass Valley Local Environmental Plan 2013 (YVLEP 2013)* to address numerous administrative, minor matters and anomalies that have become apparent since the previous 2018 Housekeeping Amendment to the *YVLEP 2013*, by making changes to and updating the Standard Instrument LEP and accompanying maps.

PART 2 – EXPLANATION OF PROVISIONS

The amendments proposed to the *YVLEP 2013* to achieve the intended outcome of the planning proposal, are identified below and are discussed individually in detail. Most of these amendments are deemed to be administrative in nature as they seek to make corrections to minor matters and errors in the *YVLEP 2013*.

Item 1: Add new land use term of 'Artisan Food and Drink Premises' to RU1 - Primary Production and RU4 – Primary Production Small Lots Zones

An additional land use term of 'artisan food and drink industry' was introduced by DPE through Planning circular #PS 18-008 issued on 31 August 2018, to provide clarity for the growing artisan and craft food and drink industry. The definition of 'Artisan Food and Drink Industry' is:

"Artisan food and drink industry means a building or place the principal purpose of which is the making or manufacture of boutique, artisan or craft food or drink products only. It must also include at least one of the following:

- a) a retail area for the sale of the products,
- b) a restaurant or cafe,
- c) facilities for holding tastings, tours, or workshops".

This new land use term is already permissible in those zones where 'light industry' is permissible within the YVLEP 2013. It is proposed to add this new land use term as permissible with consent in zone RU1 – Primary Production and RU4 – Primary Production Small Lots. The proposed addition of this land use term will support the economic development and value adding opportunities for businesses in these areas of the Yass Valley.

Clause 5.4 (10) of the YVLEP 2013 outlines controls for rural zones relating to the maximum floor area for retail sales of an artisan food and drink industry.

Item 2: Amend Land Zoning and Lot Size Maps for land to the North of the Recreation Ground at Barton Highway, Murrumbateman

The land under consideration in this item includes Lots 2,4,5 & 6 DP 1220039. The zone and lot size map extents do not correspond with the cadastral lot boundaries as shown in <u>Figure 1</u> and <u>Figure 2</u>. The subject land is zoned RU5 – Village, with some RU1 – Primary Production. The applicable Lot Size map is predominantly 1500 sqm, with 40 ha applying where the RU1 Primary Production Zone has been applied in error.

It is therefore recommended to amend and update the Land Zoning map for the subject land by zoning Lots 2,4,5 & 6 DP 1220039 RU5 – Village in their entirety with a MLS of 1500 sqm respectively, so that it aligns with the lot boundaries.

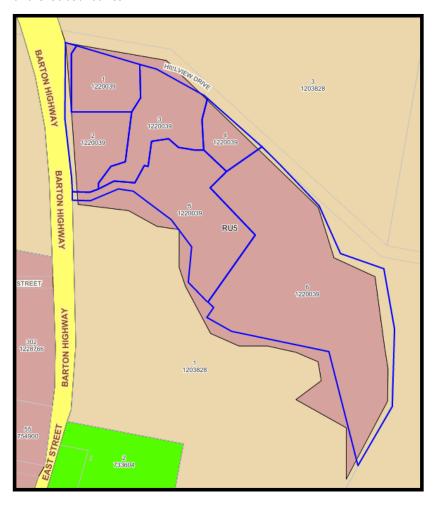


Figure 1: Existing Land Zoning Map – Amend the zoning of land outlined blue to align with the cadastre on the Land Zoning Map – Sheet LZN $_$ 005C

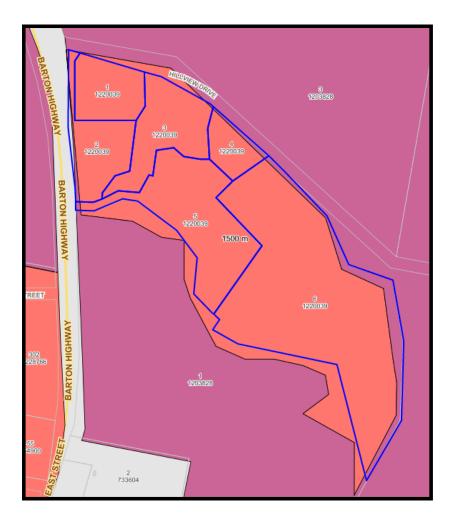


Figure 2: Existing Minimum Lot Size Map – Amend the MLS of land outlined blue to align with the cadastre on the Lot Size Map – Sheet LSZ 005C

Item 3: Amend Land Zoning and Lot Size Maps for the Murrumbateman Recreation Ground

The subject land is known as Lot 1 DP 1203828, having an area of 30.15 ha, located on the Barton Highway at Murrumbateman. It is owned by Yass Valley Council and is currently used and developed for Public Recreation. This lot was created and registered in 2015 to enable the expansion of the Murrumbateman Recreation Ground, and to recognise a long lease that had previously been in place with the previous landowner for public recreation purposes. This lot shares its west boundary with Lot 2 DP 733604, having an area of 3.54 ha which is a Crown Reserve under Council Management, zoned RE1 – Public Recreation as shown in Figure 3.

It is proposed to amend and update the Land Zoning and Lot Size Maps for the subject land from RU1 – Primary Production and RU5 - Village to RE1 – Public Recreation which will reflect the existing use of the land as a Public Recreation Facility. This is consistent with the future zoning map for Murrumbateman shown in Figure 23 of the Yass Valley Settlement Strategy 2036, which recommends RE1- Public Recreation be applied to this land. No MLS is therefore required to be applied, and the MLS of 40ha (RU1 – Primary Production) and 1,500m² (RU5 – Village) shown in Figure 4 can be removed.

Planning Proposal - YVLEP 2013 Housekeeping Amendment (2022)

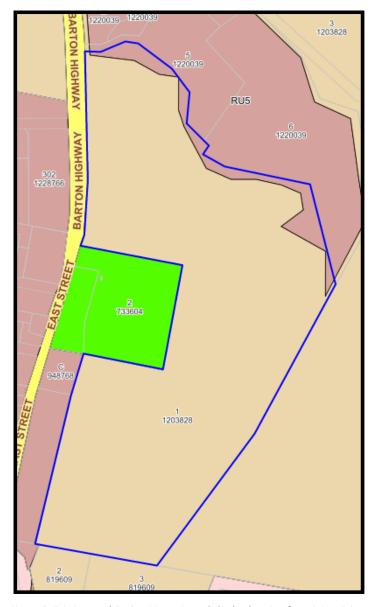


Figure 3: Existing Land Zoning Map - Amend the land zoning from RU1 - Primary Production and RU5 - Village to RE1 - Public Recreation to reflect its existing public ownership and use - Sheet LZN_005C

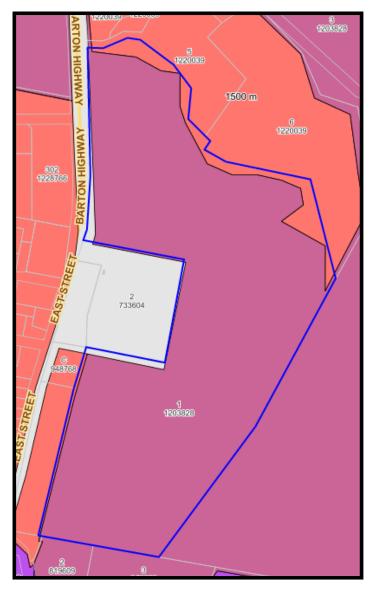


Figure 4: Existing Minimum Lot Size Map - Amend the lot size map of land outlined with blue from 40 ha and 1,500m² to no MLS – Sheet LSZ_005C

Item 4: Amend Land Zoning and Lot Size Maps for 21 Morton Avenue, Yass

The subject land known as Lot 1 DP 1267265 being 21 Morton Avenue, Yass, having an area of about 5795 sqm. The land is owned by Yass Valley Council and the existing water reservoir is located on the part of the lot zoned SP2 – Infrastructure. In 2020, the lot area on which the water reservoir is located was increased, in part to provide access and area for expansion, which is evident within <u>Figure 5</u> and <u>Figure 6</u>. As such, the area of SP2 – Infrastructure needs to be amended to include all of Lot 1 DP 1267265.

It is therefore proposed to amend and update the Land Zoning and Lot Size Maps of the subject land by zoning all the land within the lot SP2-Infrastructure -Water Storage Facility, with no MLS so that it aligns and is compatible with the existing land use and ownership.

Planning Proposal - YVLEP 2013 Housekeeping Amendment (2022)

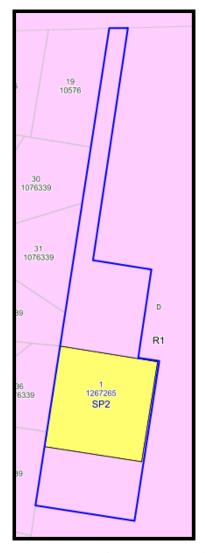


Figure 5: Existing Land Zoning Map - Amend the zoning of land outlined blue to reflect the existing use SP2 Infrastructure (Water Storage Facility) on the Land Zoning Map - Sheet LZN_001H

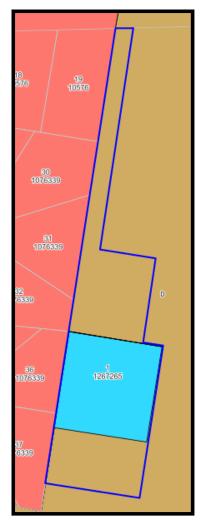


Figure 6: Existing Minimum Lot Size Map -Amend the lot size of land outlined blue to no MLS on the Lot Size Map - Sheet LSZ_001H

Item 5: Amend Land Zoning Map for legal access to 253 Comur Street, Yass.

The subject land is a laneway which consists of an area of about 2200 sqm, having an address of 253 Comur Street, Yass. It provides legal access to Lot 1 DP 1201523 and Lot 1 DP 736781. The subject land is a public laneway and is mistakenly zoned RE1 — Public Recreation zone as shown in <u>Figure 7</u>. As it does not form part of the adjacent Coronation Park, it is proposed to amend and update the land zoning map for the subject land to zone B2 - Local Centre, so that it aligns and is compatible with the land use zoning of surrounding land.

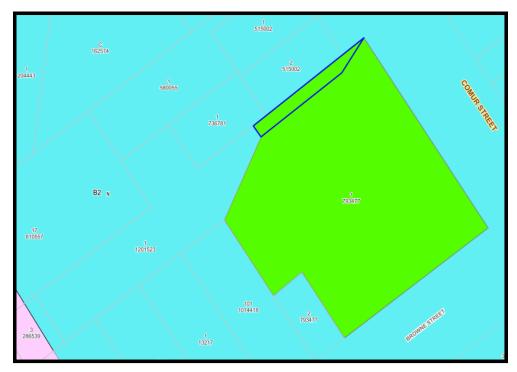


Figure 7: Existing Land Zoning Map – Amend the zoning of land outlined blue from RE1 – Public Recreation to B2 – Local Centre - Sheet LZN_001H

Item 6: Amend Land Zoning and Lot Size Maps for Lot 149 DP 1115534, Hovell Street,

The subject land known as Lot 149 DP 1115534 with an area of 5.35 ha at Hovell Street, Yass. This land is owned by Crown Lands Division and has previously been under a grazing lease.

A review of Land Zoning and Lot Size maps indicated that this parcel of land should be zoned C3 — Environmental Management because of its location adjacent to the Dam wall and Yass River as shown in **Figure 8** and **Figure 9**. This land has never been used for the purpose of Infrastructure (Treatment Ponds) unlike the adjacent land owned by Yass Valley Council, being Lot 1 DP 831015. This proposal is consistent with surrounding zoning, and it is recommended that the MLS should be amended to 10 ha consistent with the adjacent C3 — Environmental Management area on Hovell Street.

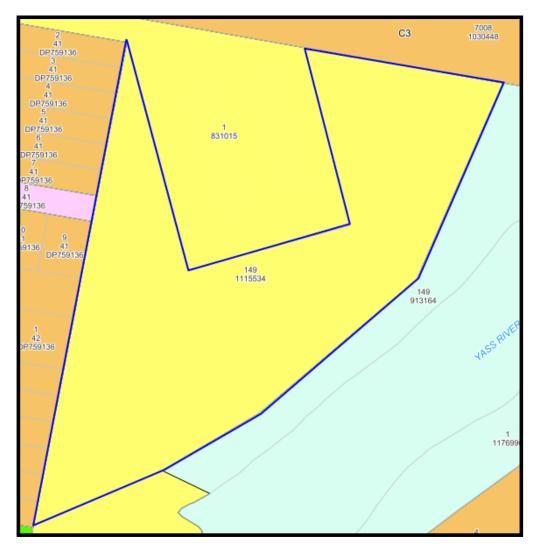


Figure 8: Existing Land Zoning Map - Amend the zoning of land outlined blue from SP2 - Infrastructure to C3 - Environmental Management on the Land Zoning Map - Sheet LZN $_$ 001H

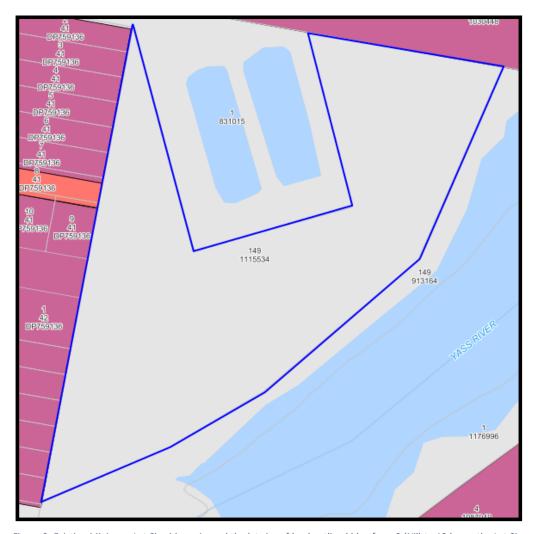


Figure 9: Existing Minimum Lot Size Map - Amend the lot size of land outlined blue from 0 (Nil) to 10 ha on the Lot Size Map - Sheet LSZ $_001H$

Item 7: Amend Land Zoning Map for the Electricity Substation Irvine Drive, Yass.

The subject land is known as Lot 1 DP 795893 and Lot 2 DP 517446, Irvine Drive, Yass with an area of 581 sqm and 569 sqm, respectively.

A review of the Land Zoning Map indicated that these parcels of land were zoned mistakenly as SP1 – Special Activities, as shown in <u>Figure 10</u> whereas it is part of an Electricity Substation and should be zoned SP2 - Infrastructure. The SP1 – Special Activities was applied to the old Yass Cemetery and these lots are not part of that use.

It is therefore proposed to amend and update the Land Zoning Map for Lot 1 DP 795893 and Lot 2 DP 517446 at Irvine Drive, Yass to SP2 - Infrastructure zone to align with the existing land use, land zoning of the adjacent land.



Figure 10: Existing Land Zoning Map - Amend the zoning of land outlined blue from SP1 – Special Activities to SP2 – Infrastructure on the Land Zoning Map - Sheet LZN_001F

Item 8: Amend Land Zoning Map for Church Street, Yass.

The subject land known as Lot 10 Section 2 DP 759136, having an area of 2023 sqm.

This lot is zoned RE1- Public Recreation as shown in <u>Figure 11</u>, despite being in private ownership. This lot falls in the Main Stream Flooding and Flood Planning Constraint Category 1 as shown in <u>Figure 12</u> and the applicable controls are elaborated in Schedule 2A of <u>YFRMS 2021</u> (Yass Floodplain Risk Management Study and Plan July 2021) which states this property is unsuitable for residential development. These controls are included in **Figure 13**.

It is proposed to change the land zoning from RE1 – Public Recreation to RE2 – Private Recreation to reflect the private ownership.

It was previously proposed to rezone this land to C3 – Environmental Management to align with other privately owned land which is adjacent to the Yass River or impacted by flooding. It was also proposed that no MLS be imposed, as the nearby land zoned C3 – Environmental Management has no MLS specified. The Department of Planning and Environment did not agree to the proposed C3 – Environmental Management Zoning of this land as this created the expectation of a dwelling being permissible on the land, despite its flood impact category. Similarly the imposition of no MLS allowed for subdivision of the land, once again creating the expectation of dwelling permissibility.

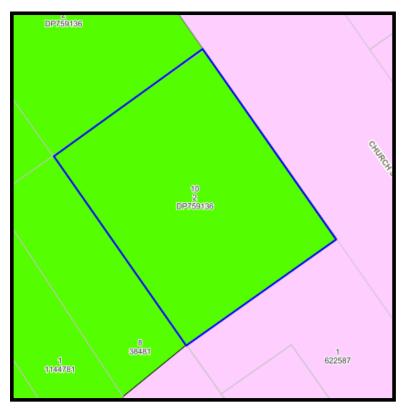
A zone of RE2 – Private Recreation allows some development potential commensurate with the exiting zone without the expectation that Council will acquire the land for the purposes of public recreation. The use of the RE2 – Private Recreation Zone does create an expectation for a dwelling as dwellings are not a permissible land use in this zone. Table 1 below demonstrates the differences in the permissibility of land uses between RE1 – Public Recreation and RE2 – Private Recreation.

Planning Proposal - YVLEP 2013 Housekeeping Amendment (2022)

Table 1: Comparison of Recreation Zones Land Use Table

	RE1 – Public Recreation	RE2 – Private Recreation
Permitted without consent	Environmental protection works	Environmental protection works
Permitted with consent	Aquaculture; Boat launching ramps; Camping grounds; Car parks; Caravan parks; Community facilities; Ecotourist facilities; Emergency services facilities; Entertainment facilities; Environmental facilities; Flood mitigation works; Function centres; Kiosks; Recreation areas; Recreation facilities (indoor); Recreation facilities (major); Recreation facilities (outdoor); Registered clubs; Roads; Signage; Water recycling facilities; Water reticulation systems; Water storage facilities	Aquaculture; Camping grounds; Car parks; Caravan parks; Community facilities; Eco-tourist facilities; Emergency services facilities; Environmental facilities; Flood mitigation works; Food and drink premises; Function centres; Hotel or motel accommodation; Kiosks; Recreation areas; Recreation facilities (indoor); Recreation facilities (outdoor); Registered clubs; Roads; Serviced apartments; Signage; Water recycling facilities; Water reticulation systems; Water storage facilities
Prohibited	Any other item not mentioned above	Any other item not mentioned above

Table 1 – comparison of RE1 – Public Recreation and RE2 – Private Recreation Zones



 $Figure~11: Existing~Land~Zoning~Map~YVLEP~2013-Amend~the~zoning~of~land~outlined~blue~from~RE1-Public~Recreation~to~RE2-Private~Recreation~on~the~Land~Zoning~Map~-Sheet~LZN_001H~Land~Zoning~Doning~Map~-Sheet~LZN_001H~Land~Zoning~Doning~Map~-Sheet~LZN_001H~Land~Zoning~Doning~Map~-Sheet~LZN_001H~Land~Zoning~D$

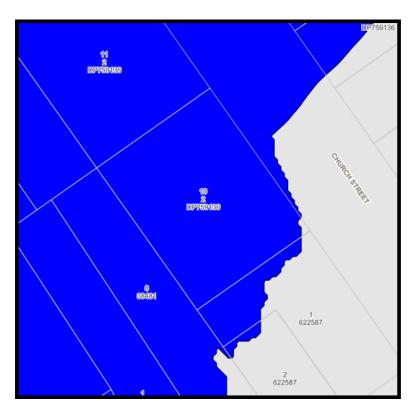


Figure 12: Flood Planning Constraint Category Mapping- (Main Stream Flooding - Flood Planning Constraint Category 1) Yass Floodplain Risk Management Study and Plan July 2021

Commercial and Non-Urban S. 7.7 F. 2 C. 8 A Recreational and Non-Urban	Flood Planning Constraint Category 2 Flood Planning Constraint Category 3 Flood Planning Constraint Category 4 (FPCC 2) (FPCC 3)	Sensitive Uses and Facilities Subdivision Recreational and Industrial Recreations and Non-Urban Critical Uses and Facilities Sensitive Uses and Facilities Commercial and Industrial Residential Commercial and Industrial Residential Commercial and Industrial Residential Sensitive Uses and Facilities Sensitive Uses and Facilities Commercial and Industrial	A3 A2 A6 A1 A5 A3 A2 A6 A1 A5 A4 A3	B3 B2 B2 B2 B3 B2 B2 B4 B3	C4 C2 C2 C3 C2 C4 C7 C4 C5 C3 C5 C4 C4	01 01 01 01 02 01 01 01 01 01 01 02	E2 E4 E3 E3 E3 E4 E4 E4 E4 E5 E4 E5 E4 E4 E4 E6 E4 E6 E6 E6 E6 E5 E6	F3 F1 F2 F3 F3 F3 F3 F4 F4 F4 F4 F5 F4 F5 F5 F5 F5 F5 F5 F4 F4 F4 F5 F5 F5 F5 F4 F5 F4 F4 F5 F5 F4 F5	61 61 61 62<	H H H H H H H H H H H H H H H H H H H
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Figure 13: Schedule 2A of Yass Floodplain Risk Management Study and Plan - July 2021

Item 9: Amend Land Zoning Map for 37 Rossi Street, Yass.

The subject land is known as Lot 8 DP 38481, having an area of 1738 sqm. It is zoned R1 - General Residential and RE1 – Public Recreation as shown in **Figure 14**, with an existing dwelling on the R1 portion. It is privately owned. This property is partially within the Flood Planning Constraint Category 1 (FPCC 1) as shown in **Figure 15** and the applicable flood controls are elaborated in Schedule 2B of **YFRMS 2021** (Yass Floodplain Risk Management Study and Plan July 2021). The controls are included in **Figure 16** which states the area within the FPCC 1 is unsuitable for residential development. To prevent subdivision and the expectation of additional dwelling opportunities it is proposed to apply a 1000 sqm MLS across the entire allotment.

It is proposed to amend the land zoning for Lot 8 DP 38481 from R1 - General Residential & RE1 – Public Recreation to R1 - General Residential & C3 – Environmental Management, to reflect that part of the Lot within the Flood Planning Constraint Category 1 (FPCC 1).



Figure 14: Existing Land Zoning Map - Amend the zoning of land outlined blue from R1 – General Residential & RE1 – Public Recreation to R1 – General Residential and C3 – Environmental Management on the Land Zoning Map - Sheet LZN_001H

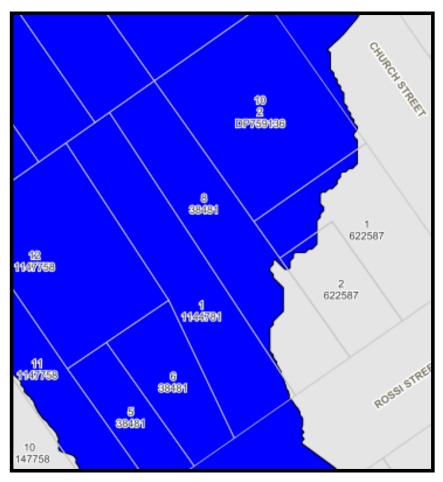


Figure 15: Flood Planning Constraint Category Mapping- (Flood Planning Constraint Category 1) Yass Floodplain Risk Management Study and Plan July 2021

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Figure 16: Schedule 2A of Yass Floodplain Risk Management Study and Plan - July 2021

Item 10: Amend Land Zoning Map for Cooks Hill Road, Yass.

The subject land is known as Lot 1 DP 1004268 with an area of 549 sqm. It is zoned RE1 - Public Recreation and forms part of the Water Treatment Plant site, with the adjacent Lot 1 DP 180130 zoned SP2 – Infrastructure.

A review of the Land Zoning Map indicated that Lot 1 DP 1004268 is zoned RE1 - Public Recreation in error as shown in <u>Figure 17</u>. Both Lot 1 DP 1004268 and Lot 1 DP 180130 are owned by Yass Valley Council.

It is therefore proposed to amend and update the Land Zoning map to include Lot 1 DP 1004268 in SP2 – Infrastructure.

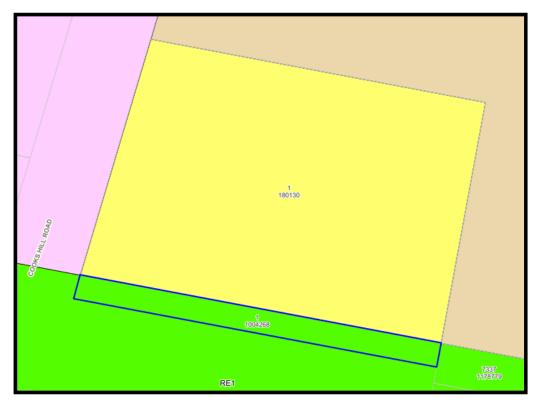


Figure 17: Existing Land Zoning Map - Amend the zoning of land outlined blue from RE1 - Public Recreation to SP2 - Infrastructure on the Land Zoning Map - Sheet LZN_001H

Item 11: Amend Land Zoning and Lot Size Maps for Cemetery Road, Binalong.

The subject land known as Lot 386 DP 753591, consists of an area of about 1.33 ha, situated on Cemetery Road, Binalong. The land is zoned RE1 – Public Recreation as shown in **Figure 18**. This property is owned by Crown Lands Division, is a reserve for a Night Soil Depot, and according to Council records was never used for this purpose. There has also been a successful Aboriginal Land Claim over the lot (No. 38672, lodged 26/3/2015, granted 26/3/2021).

As it is not used for Public Recreation purposes, it is proposed to amend the Land Zoning map from RE1 — Public Recreation to RU1 - Primary Production, with a MLS of 40 ha, so that it aligns and is compatible with the land use zoning and MLS (<u>Figure 19</u>) of the adjacent lot . It should be noted that the lot abuts unmade road reserves and is accessed informally via a track over the adjacent Binalong Common.

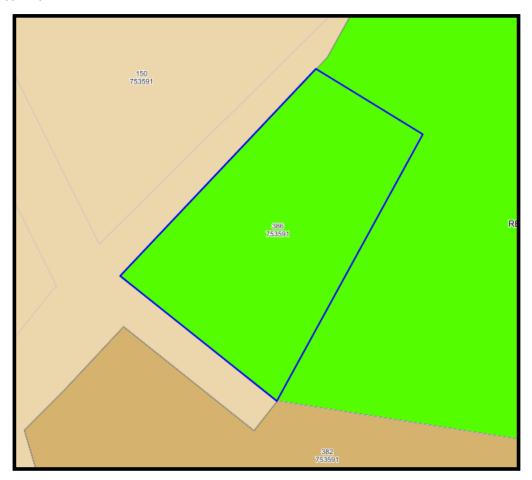


Figure 18: Existing Land Zoning Map - Amend the zoning of land outlined blue from RE1 – Public Recreation to RU1 – Primary Production - Sheet LZN_001A

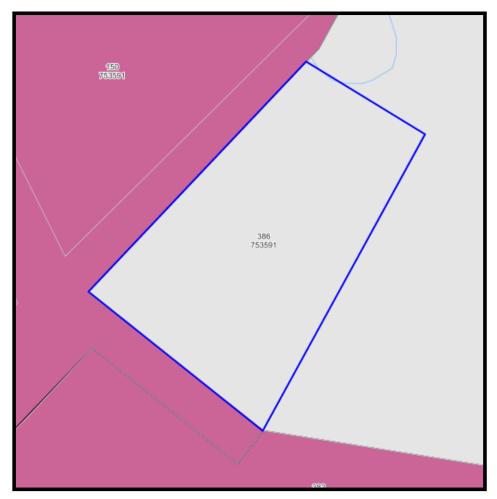
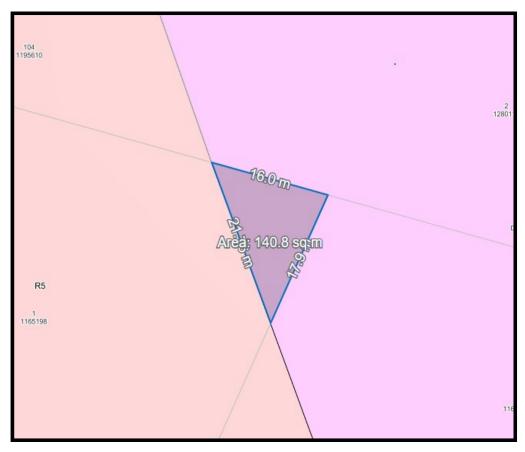


Figure 19: Existing Minimum Lot Size Map - Amend the MLS of land outlined blue from 0 (Nil) to 40 ha on the Lot Size Map - Sheet LSZ $_001A$

Item 12: Amend Land Zoning and Lot Size Maps for 26 Shearsby Crescent, Yass (part).

The subject land is known as 26 Shearsby Crescent, Yass, Lot 1 DP 1165198, and consists of an area of about 5.98 ha. It is zoned R5 – Large Lot Residential, with a MLS of 10 ha.

A review of the Land Zoning and Lot Size maps revealed the boundary of the land use zone or MLS does not correlate with the lot boundary as shown in <u>Figure 20</u> and <u>Figure 21</u>. Only a small area is involved (approximately 141 sqm), so should be adjusted to ensure the whole lot is within the one zone and MLS. It is proposed to be included in R5 – Large Lot Residential with a MLS of 10 ha.



 $\label{lem:figure 20: Existing Land Zoning map - Amend the zoning of land outlined blue from R1-General Residential to R5-Large \\ Lot Residential on the Land Zoning Map - Sheet LZN_001F$

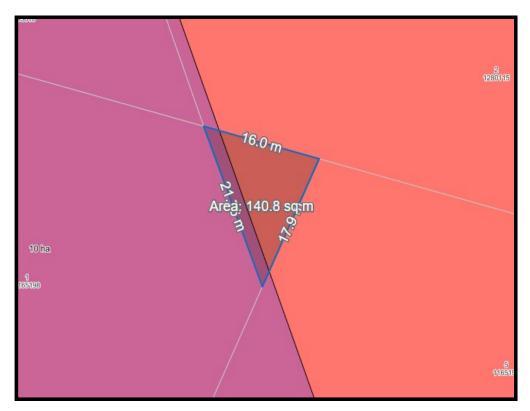


Figure 21: Existing Minimum Lot Size Map - Amend the MLS of land outlined blue from 1000 sqm to 10 ha on the Lot Size Map - Sheet LSZ_001F

Item 13: Amend Land Zoning Map for land adjacent to 18 Hanley Place, Yass.

The proposed amendment is adjacent to land known as 18 Hanley Place, Lot 16 DP 1147860, owned by Yass Valley Council.

A review of the Land Zoning Map revealed that the RE1 – Public Recreation zoning over this lot is encroaching on the cul-de-sac, by about 55 sqm as shown in <u>Figure 22</u>. Therefore, the land zoning of the impacted part of Lot 16 DP 1147860 to should be amended to R1 – General Residential as outlined below to align with the cadastre boundary.

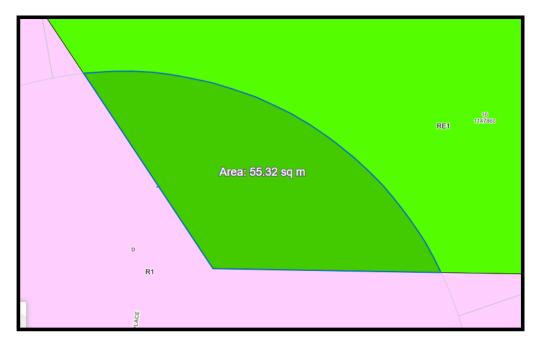


Figure 22: Existing Land Zoning Map - Amend the zoning of land outlined blue to R1 – General Residential to align with the cadastre on the Land Zoning map - Sheet LZN_001H

Item 14: Amend Lot Size Map for Hanley Place, Yass.

Lots 2, 4-7 DP 1193382, Lots 7, 8 & 15 DP 1147860 and Lot 2 DP 1169417 comprise a cumulative area of about 1.33 ha.

A review of the Lot Size Map revealed that there are some anomalies in the MLS mapping of these lots. Lots 2, 5 & 6 DP 1193382 and Lot 2 DP 1169417 should have a MLS of 1000 sqm, Lots 4 & 7 DP 1193382 and Lots 7 & 8 DP 1147860 should have a MLS of 2000 sqm whereas Lot 15 DP 1147860 is zoned in RE1 – Public Recreation so no MLS will be applicable on that, as shown in **Figure 23**. Therefore, the MLS of the subject lots is proposed to be amended to make sure it aligns with the cadastre boundaries.

After lodging the initial planning proposal it has come to light that Lots 9 & 3 DP 1147860 and Lot 32 DP 1045621 also have mapping anomalies. Lot 32 should have a MLS of 4000 sqm, and Lots 9 & 3 should have a MLS of 2000 sqm. **Figure 23** has been amended accordingly.

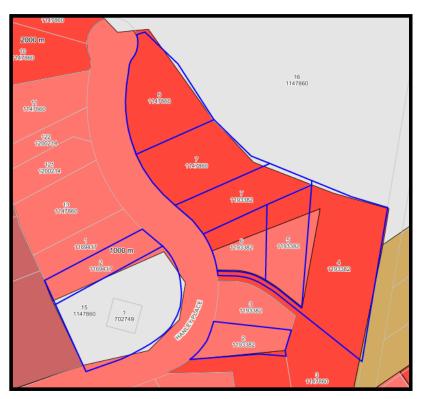


Figure 23: Existing Minimum Lot Size Map - Amend the MLS of land outlined blue to align with the cadastre on the Lot Size map - Sheet LSZ_001H

Item 15: Amend Land Zoning and Lot Size Maps for 27 Grand Junction Road, Yass

The subject land is known as Lot 1 DP 1100033, having an area of 9.667 ha, located on Grand Junction Road, Yass. This lot is part of Yass showground and is a Crown Reserve managed by Trustees. The north west corner has been zoned R1 – General Residential in error, rather than RE1 – Public Recreation which applies to the balance of the lot/showground in Land Zone and Lot Size maps, which is shown in **Figure 24** and **Figure 25**.

It is requested to amend and update the Land Zoning and Lot Size Maps for the subject land from R1 – General Residential & RE1 – Public Recreation to RE1 – Public Recreation with no MLS applicable.

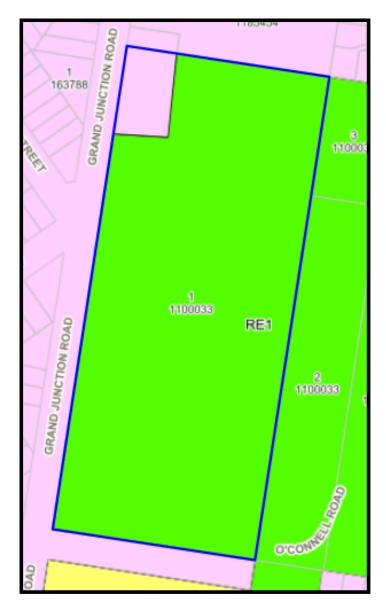


Figure 24: Existing Land Zoning Map - Amend the land zoning from R1 - General Residential & RE1 - Public Recreation to RE1 – Public Recreation to reflect its use and being a Crown Reserve – Sheet LZN_001H

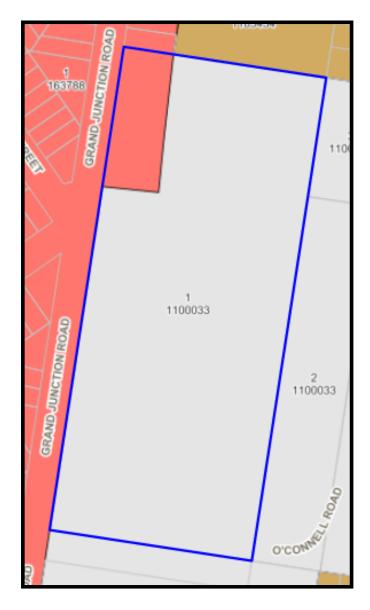


Figure 25: Existing Minimum Lot Size Map - Amend the lot size map of land outlined with blue from 1000 sqm to no MLS – Sheet LSZ_001H

Item 16: Amend Land Zoning and Lot Size Maps for Malbec Drive, Murrumbateman

Lots 174, 177 and 136 DP1268670 have a cumulative area of about 40.94ha. A review of the Lot Size Map revealed that there are some anomalies in the MLS mapping of these lots. Lot 177 should have a lot size of 1ha and Lots 136 and 174 should have a lot size of 6500 sqm as shown in <u>Figure 26</u>. Therefore, the MLS of the subject lots is proposed to be amended to make sure it aligns with the cadastre boundaries.

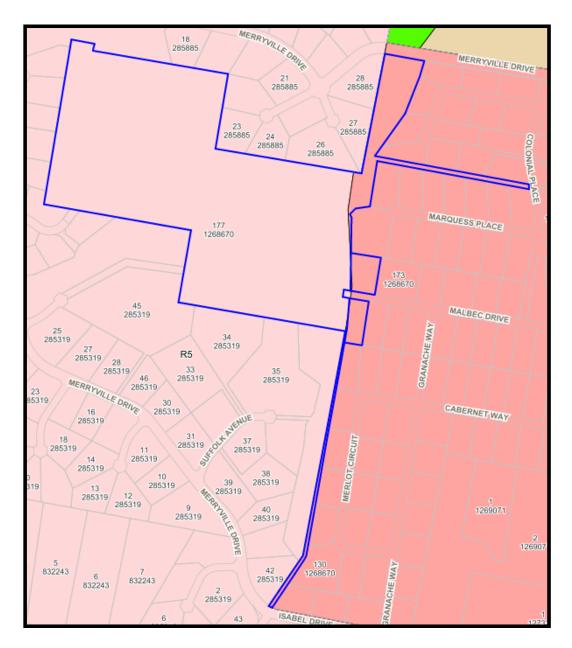


Figure 26: Existing Minimum Lot Size Map - Amend the MLS of land outlined blue to align with the cadastre on the Lot Size map - Sheet LSZ_005A

Item 17: Amend Heritage Map for Lot 2 DP 1229389 and Lot 1 DP1258070, Murrumbateman

Lot 2 DP1229389 and Lot 1 DP128070 are mapped as having an item of environmental significance situated upon them. The cadastre for this area is misaligned and the item of environmental significance is situated upon Lot 1 DP1033480. The misalignment is shown in Figure 27 below. It is proposed to realign the heritage map with the property boundaries.

Planning Proposal - YVLEP 2013 Housekeeping Amendment (2022)

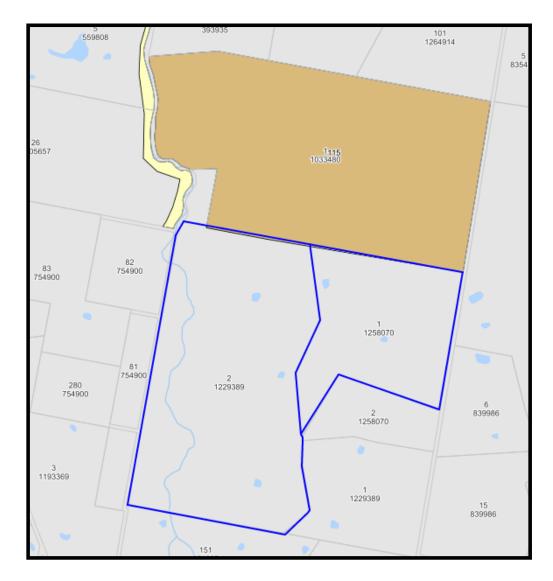


Figure 27: Existing Heritage Map - Amend item l114 from the land outlined blue to align with the cadastre on the Heritage map - Sheet HER_005

PART 3 – JUSTIFICATION

The Yass Valley Council is submitting this planning proposal in terms of housekeeping amendments to correct administrative errors, anomalies, and minor issues in the *Yass Valley Local Environment Plan 2013 (YVLEP 2013)*.

Section A – Need for the planning proposal

Q1. Is the planning proposal a result of an endorsed LSPS any strategic study or report?

This planning proposal is not result of any findings/recommendations of any report/study. The *Environmental Planning and Assessment Act 1979* (the Act) states that:

3.21 Review of environmental planning instruments:

Planning Proposal - YVLEP 2013 Housekeeping Amendment (2022)

(1) 'The Planning Secretary shall keep State environmental planning policies and councils shall keep their local environmental plans and development control plans under regular and periodic review for the purpose of ensuring that the objects of this Act are, having regard to such changing circumstances as may be relevant, achieved to the maximum extent possible'.

Through this planning proposal, the Council will keep the standard instrument YVLEP 2013, and associated maps updated by correcting anomalies, errors and cadastre issues that are highlighted.

Q2. Is the planning proposal the best means of achieving the objectives or intended outcomes, or is there a better way?

Yes, the most efficient way to progress a housekeeping amendment to the YVLEP 2013, is through a planning proposal.

Some of the minor housekeeping amendments may have been achieved through expedited amendments under the provisions of s3.22 of the *Environmental Planning & Assessment Act 1979* but as none of the changes were considered urgent and due to the volume of amendments this was considered to be the most appropriate approach.

Section B – Relationship to strategic planning framework

Q3. Will the planning proposal give effect to the objectives and actions of the applicable regional or district plan or strategy (including any exhibited draft plans or strategies)?

Yes, the planning proposal brings objectives and actions, described in *South East and Tablelands Regional Plan 2036*, to the implementation level through:

- Action 5.1: Promote commercial, tourism and recreational activities that support the agricultural sector.
- Action 5.2: Promote commercial, tourism and recreational activities that support the agricultural sector. Encourage value-add agricultural opportunities through flexible planning provisions in local strategies and local environmental plans.
- Action 5.4: Promote opportunities to better connect agricultural industry to export markets.

Through the addition of the 'artisan food and drink industry' land use into the RU1 Primary Production and RU4 Primary Production Small Lots zones, Yass Valley Council is creating additional opportunities for primary producers and other rural landowners to be directly involved in retail, manufacturing and value-adding or secondary processing to produce artisan food or drinks — thereby supporting local commercial and tourism sectors.

Within this planning proposal, Yass Valley Council is also requesting to amend the zoning of Item 3 which is currently used and developed for Public Recreation as part of the Murrumbateman Recreational Ground from RU1-Primary Production to RE1-Public Recreation.

- Action 16.1: Locate development, including new urban release areas, away from areas of known high bushfire risk, flooding hazards or high coastal erosion/inundation; contaminated land; and designated waterways to reduce the community's exposure to natural hazards.
- Action 16.2: Implement the requirements of the NSW Floodplain Development Manual by developing, updating or implementing flood studies and floodplain risk management plans.

Planning Proposal - YVLEP 2013 Housekeeping Amendment (2022)

6.1

- Action 16.4: Incorporate the best available hazard information in local environmental
 plans consistent with current flood studies, flood planning levels, modelling, floodplain risk
 management plans and coastal zone management plans.
- Action 16.6: Manage risks associated with future urban growth in flood prone areas as well as risks to existing communities.

This planning proposal corrects where RE1 – Public Recreation zoning had been applied in error to two lots of privately owned land. The proposed zoning of RE2 – Private Recreation and C3 Environmental Management reflects the inclusion of those lots land within the Main Stream Flood Planning Constraint Category 1, and that residential use of the land is unsuitable.

Q4. Is the planning proposal consistent with a council LSPS that has been endorsed by the Planning Secretary or another endorsed local strategy or strategic plan?

The proposed amendment to the YVLEP 2013 is not inconsistent with the LSPS and Yass Valley Settlement Strategy. Both the LSPS and the Settlement Strategy have been adopted by Council and endorsed by DPE.

The planning proposal is also consistent with the Yass Valley Community Strategic Plan 2042 though it has limited application to the planning proposal.

Q5. Is the planning proposal consistent with any other applicable State and regional studies or strategies?

No other state or regional studies are relevant to this planning proposal.

Q6. Is the planning proposal consistent with applicable State Environmental Planning Policies?

The table below outlines the applicability and consistency of the planning proposal for housekeeping amendments to the *YVLEP 2013* with all State Environmental Planning Policies (SEPPs).

6.1

Table 2: List of Applicable SEPPs to the Planning Proposal

Title	Description			
Focus area: Pl	anning systems			
SEPP (Planning Systems) 2021	Not Applicable			
SEPP (Precincts – Eastern Harbour City) 2021	Not Applicable			
SEPP (Precincts – Central River City) 2021	Not Applicable			
SEPP (Precincts – Western Parkland City) 2021	Not Applicable			
SEPP (Precincts – Regional) 2021	Not Applicable			
Focus area: Biodive	sity and conservation			
SEPP (Biodiversity and Conservation) 2021	tion) 2021 Not Applicable			
Focus area: Resilience and hazards				
SEPP (Resilience and Hazards) 2021	Not Applicable			
Focus area: Transport and infrastructure				
SEPP (Transport and Infrastructure) 2021	Not Applicable			
Focus area: Housing				
SEPP (Housing) 2021	Not Applicable			
Focus area: Indust	ry and employment			
SEPP (Industry and Employment) 2021	Not Applicable			
Focus area: Reso	ources and energy			
SEPP (Resources and Energy) 2021	Not Applicable			
Focus area: Pri	mary production			
SEPP (Primary Production) 2021	This policy includes provisions relating to:			
	Primary Production and Rural Development to reduce rural land use conflict.			
	Consistent. The amendment relating to the Murrumbateman Recreation Ground reflects the existing use of the land for Public Recreation. The land has not been typically used for agriculture due to its location adjacent to the Crown Reserve and long term lease with the previous landowner.			
	The inclusion of Crown Land on Cemetery Road, Binalong within the RU1 Primary Production zone is consistent with surrounding rural zoning. It is unlikely that any land use conflict will arise from this amendment.			

Is the planning proposal consistent with applicable Ministerial Directions (s.9.1 Directions)?

Ministerial Directions under Section 9.1 of the EP&A Act 3. Biodiversity and Conservation 3.1 Conservation Zones Consistent. Item 6 - Lot 149 DP 1115534 is owned by Crown Lands Division that has been included in SP2 – Infrastructure in error. This land is proposed to be rezoned to C3 – Environmental Management to be consistent with the land adjacent to the dam wall and the Yass River. Item 9 - Lot 8 DP 38481 is privately owned. This property is zoned R1 -General Residential and RE1 – Public Recreation with an existing dwelling in the R1 portion. This property also partly falls in the Main Stream Flood Planning Constraint Category 1 of the YFRMS 2021 (Yass Floodplain Risk Management Study and Plan July 2021). It is proposed to change its zoning to R1 - General Residential and C3 – Environmental Management. The PP proposes to include land within a conservation protection zone which was not previously, and therefore does not reduce the conservation standards that apply to the respective parcels of land. 4. Resilience and Hazards 4.1 Flooding Inconsistent, however of minor significance. This direction applies to all relevant planning authorities that are responsible for flood prone land when preparing a planning proposal that creates, removes, or alters a zone or a provision that affects flood prone land. Item 8 - Lot 10 Section 2 DP 759136 is privately owned. It falls within the Main Stream Flood Planning Constraint Category 1 and the applicable controls are elaborated in Schedule 2A of YFRMS 2021 (Yass Floodplain Risk Management Study and Plan July 2021) which restricts residential development, so it is proposed to be zoned RE2 - Private Recreation, with dwellings not permitted. Although other formers of residential accommodation are Permitted with Consent in this zone, the controls within the YFRMS would likely prevent the approval of any development application. Item 9 - Lot 8 DP 38481 is privately owned. This property is zoned R1 -General Residential and RE1 – Public Recreation with an existing dwelling located within the R1 component. This property also partly falls within the Main Stream Flood Planning Constraint Category 1. It is proposed to change its zoning to R1 - General Residential & C3 - Environmental Management, however the zone boundary will not align with the extent of the Main Stream Flood Planning Constraint Category 1. As there is an existing dwelling already on that part of the lot, retaining the R1 zone boundary is considered appropriate, and this inconsistency is of minor significance. 5. Transport and Infrastructure 5.2 Reserving Land Consistent.

Planning Proposal - YVLEP 2013 Housekeeping Amendment (2022)

for Public Purposes

6.1

The planning proposal includes land zoned and or used for public purposes, including a large public recreational area, owned by Yass Valley Council.

Item 3 – Lot 1 DP 1203828 is owned by the Council and currently used and developed for Public Recreation. This lot shares its west boundary with Lot 2 DP 733604, owned by the Council, which is zoned in RE1 – Public Recreation. It is requested to change the zone to reflect the existing land use and public ownership.

Item 5 – Lot 1 DP 1201523 is zoned RE1 - Public Recreation despite it being an accessway - not part of Coronation Park. It would be more appropriately zoned B2 – Local centre.

Item 8 - Lot 10 Section 2 DP 759136 is zoned RE1 Public Recreation, although it is not used for that purpose and is privately owned. It is proposed to remove the zoning for public purposes and be zoned RE2 — Private Recreation.

Item 9 – Lot 8 DP 38481 is zoned R1 - General Residential and RE1 – Public Recreation. It is privately owned, and therefore it is proposed to rezone that part zoned for public purposes to C3 – Environmental Management.

Item 15 - Lot 1 DP 1100033 is zoned R1 - General Residential and RE1 - Public Recreation. It is owned by the Crown Land Division and there are some errors in existing maps of Land Zone and Lot Size maps so it is requested to amend and update to RE1 - Public Recreation.

6.1 Residential Zones

Consistent.

This direction applies to all relevant planning authorities when preparing a planning proposal that will affect land within an existing or proposed residential zone (including the alteration of any existing residential zone boundary), or any other zone in which significant residential development is permitted or proposed to be permitted.

Item 12 - Lot 1 DP 1165198, is zoned R5 – Large Lot Residential, with a small area (140 sqm) of R1 – General Residential. It is proposed to adjust the zone boundary to align with the lot boundary. While it removes some land from the R1 zone, the likelihood of it ever being developed in this way is remote, due to its small area and different ownership.

Item 14 – Lot 2 DP 1169417, Lots 2, 4-7 DP 1193382 and Lots 3, 7-9 DP 1147860 are zoned R1 – General Residential with Lot 32 DP1045621 zoned R2 – Low Density Residential. No zone change is proposed; however, the MLS does not correspond to the cadastre.

Item 16 - Lots 174, and 136 DP1268670 are zoned R2 – Low Density Residential with Lot 177 DP 1268670 zoned R5 – Large Lot Residential. No zone change is proposed, however the MLS does not correspond to the cadastre.

9.1 Rural Zones

Consistent.

Planning Proposal - YVLEP 2013 Housekeeping Amendment (2022)

This direction applies when a relevant planning authority prepares a planning proposal that will affect land within an existing or proposed rural zone (including the alteration of any existing rural zone boundary).

Item 11 - Lot 386 DP 753591, zoned RE1 – Public Recreation is owned by Crown Lands Division. It is not used for RE1 – Public Recreation and is adjacent to RU1 – Primary Production zoned land. It is proposed to amend and update the land zoning and lot size maps of the subject land by showing land zoning map RU1 - Primary Production with a minimum lot size of 40 ha.

9.2 Rural Lands

Consistent

This direction applies when a relevant planning authority prepares a planning proposal for land outside the local government areas of lake Macquarie, Newcastle, Wollongong and LGAs in the Greater Sydney Region other than Wollondilly and Hawkesbury, that:

- (a) will affect land within an existing or proposed rural or conservation zone (including the alteration of any existing rural or conservation zone boundary) or
- (b) changes the existing minimum lot size on land within a rural or conservation zone.

Item 11 - Lot 386 DP 753591, zoned RE1 – Public Recreation is owned by Crown Lands Division. It is not used for RE1 – Public Recreation and is adjacent to RU1 – Primary Production zoned land. It is proposed to amend and update the land zoning and lot size maps of the subject land by showing land zoning map RU1 - Primary Production with a minimum lot size of 40 ha.

Section C - Environmental, social and economic impact

Q7. Is there any likelihood that critical habitat or threatened species, populations or ecological communities, or their habitats, will be adversely affected as a result of the proposal?

There is minimal likelihood that critical habitat or threatened species, population or ecological communities or their habitat will be affected because of any amendment proposed in the planning proposal, as it only relates to minor matters, errors and anomalies identified in the *YVLEP 2013*.

Q8. Are there any other likely environmental effects as a result of the planning proposal and how are they proposed to be managed?

There is no other likely environmental effect as a result of any amendment proposed in the planning proposal. The amendments are administrative in nature to address the minor matters and errors identified in the *YVLEP 2013*.

Q9. Has the planning proposal adequately addressed any social and economic effects? The planning proposal will have limited social effect due to the intent and outcome of the planning proposal and its administrative nature. It is likely that there will be positive economic effects from the inclusion of the artisan food or drink industry land use, however the extent of those is unknown.

Section D - State and Commonwealth interests

Q10. Is there adequate public infrastructure for the planning proposal?

Not relevant to this minor administrative amendment.

Planning Proposal - YVLEP 2013 Housekeeping Amendment (2022)

6.1

Q11. What are the views of state and Commonwealth public authorities consulted in accordance with the Gateway determination?

This planning proposal only seeks to make housekeeping amendments to the YVLEP 2013 with an intent to address administrative matters and to correct the errors and anomalies that became apparent since the last housekeeping amendment. Council has not consulted any state or commonwealth public authority regarding the planning proposal.

PART 4 - MAPPING

A number of maps need amending as a result of the planning proposal for housekeeping amendments to the YVLEP 2013. A list of maps that require amendments are documents in the following table.

Yass Valley LEP Maps to be amended		
Map Type	Map Sheet (identification number)	
Lot Size Map		
LSZ_001A	8710_COM_LSZ_001A_020_20160801	
LSZ_005C	8710_COM_LSZ_005C_020_20210114	
LSZ_001H	8710_COM_LSZ_001H_020_20220517	
LSZ_001F	8710_COM_LSZ_001F_020_20201012	
Land Zone Map		
LZN_001A	8710_COM_LZN_001A_020_20130424	
LZN_005C	8710_COM_LZN_005C_020_20210114	
LZN_001F	8710_COM_LZN_001F_020_20201012	
LZN_001H	8710_COM_LZN_001H_020_20220517	
LZN_005A	8710_COM-LZN_005A_020_20160801	
Heritage Map		
HER_005	8710_COM_HER_005_160_20200167	

PART 5 - COMMUNITY CONSULTATION

It is considered that this Planning Proposal falls within the Basic Category, and that a consultation period of 10 working days is appropriate. Where amendments relate to specific properties, those landowners will be notified directly. As some of the amendments relate to current Aboriginal Land Claims, the planning proposal should be referred to the Local Aboriginal Land Council.

It is not anticipated that a Public Hearing will be required as no land is proposed to be reclassified and the matters included within the planning proposal are of a minor nature.

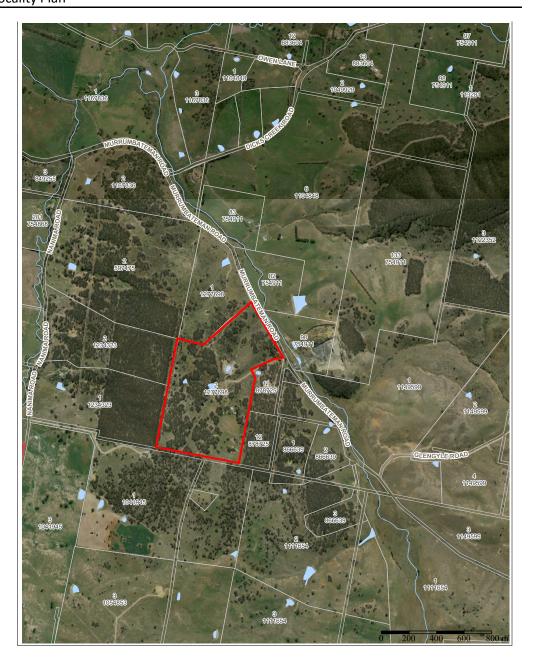
It should be noted that Council is seeking authorisation to exercise its delegation of local plan-making authority under section 3.36 of the *Environmental Planning and Assessment Act 1979*, as this planning proposal is considered to be a local, minor matter.

PART 6 - PROJECT TIMELINE

The following timeline is indicative and is provided to assist the Department in preparing the Gateway determination. It is acknowledged that the timeline will be influenced by a range of external factors, and is also subject to amendments by the Department through the Gateway process.

Planning Proposal - YVLEP 2013 Housekeeping Amendment (2022)

Stage	Estimated timeframe	
Anticipated commencement date (Date of Gateway determination)	December 2022	
Completion of any additional required technical information	N/A	
Government Agency Consultation	n January- February 2023	
Public Exhibition (10 working days)	March 2023	
Consideration of submissions by staff	April 2023	
Public Hearing	N/A	
Anticipated date RPA will forward the plan to the department to be made, if not delegated May 2023		







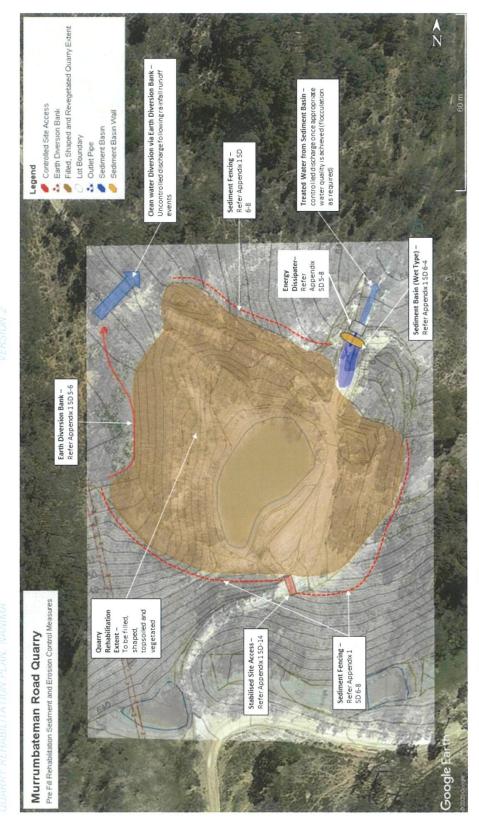
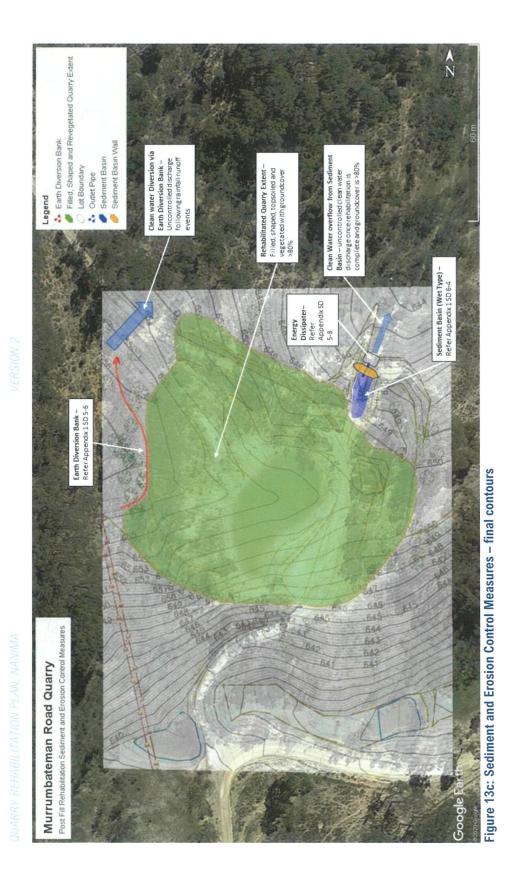


Figure 13b: Sediment and Erosion Control Measures – existing excavation contours



VOLUNTARY PLANNING AGREEMENT

THIS	S PLANNING AGREEMENT is made on thisday
of	20

BETWEEN

Parties:

Yass Valley Council (ABN 50 119 744 650) ('the Council')

and

Winjarra Pty Limited (ABN 38 106 134 150) ('the Developer')

Subject Land:

Lot 2 DP1277698 1170 Murrumbateman Road, NANIMA NSW 2582



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PLANNING AGREEMENT Lot 2 DP1277698 1170 Murrumbateman Road, NANIMA NSW 2582

Background:

- A. The Developer is the registered proprietor of the Development Land.
- B. Development Application DA200151 is lodged via the NSW Planning Portal to Council on 23 July 2020 for the approval of Quarry Rehabilitation.
- C. Submissions received 08 October 2020.
- D. Response submitted to Council 09 October 2020
- E. Notice that the Council will be holding a Planning Forum 09 December 2020
- F. Additional information requested 22 January 2021
- G. Site inspection by Councillors scheduled for 15 February 2021
- H. Additional information submitted 12 August 2021
- I. Further Planning Forum for the new Council held 14 February 2022
- J. Conditional Consent received from Yass Valley Council reference DA200151 dated 26 May 2022
- K. In recognition of the difference in Contributions plans from 2006 to 2021 we propose to pay an additional \$1.25/m³ equating to \$47,536.81 which is approximately 10 times the amount when calculated against the Yass Valley Heavy Haulage Section 94 Plan (2006).

Operative Provisions:

1. Agreement

The agreement of the parties is set out in the Operative Provisions of this document, in consideration of, among other things, the mutual promises contained in this document.

2. Definitions

2.1 Act

Means the Environmental Planning and Assessment Act 1979 (NSW) (as amended).

2.2 Authority

Means (as appropriate) any:

- a) Federal, state or local government;
- b) Department of any federal, state or local government;
- c) Any court or administrative tribunal; or
- d) Statutory corporation or regulatory body.

2.3 Claim

Means any allegation, action, demand, cause of action, suit, proceeding, judgement, debt, damage, loss, cost, expense or liability howsoever arising and whether present of future, fixed or unascertained, actual or contingent whether at law, in equity, under statute or otherwise.

2.4 Completion of Works

Means as per Part E of the draft Conditions attached to Councils Conditional Consent dated 26 May 2022.

2.5 Council

Means Yass Valley Council or its successors.

2.6 Dealing

In relation to the Land, means without limitation, selling, transferring, assigning, mortgaging, charging, encumbering or otherwise dealing with the Land.

2.7 Development

Means the development application for the approval of the rehabilitation via filling of an existing eroded quarry.

2.8 Development Application

Has the same meaning as in the Act.

2.9 Development Consent

Has the same meaning as in the Act.

2.10 Development Contribution

Means a monetary contribution, the dedication of land free of cost or the provision of a public material benefit.

2.11 GST

6.2

Has the same meaning as in the GST Law.

2.12 **GST Law**

Has the meaning given to that term in *A New Tax System (Goods and Services Tax) Act 1999 (Cth)* and any other Act or regulation relating to the imposition or administration of the GST.

2.13 Land

Means Lot 2 DP1277698 1170 Murrumbateman Road, NANIMA NSW 2582.

2.14 Party

Means a party to this agreement, including their successors and assigns.

2.15 Planning Legislation

Means the Act, the Local Government Act 1993 (NSW) and the Roads Act 1993 (NSW).

2.16 Regulation

Means the Environmental Planning and Assessment Regulation 2000.

2.17 Section 7.12

Means contributions in accordance with S7.12 of the *Environmental Planning and Assessment Act* 1979 (as amended).

2.18 Interpretation

In the interpretation of this Planning Agreement, the following provisions apply unless the context otherwise requires:

- a) Headings are inserted for convenience only and do not affect the interpretation of this Planning Agreement
- b) A reference in this Planning Agreement to a business day means a day other than a Saturday or Sunday on which banks are open for business.
- c) If the day on which any act, matter or thing is to be done under this Planning Agreement is not a business day, the act, matter or thing must be done on the next business day.
- d) A reference in this Planning Agreement to dollars or \$ means Australian dollars and all amounts payable under this Planning Agreement are payable in Australian dollars.
- e) A reference in this Planning Agreement to a \$ value relating to a Development Contribution is a reference to the value exclusive of GST.
- f) A reference in this Planning Agreement to any law, legislation or legislative provision includes any statutory modification, amendment or re-enactment, and any subordinate legislation or regulations issued under that legislation or legislative provision.
- g) A reference in this Planning Agreement to any agreement, deed or document is to that agreement deed or document as amended, novated, supplemented or replaced.
- h) A reference to a clause, part, schedule or attachment is a reference to clause, part, schedule or attachment of or to this Planning Agreement.

- i) An expression importing a natural person includes any company, trust, partnership, joint venture, association, body corporate or governmental agency.
- j) Where a word or phrase is given a defined meaning, another part of speech or other grammatical form in respect of that word or phrase has a corresponding meaning.
- k) A word which denotes the singular denotes the plural, a word which denotes the plural denotes the singular, and a reference to any gender denotes the other genders.
- References to the word 'include' or 'including' are to be construed without limitation.
- m) A reference to this Planning Agreement includes the agreement recorded in this Planning Agreement.
- n) A reference to a Party to this Planning Agreement includes a reference to the servants, agents and contractors of the Party, the Party's successors and assigns.
- o) Any schedules, appendices and attachments form part of this Planning Agreement.
- p) Notes appearing in this Planning Agreement are operative provisions of this Planning Agreement.



3. Application and operation of this document

3.1. Planning Agreement

This document is a planning agreement:

- 1) Within the meaning set out in s7.4 of the Act; and
- 2) Governed by Subdivision 2 of Division 7 of the Act

3.2. Application

This Planning Agreement applies to the:

- 1) Land; and
- 2) Development

3.3. Operation

This Planning Agreement commences when it has been executed by all of the Parties.

4. Application of Section 7.11, 7.12 and 7.24 of the Act

- **4.1** This Planning Agreement excludes the application of section 7.11 of the Act to the Development
- **4.2** This Planning Agreement does not exclude the application of section 7.24 of the Act to the Development
- **4.3** This Planning Agreement does not exclude the application of S7.12 of the Act to the Development.

5. Monetary Contributions

5.1 Payment

- 1) The Developer must pay:
 - a) the Monetary Contribution; and

to Council in accordance with this Planning Agreement, and in particular in accordance with **Schedule 3**.

- 2) Schedule 3 has effect as an operative provision of this document.
- 3) The Developer must pay the full amount of the Monetary Contribution in cash, or by unendorsed bank cheque, or by deposit by means of electronic funds transfer of cleared funds, into a bank account nominated by Council.

5.2 Indexation

The amount of the Monetary Contribution will be indexed in accordance with Section 4.4 of Yass Valley Council Heavy Haulage Development Contributions Plan dated September 2021.

6. Developer Warranties

The Developer warrants to Council that:

- 1) It is legally and beneficially entitled to the Land;
- 2) It is able to fully comply with its obligations under this Planning Agreement;
- 3) It has full capacity to enter into this Planning Agreement; and

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DPS YASS Pty Ltd
VOLUNTARY PLANNING AGREEMENT

REF: 3575_VPA1 - DEVELOPMENT APPLICATION FOR QUARRY REHABILITATION, NANIMA

4) There is no legal impediment to it entering into this Planning Agreement, or performing the obligations imposed under it.

7. Registration of this Planning Agreement

7.1 Registration

This Planning Agreement must be registered on the title of the Land pursuant to section 7.4 of the Act.

7.2 Obligations of the Developer

Promptly after the date of this document, the Developer must at its own expense, do all things necessary to procure:

- a) The consent of each person that has an estate or interest in the Land.
- b) The production of the Certificate of Title relating to the land; and
- c) The lodgement and registration of this Planning Agreement by the Registrar-General in the relevant folio of the Register.

7.3 Evidence of Registration

- a) The Developer must provide the Council with a copy of the registered dealing and a title search in respect of the land evidencing registration within 14 days of registration occurring.
- b) The executed Planning Agreement will be registered on the Land before the Commencement of Works.
- c) Council will do all things necessary to allow the Developer to remove the registration of this document from the title of the Land where the Developer has provided all Monetary Contributions.
- d) The Developer must pay any reasonable costs incurred by Council in undertaking that discharge.

8. Determination of this Document

8.1 Determination

This Planning Agreement will determine upon the Developer satisfying all of its obligations under the Planning Agreement.

8.2 Effect of the Determination

Upon the determination of this Planning Agreement Council will do all things necessary to allow the Developer to remove this Planning Agreement from the title of the whole or any part of the Land as quickly as possible.

9. Security

9.1 Prohibition

Neither party may Assign their rights under this document without the prior written consent of the other party.

9.2 Assignment of Land

The Developer must not Assign its interest in the land, unless:

- a) Council consents to the Assignment; and
- b) On or before the Assignment occurring all Monetary Contributions (and

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DPS YASS Pty Ltd VOLUNTARY PLANNING AGREEMENT

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- any interest payable) have been repaid to the Council; or
- c) The proposed assignee enters into an agreement to the satisfaction of Council under which the assignee agrees to be bound by the terms of this document with respect to the relevant part of the Land being Assigned and to make any further Contributions in relation to that Land which have not been made as at the date of the Assignment.

9.3 Enforcement of Agreement

- Without limiting any other remedies available to the Parties, this Agreement may be enforced by the Parties in any court of competent jurisdiction.
- b) For the avoidance of doubt, nothing in the Planning Agreement prevents:
 - A Party from bringing proceedings in the Land and Environment Court to enforce any aspect of this Agreement or nay matter to which this Agreement relates; or
 - ii. The Council from exercising any function under the Act or any other Act or law relating to the enforcement of any aspect of this agreement or any matter to which this Planning Agreement relates.
 - iii. If the Applicants are in breach of this Planning Agreement, Council taking action to restrain the Applicants from operating otherwise than in accordance with the Development Consent.

9.4 Charge and Caveat

The Developer acknowledges and agrees that:

- a) The Land is charged with the payment to Council of the Monetary Contributions until the Monetary Contributions are paid to Council in full;
- b) Council has a caveatable interest in the Land from the date of this document until all of the Monetary Contributions have been paid to Council in full;
- c) Council has the right to lodge and maintain a caveat against the title to the Land to notify of and protect its interest created by this document (including the charge referred to in clause 8.4(a)) until all of the Monetary Contributions have been paid in full to the Council.

10. Dispute Resolution

The parties agree that any dispute arising during the term of this Planning Agreement will be dealt with as follows:

- a) First, the party claiming that there is a dispute will send to the other a notice setting out the nature of the dispute;
- b) Secondly, the parties will try to resolve the dispute by direct negotiation, including by referring the matter to persons who have the authority to intervene and direct some form of resolution:
- c) Thirdly, the parties have 10 business days from the receipt of the notice in clause 9(a) to reach a resolution or to agree that the dispute will be submitted to mediation or some other form of alternative dispute resolution procedure; and
- d) Lastly, if:
 - i. There is no resolution or agreement: or
 - ii. There is a submission to mediation or some other form of alternative dispute resolution procedure, but there is no resolution within 15 business days of the submission, or such extended time

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DPS YASS Pty Ltd VOLUNTARY PLANNING AGREEMENT

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as the parties may agree in writing before the expiration of the 15 business days,

then, either party may commence legal proceedings.

11. Position of Council

11.1 Consent Authority

The parties acknowledge that Council is a consent authority with statutory rights and obligations pursuant to the terms of the Planning Legislation.

11.2 Document does not Fetter Discretion

This document is not intended to operate to fetter:

- (a) the power of Council to make any Law; or
- (b) the exercise by Council of any statutory power or discretion

11.3 Severance of Provisions

- (a) No provision of this Planning Agreement is intended to, or does, constitute any unlawful fetter on any Discretion.
- (b) If, contrary to the operation of this clause, any provision of this Planning Agreement is held by a court of competent jurisdiction to constitute an unlawful fetter on the Councils discretion in any respect, the parties agree:
 - they will take all practical steps, including the execution of any further documents, to ensure the objective of this clause is substantially satisfied;
 - (ii) in the event that paragraph (i) cannot be achieved without giving rise to an unlawful fetter on a Discretion, the relevant provision is to be severed and theremainder of this document has full force and effect; and
 - (iii) to endeavour to satisfy the common objectives of the parties on relation to the provision of this document which is held to be an unlawful fetter to the extent that it is possible having regard to the relevant court judgment.
- (c) Where the Law permits Council to contract out of a provision of that Law or gives Council power to exercise a discretion, then if Council has in this Planning Agreement contracted out of a provision or exercised a Discretion under this document, then to the extent of this Planning Agreement is not to be taken to be inconsistent with the Law.

11.4 No Obligations

Nothing in this Planning Agreement will be deemed to impose any obligation on Council to exercise any of its functions under the Act in relation to the Development Consent, the Land or the Development in a certain manner.

12. Confidentiality

12.1 Planning Agreement not Confidential

The terms of this document are not confidential, and this document may be treated as a public document and exhibited or reported without restriction by any party.

13. **GST**

6.2

13.1 Definitions

In this clause 14 the terms 'Taxable Supply', 'GST', 'Tax Invoice' and 'Input Tax Credit' have the meaning given to them in the GST Law.

13.2 Supply Expressed in Terms of Money

If any party reasonably believes that it is liable to pay GST on a supply expressed in terms of money (or where the consideration for the supply is expressed in terms of money) and made to the other party under this document and the supply was not expressed to include GST, then:

- a) The recipient of the supply must pay an amount equal to the GST on that supply to the other party;
- b) The party making the supply will issue a Tax Invoice to the other party; and
- c) The recipient of the supply will pay the amount of the GST to the supplier within fifteen (15) days of receiving the Tax Invoice.

13.3 Expenses and Costs Incurred

If any expenses or costs incurred by one party are required to be reimbursed by the other party under this document, then the amount of the reimbursement will be calculated as follows:

- a) The amount of the cost or expense incurred by the party seeking reimbursement will be initially calculated excluding any Input Tax Credit to which that party is entitled to claim.
- b) This amount initially calculated will be increased by the applicable rate of GST to equal a GST inclusive reimbursement amount and this amount will be paid by the party liable to make the reimbursement.
- c) The party being reimbursed will issue a Tax Invoice to the other at the GST Inclusive reimbursement amount prior to being reimbursed.

13.4 Survival of Clause

This clause 12 continues to apply after the expiration or termination of this agreement.

14. Legal Costs

Each Party must pay their own legal costs and disbursements with respect to the preparation, negotiation, formation and implementation of this Planning Agreement.

15. Administrative Provisions

15.1 Notices

- (a) Any notice, consent or other communication under this Planning Agreement must be in writing and signed by or on behalf of the person giving it, addressed to the person to whom it is to begiven and:
 - (i) delivered to that person's address;
 - (ii) sent by pre-paid mail to that person's address; or
 - (iii) sent by email to that person's email address.
- (b) A notice given to a person in accordance with this clause is treated as having been given and received:

- (i) if delivered to a person's address, on the day of delivery if a business day, otherwise on the next business day;
- (ii) if sent by pre-paid mail, on the third business day after posting; and
- (iii) if sent by email to a person's email address and a conformation of receipt can be retrieved, on the day it was sent if a business day, otherwise on the next business day.
- (c) For the purpose of this clause the address of a person is the address set out in this document or another address of which that person may from time to time give notice to each other person.

15.2 Entire Agreement

This Planning Agreement is the entire agreement of the parties on the subject matter. All representations, communications and prior agreements in relation to the subject matter are merged in and superseded by this document.

15.3 Variation

6.2

- a) This Planning Agreement may be varied by agreement by the Parties
- b) Any variation of this Planning Agreement shall be of no effect unless in writing signed on behalf of the Council and the Developer.
- c) The parties agree to negotiate any variation that may become necessary to this Planning Agreement as a consequence of any modification to the Development Consent
- d) The parties agree to give public notice of any variation where required by the Act or Regulation.

15.4 Waiver

The non-exercise of or delay in exercising any power or right of either party does not operate as a waiver of that power or right, nor does any single exercise or a power or right preclude any other or further exercise of it or the exercise of any other power or right. A power or right may only bewaived in writing, signed by the parties to be bound by the waiver.

15.5 Counterparts

This Planning Agreement may be executed in any number of counterparts and all of those counterpartstaken together constitute one and the same instrument.

15.6 Unenforceability

Any provision of this document which is invalid or unenforceable in any jurisdiction is to be read down for the purposes of that jurisdiction, if possible, so as to be valid or enforceable, and is otherwise capable of being severed to the extent of the invalidity or enforceability, without affecting the remaining provisions of this document or affecting the validity or enforceability of that provision in any other jurisdiction.

15.7 Power of Attorney

Each attorney who executes this Planning Agreement on behalf of a party declares that the attorney has no notice of the revocation or suspension of the power of attorney by the grantor.

15.8 Governing Law

a) The law in force in the State of New South Wales governs this Planning Agreement.

- b) The parties:
 - i. submit to the exclusive jurisdiction of the courts of New South Wales and any courts that may hear appeal from those courts in respect of any proceedings in connection with this Planning Agreement; and
 - ii. May not seek to have any proceedings removed from the jurisdiction of New South Wales on the grounds of forum non conveniens.



DPS YASS Pty Ltd VOLUNTARY PLANNING AGREEMENT REF: 3575_VPA1 - DEVELOPMENT APPLICATION FOR QUARRY REHABILITATION, NANIMA

SCHEDULE 1

REQUIREMENTS UNDER SECTION S7.4 OF THE ACT

REQUIREMENT UNDER THE ACT	THIS PLANNING AGREEMENT	
Planning Instrument and/ or Development Application – (Section 7.4(1))		
The Developer has:		
sought a change to an environmental planning agreement;	a) Not Applicable	
b) made, or proposes to make, a Development Application; and / or	b) Yes	
c) entered into an agreement with, or is otherwise associated with, a person to whom paragraph (a) or (b) applies.	c) Not Applicable	
Description of land to which this agreement applies – (Section 7.4(3)(a))	See Clause 2.13 of this Planning Agreement	
Description of change to the environmental planning instrument to which this agreement applies – (Section 7.4(3)(b))	Not Applicable	
Application of Section 7.11 of the Act – (Section 7.4(d))	Refer to Section 4 of this Planning Agreement	
Application of Section 7.12 of the Act – (Section 7.4(d))	Refer to Section 4 of this Planning Agreement	
Consideration of benefits under this agreement if S7.11 applies – Section 7.4(3)(e))	Refer to Section 4 of this Planning Agreement	
Mechanism for Dispute resolution – (Section 7.4(3)(f))	Refer to Clause 10 of this Planning Agreement	
Enforcement of this Agreement – (Section 7.4(3)(g))	Refer to Clause 9 of this Planning Agreement	
Registration of the Planning Agreement – (Section 7.6)	Refer to Clause 7 of this Planning Agreement	
No obligation to grant consent or exercise functions – (Section 7.4(9))	Refer to Clause 11 of this Planning Agreement	

DPS YASS Pty Ltd VOLUNTARY PLANNING AGREEMENT REF: 3575_VPA1 – DEVELOPMENT APPLICATION FOR QUARRY REHABILITATION, NANIMA

SCHEDULE 2

YASS VALLEY COUNCIL & WINJARRA PTY LIMITED VOLUNTARY PLANNING AGREEMENT EXPLANATORY NOTES

These explanatory notes have been prepared in accordance with Clause 25E Environmental Planning & Assessment Regulation 2000.

1. **Objective**

The objective of the Voluntary Planning Agreement is to provide a contribution to Council in lieu of the Yass Valley Council Heavy Haulage Contributions Plan 2006 whilst recognising the recently adopted Yass Valley Heavy Haulage Contributions Plan 2021 in relation to the development application for quarry rehabilitation at Lot 2 DP1277698 1170 Murrumbateman Road, NANIMA NSW 2582.

It should be noted this development application was lodged prior to the adoption of Yass Valley Heavy Haulage Contributions Plan 2021 and therefore assessed under Yass Valley Council Heavy Haulage Contributions Plan 2006.

2. Nature of the Voluntary Planning Agreement

The Voluntary Planning Agreement sets the parameters for providing Council a contribution for the Yass Valley Council Heavy Haulage Contributions Plan 2006 whilst recognising the recently adopted Yass Valley Heavy Haulage Contributions Plan 2021.

Effect of the Voluntary Planning Agreement 3.

The Voluntary Planning Agreement provides for the payment of Heavy Haulage Contributions.

4. **Merits**

The merits of the Voluntary Agreement are to:

Give effect to the Council resolution to agree to the Heavy Haulage Contributions amount.

How the Voluntary Planning Agreement promotes the public interest a)

In accordance with Section 7.4 (2) Environmental Planning & Assessment Act 1979 the Voluntary Planning Agreement promotes the public interest by providing a mechanism by which Council have the mechanism to share the provision of public amenities generated by the payment of Contributions.

b) How the Voluntary Planning Agreement promotes elements of the Council's Charter

In accordance with Section 8 Local Government Act 1993 the Voluntary Planning Agreement promoted the Council's Charter by managing land and other assets so that the current and future local community needs can be met in an affordable way without being financially disadvantaged.

How the Voluntary Planning Agreement promotes the objects of the Act c)

The Voluntary Planning Agreement promotes the objects of the Act by ensuring that the quarry rehabilitation promotes the orderly and economic use and development of the land, promoting good design and amenity of the built environment.

The Voluntary Planning Agreement promoted the objects of the Act by ensuring that the development contributions to offset the accelerated decline in service life of roads caused by additional traffic movement on Council roads associated with Heavy Haulage operations are paid and appropriately indexed.

DPS YASS Pty Ltd VOLUNTARY PLANNING AGREEMENT REF: 3575_VPA1 - DEVELOPMENT APPLICATION FOR QUARRY REHABILITATION, NANIMA

d) The impact of the Voluntary Planning Agreement on the public or any section of the public

The Voluntary Planning Agreement is not anticipated to have a negative impact on the public or any section of the public.

e) Whether the Voluntary Planning Agreement conforms with Council's capital works program

The Voluntary Planning Agreement will not affect Council's capital works program until such time as the contributions are received. Council allocates development contributions to capital works as part of its annual capital works program.

f) The planning purpose or purposes of the Voluntary Planning Agreement

The purpose of the Voluntary Planning Agreement is to provide an agreement between both parties for the payment of Heavy Haulage Contributions and ensure they are appropriately indexed for the provision offsetting the decline of public infrastructure caused by additional traffic movement on Council roads associated with Heavy Haulage operations.

g) Compliance of certain requirements prior to the issue

There are no requirements for the developer to pay contributions prior to the issue of any Part 4A Certificate as the Agreement will not become effective until such time as the Completion of Works and a *'Final Project Report'* submitted to Council.



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DPS YASS Pty Ltd
VOLUNTARY PLANNING AGREEMENT
REF: 3575 VPA1 – DEVELOPMENT APPLICATION FOR QUARRY REHABILITATION, NANIMA

SCHEDULE 3

MONETARY CONTRIBUTION

CONTRIBUTION	TIME FOR PAYMENT	PUBLIC PURPOSE
Monetary Contribution Forty-seven thousand five hundred and thirty six dollars and eighty one cents. (\$47,536.81)	Payment of the Heavy Haulage Contribution is to occur upon 'Completion of Works' and the submission of a 'Final Project Report' to Council.	The Heavy Haulage Contributions will offset the accelerated decline in service life of roads caused by additional traffic movement on Council roads associated with Heavy Haulage operations: The public amenities and services covered by the Yass Valley Council Heavy Haulage Plan include the following:
	RAF	 Pavement damage to Council managed roads caused by Heavy Haulage operations associated with developments throughout the LGA. The upgrade and augmentation of Council managed roads to operate safely as Heavy Haulage routes.

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DPS YASS Pty Ltd VOLUNTARY PLANNING AGREEMENT REF: 3575_VPA1 – DEVELOPMENT APPLICATION FOR QUARRY REHABILITATION, NANIMA

SCHEDULE 4

6.2

SIGNING PAGE

EXECUTED as a deed

EXECUTED by **CHRIS BERRY** on behalf of the **YASS VALLEY COUNCIL** pursuant to a resolution dated

In the presence of

SIGNATURE OF CHRIS BERRY GENERAL MANAGER SIGNATURE OF WITNESS

NAME OF WITNESS

DRAFT

EXECUTED by WINJARRA PTY LIMITED (ABN 38 106 134 150) in accordance with Section 127 of the Corporations Act 2001

SIGNATURE OF SUSANNE BAUER SOLE DIRECTOR/ COMPANY SECRETARY

DPS YASS Pty Ltd
VOLUNTARY PLANNING AGREEMENT
REF: 3575_VPA1 – DEVELOPMENT APPLICATION FOR QUARRY REHABILITATION, NANIMA

Dear Yass Valley Council

DA 200151 1170 Murrumbateman Road, Nanima

I write on behalf of the

in respect to the above DA.

While the development is not in Sutton, the still has concerns about any such proposed developments in the Yass Council area that may result in increased heavy vehicle traffic on local roads in and around Sutton. We note that the recently provided Voluntary Planning Agreement issue by Council does not contain a proposed Traffic Management Plan, including a proposed route.

We further note that in the papers for the Ordinary Meeting of Council on Thursday 26 May 2022, the proposal states –

"The fill material will be transported to the site in rigid truck, dog trailer and/or semi-trailer combinations. The proposed maximum number of truck movements per day is based on a team of 8 trucks each making 8 deliveries per day. This equates to a maximum of 64 truck trips daily where 1 trip equals in and out of the site. Using average truck payload of 20 tonnes (13.5m3) with peak operation of 64 truck payloads, it is estimated that a total of 1280 tonnes (853m3) of material will be delivered per day to the site. The estimated traffic volume/payload truck movements generated by the proposed fill importation using average truck of 12-15m3 (18-22.5 tonnes) capacity is 2,880 trips (1 trip is in and out of the site) equating to 5,760 truck movements. The haulage route is proposed to be from the ACT along the Barton Highway and turning right onto Murrumbateman Road at Murrumbateman". Our concern is that until an agreed Traffic Management Plan is completed and endorsed, depending on where the fill is coming from, trucks could use roads in and around Sutton, including Sutton Road, through Sutton Village, East Tallagandra and Tallagandra Lanes and/or Mulligans Flat Road and ultimately Murrumbateman Road. If so, residents of Sutton have a right to comment on a Traffic Management Plan containing, the proposed route for trucks, how many total truck movements would be required how many trips are proposed

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for each day, over what period of time, what days per week and the hours of operation of the truck movements, prior to any consent for the development being given by Council.

Alternatively, if the dump trucks are to take a direct route up the Barton Highway, as outlined in the Council Papers of May 2022, then this would not affect the roads in the Sutton area but is still a concern because Sutton residents are Yass Valley ratepayers who will still be impacted by any extra costs of road repairs.

It's hard to imagine that the \$47,536.81 as monetary contributions from the developer will go anywhere near maintaining the roads with such proposed heavy vehicle flows.

Until a Traffic Management Plan is finalised and a route determined, the does not support the proposal.

Mr Muzaffar Rubbani Development Planner Yass Valley Council POB0x 6 YASS NSW 2582

Dear Muzaffar

Development Consent DA 200151

Attention is drawn to the implications for Nanima Road of the Conditions to DA 200151. Nanima Road is, structurally, incapable of carrying the loads envisaged in the DA. In addition, despite recent widening works the road remains hazardous, winding and with many changes of gradient.

Hence, I register serious concerns about the Conditions and request that they be reviewed. I note that Nanima Road is subject to a 'safety upgrade' and already has LED 'Slow Down' signs. Reducing the speed limit to 80kph and maintaining a load limit at 10t would be the appropriate way to secure safety for all road users.

Part A General Conditions.

(11) Haulage operations for all heavy haulage activities associated with the development shall be restricted to Barton Highway to Murrumbateman Road. No other road shall be used for the haulage of material associated with this development.

Part D While Works Are Being Carried Out.

(37) The designated haulage route for the importation of fill must be: • Canberra to Barton Highway • Barton Highway to Murrumbateman Road

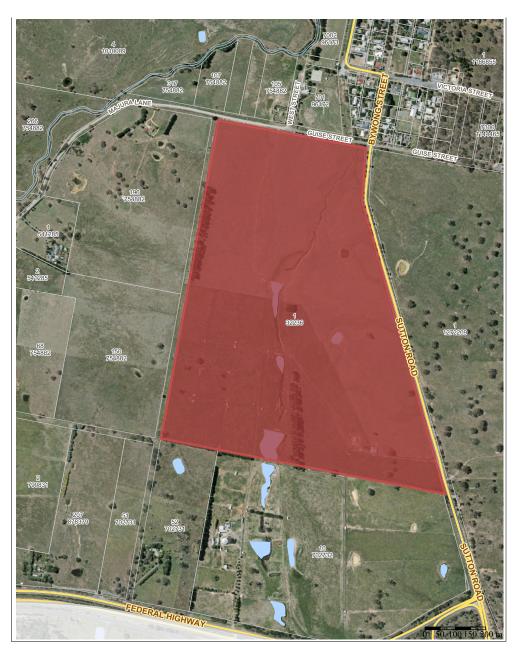
These Clauses imply that Nanima Road is to be mandated as the sole route for this traffic. If this is correct the Conditions appear to preclude trucks accessing Murrumbateman Road from, say, Tallagandra Lane or the Federal Highway (via Sutton Road) irrespective of their point of departure from Canberra.

The General Conditions are silent as to who will be responsible for monitoring truck movements (General Condition #15).

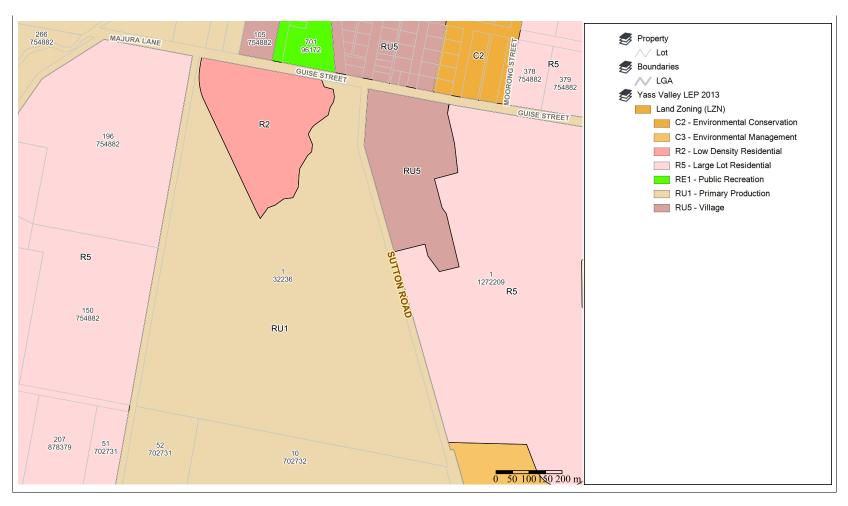
Upgrading Nanima Road. Stage 1 – a rebuild - of 5km has been successful. Significantly, even after the rebuild, Stage 1 has a 'double white line' for the majority of its length, confirming that this is not a route for high speed, heavy traffic. Meanwhile, the pavement on large sections of Stages 2 and 3 (approx. 9km) is disintegrating, the recent wet weather having exposed the inadequacy of the seal in many areas. Recent patching has already required repair. Without complete reconstruction Stages 2 and 3 will continue to crumble under heavy traffic, especially if the 10t limit is lifted.

I submit that Nanima Road should not be identified as the sole route for the traffic envisaged by this DA and that all alternatives should be explored and utilised.

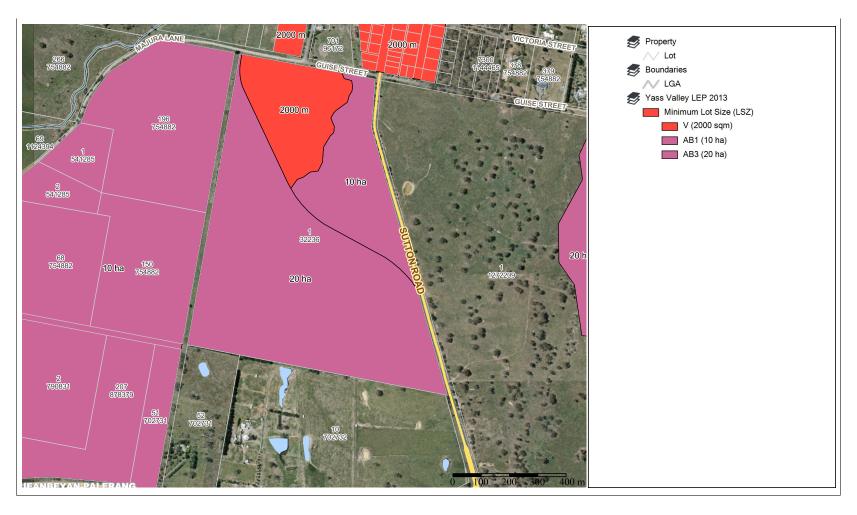
Yours sincerely



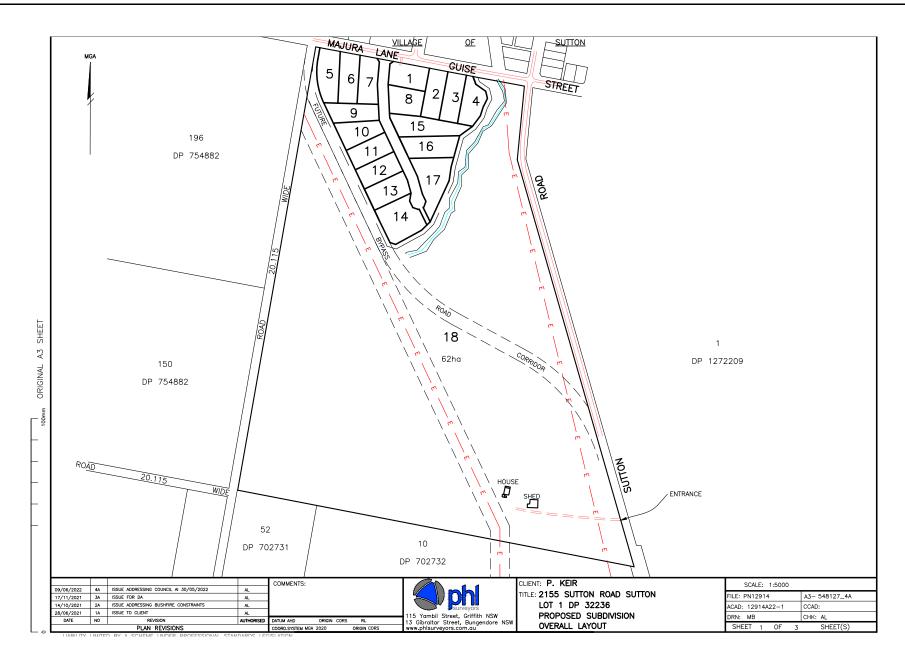


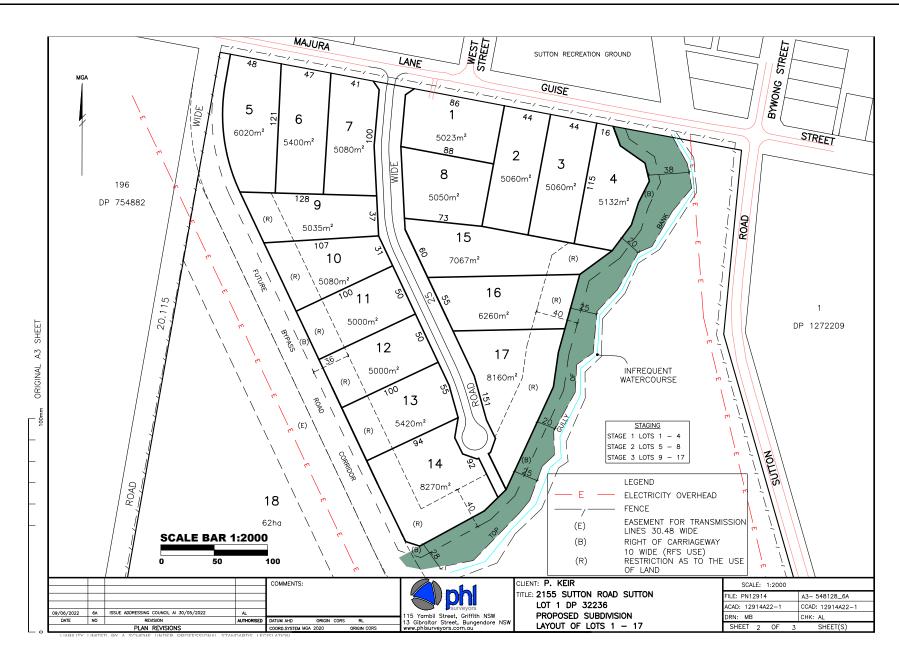


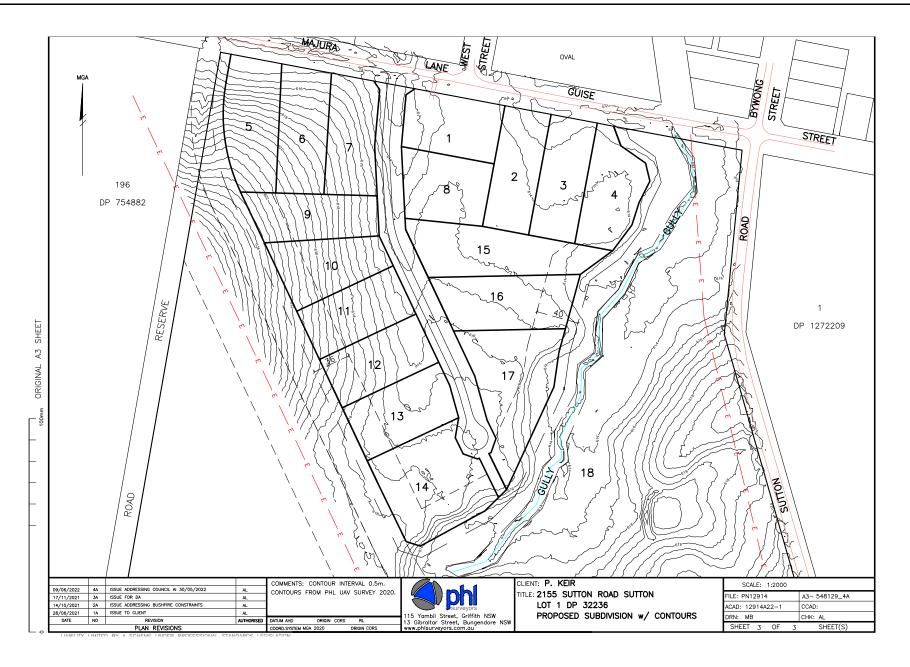












Submission 1

Yass Valley Council 209 Comur Street, Yass

Original Subdivision Plans

Dear Sir/Madam

Submission by Re DA210293 – 2155 Sutton Road, Sutton

Thank you for the opportunity to comment on DA210293 – 2155 Sutton Road, Sutton (**the Development**).

I draw to your attention the comments submitted to the Yass Valley Council by the on 26 January 2022. The comments presented on:

- The proposed Sutton Village Bypass:
- The need to ensure that the development integrates with the current village layout:
- The need to ensure that any pedestrian, cycle and/or equestrian paths or roadways, integrate with the village and other planned developments' paths and roadways: and
- Access to groundwater.

all remain valid and we assume that they will be taken into consideration as the development process proceeds.

Recent meetings with senior Council staff indicate acknowledgement that the biggest single concern for the Sutton community is safety for road users. Key to addressing this problem is positive action to divert traffic away from the village by planning for and designing a suitable road bypass. The first major step is defining the most suitable route for the bypass, and it is significant that this DA 210293 addresses this very point by reserving a tract of land through the development area for this bypass.

The commends the Keir family for their ongoing consultation with the community and their genuine efforts to ensure that the development addresses all the wider concerns of the community.

The and the Council both recognise that establishing a bypass road will be a challenging and expensive exercise. Approving this DA 210293 by the Council will establish the starting point for the road bypass, and lay the foundations for addressing this urgent safety issue.

Yours sincerely,

Submission 2

Muzaffar Rubbani

From: Sent:

To: YVC Customer Service Team

Subject: Public Consultation online submission [#480]

[EXTERNAL] Please exercise caution when clicking on links or attachments from external sources.

Name *

Address *

Email *

Phone

Number *

What item

LOT:1 DP:32236, 2155 Sutton Road, SUTTON

are you

making a

submission

on? *

Submission *

Dear Yass Valley Council,

Referring to development plan application for Mr. P. S. Keir LOT:1 DP:32236, 2155 Sutton Road, SUTTON I am concerned on a number of things as below: –

- 1) The wording on this DA plan of 'Future Bypass Road Corridor' sounds like it is not an active part of this DA plan. Rather it is up to Yass Valley Council to gain permission from this landowner before proceeding this bypass roadworks. Is that correct?;
- 2) When this bypass works will happen(?) as Sutton Village is heavily 'bombarded' with daily grid (4am onwards) from heavy B double trucks that has to negotiate four sharp 90 degree turns, frequently damaging these 'residential standard' roadway. Most Sutton Villagers (including me) are looking forward to this proposed 'bypass' for years to

6.3 Development Application No DA210293 - Residential Subdivision, 2155 Sutton Road, Sutton Attachment E Submissions

remove heavy daily noise pollution etc, etc from these articulated vehicles;

3) The little overpass bridge in front of Sutton 'Ray White' real estate shopfront, is not legally adequate for these 'B'

double trucks. This bridge is rated to support traffic weight not exceeding 10-15 tonnes. It is illegal for 'B' double

trucks weighing up to 45 tonnes each for daily crossings on this ageing bridge! Often these trucks passed each other

on that bridge bearing a total weight of 90 tonnes!! Let alone with a few centimetres to spare when passing each

other on that tiny 4.9 metre wide bridge!!! During cold winter mornings fogs often descend around this bridge,

including all four 90 degrees turns in this village, creating a 'time bomb' for future major road accidents;

4) Back to 'Future Bypass Road Corridor' on this DA plan, how would this proposed road to be successfully merged

into Sutton Road for smooth safe passage both ways, including easy safe access for residents driving to/from their

Sutton Village homes?

All above points should build a very good case for 'Sutton Bypass' main road project to be commenced as soon as

possible. Like Bywong Road is regularly crumbled into many large potholes by these unwelcome huge trucks.

By the way, I don't have major issues regarding 18 blocks to be subdivided into 5050m2 to 8270m2 blocks as long

the proposed Sutton Bypass is to constructed at the same time as for this DA to be developed.

Looking forward to hear your viewpoints on EACH of my four concerns above shortly.

Thanking you,

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Submission 3

Muzaffar Rubbani

From: Sent:

To:YVC Customer Service TeamSubject:Re: DA number: DA210293

[EXTERNAL] Please exercise caution when clicking on links or attachments from external sources.

DA number: DA210293

To whom it may concern,

Regarding the above DA, I just have one major concern and that is I would not like to see the trees felled along Guise Street, those trees provide important habitat for a number of bird species, shingleback lizard pairs, and blue tongue lizards. Due to the proximity to the creek of these trees, there are likely to be other species as well.

Consideration of maintaining the creek's ecosystem (i.e. not polluting or damaging it) should also be undertaken due to the amount of frogs, waterfowl, and other wildlife residing there. I'm also not keen on construction noise, dust, disruption and damage to the roads in the future and hope this will be addressed, i.e. work not started at anti-social hours (like the oval upgrade).

Kind regards,

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Submission 4

Submission on DA210293 Kier subdivision at Sutton

This development is supported in principle however it does not comply with the agreed and adopted Sutton Master Plan.

The proposed road network does not extend the existing village grid – namely at West St. The location of the proposed access road in the subdivision should be relocated to the east to form a cross intersection and continuation of West St. This would respect and maintain the strong grid street layout which is fundamental to the heritage of Sutton Village and its character.

This would improve pedestrian access from the subdivision to the community hall and village facilities as only one road crossing would be required to access these. This would not affect road safety as there is no evidence that offset T junctions provide greater safety in urban low speed environments such as on Guise St.

Village bypass

The proponent has allowed for a "future by-pass road corridor" and this is to be commended. However, Council should undertake the necessary preliminary route identification work to ensure this corridor is suitable for a 100kph road and will be suitable for the bypass. This check should be undertaken before the subdivision is approved.

Design of roads

The design of road verges should be required to match those in the existing village and be developed without kerb and gutter and with natural stormwater drainage systems. Street lighting should be minimised and designed to reduce light spill.

Public access

Public access should be provided along the proposed creek reserve and the proposed future road corridor to allow for use by existing and new residents as a walking and cycling route. This access should be finished with a compacted gravel surface suitable for cyclists.

Once Council has confirmed the route identified for the bypass is suitable this should be transferred to Council ownership to secure this section of the route in public ownership for future development.

Council should honour its adoption of the Sutton Masterplan by ensuring this development is consistent with the documented wishes of the village.

Submission 5

Muzaffar Rubbani

From: Sent:

To:YVC Customer Service TeamSubject:DA210293 Sutton Road - response

Attachments: DA210293-Updated-Subdivision-Plan-2155-Sutton-Road.pdf

[EXTERNAL] Please exercise caution when clicking on links or attachments from external sources.

To Whom it concerns,

We understand that the above DA along Sutton Road adjacent to Majura Lane has been submitted and proposes 18 new Lots to be attached to the existing road infrastructure on the side of the Sutton township. This proposal also shows a future road bypass corridor.

My comments on the proposal are as follows:

- The development proposed will be very prominent for Sutton and will potentially form a new entry point to the Sutton village. In its current form the development does little to add value to the existing township and just encloses the new entry point to the village.
- There is no contribution of the development to improve the public amenity of the area proposed (such as park space or landscaping of public zones) – just simply 17 new Lots which the existing infrastructure of Sutton now needs to accompdate.
- There needs to be a provision for landscaping (as part of the development) along Majura Lane/Guise street and along the new bypass corridor to assist in providing an attractive entry and suitable buffer between the new Lots and roadways.
- At least 7 of the proposed new Lots will be subject to significant road noise by the bypass road producing a similar situation to what is existing within Sutton itself with Lots being affected by the road noise. The bypass road corridor is shown right at the back of the proposed lots and I would suggest that there should be more space for a landscaped verge to give a little bit of space between the roadway and the lots. This may mean the R zone becoming landscaped area and the removal of Lot 5 entirely, as the electrical easement seems to restrict the area on the other side of the bypass road corridor.
- Is any improvement to drainage of the infrequent watercourse proposed?
- Lots 5 and 4 appear to have restricted space for development (if the dotted line shown on Sheet 2 of 3 is continued through from the adjacent lots then these lots are very restricted for space).
- Lot 17 has limited development potential being a strangely shaped block that is restricted heavily from the infrequent watercourse side.
- 7 of the new lots open directly onto the existing roads of Majura Lane and Guise Street which will obviously increase traffic in this zone with many more cars turning directly into the street.
- Is a town water supply and town sewerage system going to be developed by Yass Council to accommodate the sewer and
 water supply needs of all of these new blocks in Sutton? I would suggest that if developments like this are approved there
 needs to be additional infrastructure in terms of water and septic from the council to accommodate these new smaller Lot
 sized developments.
- It seems that this development needs additional planning consideration given that it forms a new entry point for Sutton, determines a path for the new Sutton bypass road and that Sutton itself is already being significantly expanded in other directions with other approved developments.

Than	ks	verv	/ m	iuch.

Kind Regards,

	Development Application No DA210293 - Residential Subdivision, 2155 Sutton Road, Sutton Attachment E Submissions
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Submission 6

Dear Sir/Madam

Submission of

Re DA210293 - 2155 Sutton Road, Sutton

Thank you for the opportunity to comment on DA210293 – 2155 Sutton Road, Sutton (the Development).

is not in a position to advise whether the Sutton community supports or opposes the Development. Instead, the submission seeks to ensure, that any development occurring with the Sutton village is consistent with the 2017 Sutton Village Master Plan (the **Master Plan**), which was prepared in significant consultation with the

community and has been adopted by Council and has the status of a Council policy or a DCP.

The would also like to commend the Keir's for their ongoing consultation with the c ommunity and their genuine efforts to ensure that their proposed development compliments the existing Sutton Village and its environs. The also acknowledges the challenge in putting together a development that adequately addresses all of the wider community's concerns.

The further acknowledges that staged development of the sub-division is an appropriate way to allow fine tuning of the overall design to be achieved.

Key issues -

Sutton Village Bypass:

The is committed to the longer-term construction of a Sutton Village bypass as articulated in the Master Plan.

We note that there is no argument in the DA documentation about the dangers associated with the current route through the Village and the need for an alternate route. Such concerns have long been raise by the on behalf of the local community and other road users. We are also well aware that there are many other interested parties in these discussions, including Council, the NSW Government and its various agencies and potentially other adjoining land holders.

The 2017 Sutton Village Master Plan contained provision for an "indicative alignment of Bypass (subject to further investigation)" as one of the Key Features of the Master Plan on page two (2). No one has raised any objection or alternate proposal to the proposed alignment in the Master Plan and we note that that indicative alignment is close to that identified in the proposed DA. Previous options for bypasses have been discussed and discarded. A proposed route through the Keir property appears to be almost universally endorsed.

If Council does not incorporate a clear preferred bypass route in this development application, it will likely mean that a bypass may never be able to be constructed and future generations will be significantly disadvantaged by such an inaction by Council.

We commend the Keir family for including provision for the bypass in their DA and urge Council to work with the developer and the to formalize the route which will give some long-term certainty, not only to Sutton residents but to all road users in the area.

The need to ensure that the development integrates with the current village layout:

There are currently three (3) potential developments in train in and around the Sutton Village.

DA200273 at 2090 Sutton Road, this current DA, DA210293 and Planning Proposal PP.2019.02 at 2402 Sutton Road, Sutton.

One of the key issues that the will bring to each of these potential developments is that they integrate with the current village to ensure once complete, the township of Sutton appears as one village and not a number of small unrelated developments making up a township.

This, in our opinion, means that Council must ensure that this is in the forefront of developers minds when proposing the layout and design of each of the potential developments.

The need to ensure that any pedestrian, cycle and/or equestrian paths or roadways, integrate with the village and other planned development's paths and roadways:

The rural feel of Sutton and its surrounds is what attracts people to this location. The ability to get around the village on foot, on a bicycle or a horse is paramount to current and new residents. Many of the block sizes in the potential three (3) developments will likely attract people with an equestrian interest. Any paths or roadways designed for other than vehicular traffic, should have this in mind and be conducive to the three modes of movement mentioned above.

As this development is so closely sited to the oval precinct/West Street, such links are all the more important and should be clearly aligned to the Yass Valley Pedestrian Access and Mobility Plan in any approval of the DA by Council.

It should also be noted that funding has been recently provided by the NSW government for the upgrading of Sutton Oval for junior soccer games and another DA is currently being considered by Council for the proposed Sutton Country Markets, meaning that a longer-term increase in vehicular and pedestrian traffic in the vicinity needs to be an important consideration in the approval of this DA.

The also notes that the intersection of Sutton Road, Guise Street and Majura Lane will become far more congested with vehicular traffic with the advent of this development and DA200273. Provision

therefore needs to be made in the approval of both developments for such an increase in not only vehicular, but also pedestrian traffic in that area.

Landscape buffer along Sutton Road to the village:

Whilst there are no plans within this current DA to have blocks bordering onto Sutton Road, it is important in the view, that the entrance to the Sutton village from the Federal Highway, needs to be protected and enhanced by an appropriate buffer between the properties that line Sutton Road and the roadway itself.

The intent to have a line of trees along Sutton Road and to retain the corner paddock as a grazing block would meet this need.

Access to groundwater:

As with other proposed developments in this area, the has major concerns about a significant number of new property holders seeking to gain access to groundwater by virtue of bores. We would be opposed to each individual landholder in this new development having access to such a provision without further investigation of the scale of underground water available.

Conclusion:

As with previous DA submissions, the issues raised in this submission should be read in the context of the being keen to ensure that any new development complements and appropriately integrates with the existing village, its heritage values and its people, thus ensuring a strong and direct connectivity to it, not as opposition to the development.

As always, the commits to working constructively with YVC and the developers as it assesses this proposal.

Development Application No DA210293 - Residential Subdivision, 2155 Sutton Road, Sutto	วท
Attachment E Submissions	

Yours sincerely,

6.3

DA.210293 - 2155 Sutton Road, Sutton

Response to Submissions

Submission	Comment Summary	Response
Submission 1	Divert traffic with bypass road	Corridor proposed.
Submission 2	Corridor not part of DA & no details	Correct that detail of the bypass is not in this DA, however, the route has been considered in the lot layout.
Submission 3	Trees along Guise Street and creek ecosystem	 There is no plan to remove the trees along Guise Street and the road reserve is 30 metres wide. There will be a buffer provided along the creek. Construction hours will be specified by YVC.
Submission 4	4.1 – Village grid	 There is no village grid in the vicinity north of Guise Street (Sutton oval). The road has been placed along a minor depression to accommodate stormwater drainage. The creek, powerline and proposed bypass route prevent a grid pattern being established here.
	4.2 – Village bypass	A 200m radius is provided at the northwestern corner and 400m radius at Sutton Road.

	4.3 – Design of roads	Roads with grassed table drains are preferred and the road width can accommodate this.
	4.4 – Public access	A buffer will be provided along the creek for pedestrian access, however, at present it is private property.
Submission 5	5.1 – Entry to village	The subdivision will create large lots west of the creek and no new entry point to the village.
	5.2 – Public amenity	These are very large urban lots and park space is not proposed with Sutton Oval adjoining. The creek corridor linkage to the oval will always be open space.
	5.3 – Landscaping	Will be a condition of consent.
	5.4 – Bypass road noise	Lots 9 to 14 are 100 metres in depth with a buffer of 40 metres from the "future road" to the building envelope. Lot 5 has frontage to Majura Street.
	5.5 – Drainage of watercourse	No earthworks are proposed along the watercourse.
	5.6 – Lots 5 and 4	Adequate building space is available.

	5.7 – L ot 17	Considered very viable for building.
	5.8 – Majura Lane	Traffic will increase of course, however, the road will be upgraded, and the land is zoned for the purpose of residential development.
	5.9 – Water supply and sewerage	Not part of this application.
	5.10 – More planning	This application is supported by the zoning and will not impact the entry to Sutton village.
Submission 6	6.1 - Bypass	Comments received.
	6.2 – Integration	Agreed. However, development must incorporate the opportunities and constraints of each individual site.
	6.3 - Mobility	Wide roads with room for pedestrians and cyclists and indeed horses are proposed.
	6.4 – Landscape buffer	Tree planting along Sutton Road is supported.
	6.5 – Groundwater	Construction of bore(s) is not part of this application.



Department of Planning and Environment

Contact: Department of Planning and Environment—Water
Phone: 1800 633 362

Email: waterlicensing servicedesk@dnie.nsw.gov.au.

Email: waterlicensing.servicedesk@dpie.nsw.gov.au

Our ref: IDAS-2022-10033 Your ref: DA210293

4 April 2022

General Manager Yass Valley Council

Attention: Muzaffir Rubbani

Uploaded to the ePlanning Portal

Dear Sir/Madam

Re: IDAS-2022-10033 - Integrated Development Referral - General Terms

of Approval

Dev Ref: DA210293

Description: 19 Lot Subdivision

Location: 2155 Sutton Road, SUTTON NSW 2620 - 1//32236

I refer to your recent referral regarding an integrated Development Application (DA) proposed for the above location. Attached, please find the Department of Planning and Environment—Water's General Terms of Approval (GTA) for part of the proposed development requiring a Controlled Activity approval under the *Water Management Act* 2000 (WM Act), as detailed in the subject DA.

Please note Council's statutory obligations under section 4.46 of the *Environmental Planning and Assessment Act 1979* (EPA Act) which requires consent, granted by a consent authority, to be consistent with the general terms of any approval proposed to be granted by the approval body.

If the proposed development is approved by Council, the department requests these GTA be included (in their entirety) in Council's development consent. Please also note the department requests notification:

if any plans or documents are amended and these amendments significantly change
the proposed development or result in additional works or activities (i) in the bed of any
river, lake or estuary; (ii) on the banks of any river lake or estuary, (iii) on land within 40
metres of the highest bank of a river lake or estuary; or (iv) any excavation which
interferes with an aquifer.

The Department of Planning and Environment—Water will ascertain from the notification if the amended plans require review of or variation/s to the GTA. This requirement applies even if the amendment is part of Council's proposed consent conditions and do not appear in the original documentation.

 if Council receives an application under s4.46 of the EPA Act to modify the development consent and the modifications change the proposed work or activities described in the original DA.

4 Parramatta Square, 12 Darcy Street, Parramatta NSW 2150 LOCKED BAG 5022, Parramatta, NSW 2124

www.dpie.nsw.gov.au

· of any legal challenge to the consent.

As the proposed work or activity cannot commence before the applicant applies for and obtains an approval, the department recommends the following condition be included in the development consent:

The attached GTA issued by the Department of Planning and Environment—Water do not constitute an approval under the *Water Management Act 2000*. The development consent holder must apply to the department for a Controlled Activity approval after consent has been issued by Council and before the commencement of any work or activity.

A completed application must be submitted to the department together with any required plans, documents, application fee and proof of Council's development consent. Finalisation of an approval can take up to eight (8) weeks from the date the application and all required supporting documentation is received.

Applications for controlled activity approval should be made to the department, by lodgement of a Controlled Activity Approval – New approval application on the NSW Planning Portal at: https://www.planningportal.nsw.gov.au/

The Department of Planning and Environment—Water requests that Council provide a copy of this letter to the development consent holder.

The Department of Planning and Environment—Water also requests a copy of the determination for this development application be provided by Council as required under section 4.47(6) the EPA Act.

Yours Sincerely Slavametaskeer

For

Jeremy Morice

Manager

Licensing and Approvals

Department of Planning and Environment—Water



General Terms of Approval

for proposed development requiring approval under s89, 90 or 91 of the Water Management Act 2000

Reference Number: IDAS-2022-10033
Issue date of GTA: 4 April 2022
Type of Approval: Controlled Activity

Location of work/activity: 2155 Sutton Road, SUTTON NSW 2620 - 1//32236

Waterfront Land: 2nd order watercourse

DA Number: DA210293

LGA: Yass Valley Council

The GTA issued by Department of Planning and Environment—Water do not constitute an approval under the *Water Management Act 2000*. The development consent holder must apply to the Department of Planning and Environment—Water for the relevant approval **after development consent** has been issued by Council **and before** the commencement of any work or activity.

Condition Number	Details
TC-G001	Before commencing any proposed controlled activity on waterfront land, an application must be submitted to Department of Planning and Environment—Water, and obtained, for a controlled activity approval under the Water Management Act 2000.
TC-G004	A. This General Terms of Approval (GTA) only applies to the proposed controlled activity described in the plans and associated documents found in Schedule 1, relating to Development Application DA210293 provided by Council to Department of Planning and Environment—Water.
	B. Any amendments or modifications to the proposed controlled activity may render the GTA invalid. If the proposed controlled activity is amended or modified, Department of Planning and Environment—Water, must be notified in writing to determine if any variations to the GTA will be required.
TC-G005	A. The application for a controlled activity approval must include the following plan(s): i. Site plans indicating the demarcation of waterfront land, designated riparian corridors and identifying any areas of encroachments and offsets ii. Erosion and sediment control plans; iii. Construction detailed drainage plans; iv. Vegetation management plan, which demonstrates a vegetated riparian corridor;
	B. The plan(s) must be prepared in accordance with Department of Planning and Environment—Water 's guidelines located on the website https://www.nrar.nsw.gov.au/how-to-apply/controlled-activities/guidelines-for-controlled-activities

SCHEDULE 1

The plans and associated documentation listed in this schedule are referred to in general terms of approval (GTA) issued by Department of Planning and Environment—Water for integrated development associated with IDAS-2022-10033 as provided by Council:

- Statement of Environmental Effects, prepared by Coe Planning Services.
- Subdivision Plans 3 sheets, prepared by phl surveyors, dated 17/11/2021
- Integrated Assessment, prepared by Franklin Consulting Australia Pty Limited, dated 14 May 2020.
- Riparian corridor plan, prepared by phl surveyors, dated 11/02/2022





Yass Valley Council Locked Bag 6 YASS NSW 2582

Your reference: (CNR-33700) DA210293 Our reference: DA20220116000382-Original-1

ATTENTION: Muzaffar Rubbani Date: Thursday 1 December 2022

Dear Sir/Madam,

Integrated Development Application s100B - Subdivision - Subdivision 2155 Sutton Road Sutton NSW 2620, 1//DP32236

I refer to your correspondence dated 17/01/2022 seeking general terms of approval for the above Integrated Development Application.

The New South Wales Rural Fire Service (NSW RFS) has considered the information submitted. General Terms of Approval, under Division 4.8 of the *Environmental Planning and Assessment Act 1979*, and a Bush Fire Safety Authority, under section 100B of the *Rural Fires Act 1997*, are now issued subject to the following conditions:

Asset Protection Zones

Intent of measures: to provide sufficient space and maintain reduced fuel loads to ensure radiant heat levels at the buildings are below critical limits and prevent direct flame contact.

1. At the issue of a subdivision certificate and in perpetuity, the entire site of the proposed residential lots must be managed as an inner protection area (IPA) in accordance with the requirements of Appendix 4 of *Planning for Bush Fire Protection* 2019.

When establishing and maintaining an inner protection area, the following requirements apply:

- tree canopy cover should be less than 15% at maturity,
- trees at maturity should not touch or overhang the building,
- lower limbs should be removed up to a height of 2m above the ground,
- tree canopies should be separated by 2 to 5m,
- preference should be given to smooth-barked and evergreen trees,
- large discontinuities or gaps in vegetation should be provided to slow down or break the progress of fire towards buildings,
- shrubs should not be located under trees,
- shrubs should not form more than 10% ground cover,
- clumps of shrubs should be separated from exposed windows and doors by a distance of at least twice the height of the vegetation,

Postal address

NSW Rural Fire Service Locked Bag 17 GRANVILLE NSW 2142 Street address

NSW Rural Fire Service 4 Murray Rose Ave SYDNEY OLYMPIC PARK NSW 2127 T (02) 8741 5555 F (02) 8741 5550 www.rfs.nsw.gov.au

- grass should be kept mown (as a guide, grass should be kept to no more than 100mm in height), and
- leaves and vegetation debris should be removed.
- 2. At the issue of a subdivision certificate, and in perpetuity, the site around the existing dwelling on the proposed residue lot must be maintained as an inner protection area (IPA) as follows:
 - north for a distance of 36 metres;
 - east for a distance of 48 metres; and
 - south & west for a distance of 50 metres.

When establishing and maintaining an inner protection area, the following requirements apply:

- tree canopy cover should be less than 15% at maturity,
- trees at maturity should not touch or overhang the building,
- lower limbs should be removed up to a height of 2m above the ground,
- tree canopies should be separated by 2 to 5m,
- preference should be given to smooth-barked and evergreen trees,
- large discontinuities or gaps in vegetation should be provided to slow down or break the progress of fire towards buildings,
- shrubs should not be located under trees,
- shrubs should not form more than 10% ground cover,
- clumps of shrubs should be separated from exposed windows and doors by a distance of at least twice the height of the vegetation,
- grass should be kept mown (as a guide, grass should be kept to no more than 100mm in height), and
- leaves and vegetation debris should be removed.

Construction Standards

The intent of measures is that buildings are designed and constructed to withstand the potential impacts of bush fire attack. To achieve this, the following conditions shall apply:

3. The existing dwelling on the proposed residue lot 18 must be upgraded to improve ember protection by enclosing all openings (excluding roof tile spaces) or covering openings with a non-corrosive metal screen mesh with a maximum aperture of 2mm. Where applicable, this includes any subfloor areas, openable windows, vents, weep holes and eaves. External doors are to be fitted with draft excluders.

Access - Public Roads

Intent of measures: to provide safe operational access to structures and water supply for emergency services, while residents are seeking to evacuate from an area.

- 4. Access roads for subdivision developments must comply with the following requirements of Table 5.3b of *Planning for Bush Fire Protection 2019*:
 - property access roads are two-wheel drive, all-weather roads;
 - traffic management devices are constructed to not prohibit access by emergency services vehicles;
 - maximum grades for sealed roads do not exceed 15 degrees and an average grade of not more than 10 degrees or other gradient specified by road design standards, whichever is the lesser gradient;
 - all roads are through roads;
 - proposed dead end road must incorporate a minimum 12 metres outer radius turning circle, and are clearly sign posted as a dead end;
 - where kerb and guttering is provided on perimeter roads, roll top kerbing should be used to the hazard side of the road;
 - the capacity of perimeter and non-perimeter road surfaces and any bridges/causeways is sufficient to carry fully loaded firefighting vehicles (up to 23 tonnes); bridges/causeways are to clearly indicate load rating:
 - hydrants are located outside of parking reserves and road carriageways to ensure accessibility to reticulated water for fire suppression;

- hydrants are provided in accordance with the relevant clauses of AS 2419.1:2005 Fire hydrant installations System design, installation and commissioning; and
- there is suitable access for a Category 1 fire appliance to within 4m of the static water supply where no reticulated supply is available.
- 5. Proposed road must comply with the general requirements of Table 5.3b of *Planning for Bush Fire Protection* 2019 and the following:
 - are two-way sealed roads;
 - minimum 8m carriageway width kerb to kerb;
 - parking is provided outside of the carriageway width;
 - hydrants are located clear of parking areas;
 - curves of roads have a minimum inner radius of 6m;
 - the maximum grade road is 15 degrees and average grade of not more than 10 degrees;
 - the road crossfall does not exceed 3 degrees; and
 - a minimum vertical clearance of 4m to any overhanging obstructions, including tree branches, is provided.
- 6. Proposed 10 metres wide trafficable defendable space at the interface of the proposed residential lots 4-5 & 9-15 and proposed residue lot 18 as generally demonstrated as (B) in Figure 1: Revised Layout of the submitted bush fire report prepared by Ember Bushfire Consulting (dated 24/06/2022 and referenced: JD.33.22) must be located wholly within the proposed residue lot 18 and must comply with the following requirements of table 5.3b of *Planning for Bush Fire Protection 2019*:
 - access roads are two-wheel drive, all-weather roads;
 - access road must restrict parking with 'no parking' signage restrictions at all times;
 - the use of the access road must be for emergency services only with appropriate signage restrictions clearly sign posted at all times;
 - the capacity of road surfaces is sufficient to carry fully loaded firefighting vehicles (up to 23 tonnes);
 - minimum 4m carriageway width;
 - a minimum vertical clearance of 4m to any overhanging obstructions, including tree branches;
 - access must provide a suitable turning area in accordance with Appendix 3;
 - curves have a minimum inner radius of 6m and are minimal in number to allow for rapid access and egress;
 - the minimum distance between inner and outer curves is 6m;
 - the cross fall is not more than 10 degrees; and
 - maximum grades for sealed roads do not exceed 15 degrees and not more than 10 degrees for unsealed roads.

Water and Utility Services

Intent of measures: to provide adequate services of water for the protection of buildings during and after the passage of a bush fire, and to locate gas and electricity so as not to contribute to the risk of fire to a building.

7. The provision of water, electricity and gas must comply with Table 5.3c of *Planning for Bush Fire Protection*

General Advice - Consent Authority to Note

- In absence of reticulated water supply, future dwellings on the proposed residential lots 1-17 must be provided with static water supply which should comply with table 5.3c & 5.3d of *Planning for Bush Fire Protection 2019*.
- This approval is for the subdivision of the land only. Future development applications lodged on lots created within this subdivision may be subject to further assessment under the Environmental Planning & Assessment Act 1979.

For any queries regarding this correspondence, please contact Surbhi Chhabra on 1300 NSW RFS.

Yours sincerely,

Michael Gray
Manager Planning & Environment Services
Built & Natural Environment



BUSH FIRE SAFETY AUTHORITY

Subdivision – Subdivision 2155 Sutton Road Sutton NSW 2620, 1//DP32236 RFS Reference: DA20220116000382-Original-1 Your Reference: (CNR-33700) DA210293

This Bush Fire Safety Authority is issued on behalf of the Commissioner of the NSW Rural Fire Service under s100b of the Rural Fires Act (1997) subject to the attached General Terms of Approval.

This authority confirms that, subject to the General Terms of Approval being met, the proposed development will meet the NSW Rural Fire Service requirements for Bush Fire Safety under *s100b* of the Rural Fires Act 1997.

Michael Gray

Manager Planning & Environment Services
Built & Natural Environment

Thursday 1 December 2022



Our ref: SWT18/00162 Contact: Cam O'Kane

25 January 2022

Yass Valley Council

BY EMAIL: council@yass.nsw.gov.au

Attention: Muzaffar Rubbani

DA210293 (CNR-33700) – PROPOSED RESIDENTIAL SUBDIVISION, LOT 1 DP32236, SUTTON ROAD, SUTTON.

I refer to your correspondence regarding the subject Application which was referred to Transport for NSW (TfNSW) for assessment and comment.

From the information provided it is understood that the proposal is for a nineteen (19) Lot Residential Subdivision with associated infrastructure, roads, easements and restrictions. The subject site has frontage to the Sutton Road, which is a classified "regional" road. Sutton Road forms part of the Canberra-Crookwell Road (MR52) within both 50km & 80km speed zone. The site also has frontage to Guise Street and Majura Lane which are classed as a local roads, within a 50 km/h speed limit.

TfNSW has completed an assessment of the application, based on the information provided and focussing on the impact to the state road network. TfNSW notes for this application:

- The proposal is supported by a Statement of Environmental Effects (SEE) prepared by Coe Planning Services;
- Proposed vehicular and pedestrian access to the subdivided allotments is via the local road network. No additional access is proposed to Sutton Road for the residue allotment;
- TfNSW notes the corridor for a future road (Sutton Bypass) is marked one of the submitted plans.

Transport for NSW emphasises the need to minimise the impact of development on the existing public road network and maintain the level of safety, efficiency and maintenance along the road network.

TfNSW has assessed the Development Application based on the documentation provided and would raise no objection to the development proposal and grants concurrence in accordance with section 138 of the Roads Act subject to the Consent Authority ensuring that the development is undertaken in accordance with the information submitted and restricting proposed Lots 1-18 to access via Guise Street / Majura Lane or the proposed new internal road network.

TfNSW highlights that in determining the application it is the consent authority's responsibility to consider the environmental impacts of any road works which are ancillary (proposed or deemed necessary) to the development. This may include the need for further environmental assessment for any ancillary road works.

Any enquiries regarding this correspondence may be referred to writer, TfNSW (South Region), phone (02) 6923 6582.

Yours faithfully

Cam O'Kane

Case Officer, Development Services South

Transport for NSW

193-196 Morgan Street. Wagga Wagga NSW 2650 | ABN 18 804 239 602



Department of Planning and Environment

CM9 Ref: 22/00011#01

General Manager Yass Valley Council PO Box 6, YASS NSW 2582

Email: council@yass.nsw.gov.au

Attn: Muzaffar Rubbani

Dear Muzaffar

Proposed Development: DA 210293 – Revised Plan of Subdivision – 19 Lots to 18 Lots

Applicant: Mr P S Keir Location: Lot 1 DP 32236

2155 Sutton Road SUTTON NSW

I refer to Council's email dated 1 July 2022 requesting comments for the above revised development proposal.

The Department of Planning & Environment - Crown Lands (the department), as adjoining landowner has reviewed the development application in accordance with the principles of Crown land management (s.1.4 *Crown Lands Management Act 2016*), and offers no objections to the proposed development.

However, as the revised plan includes the identification of a future bypass road corridor, which will be a traffic generating road, it is recommended that Council requests the impacted section of Crown road be transferred to Council in accordance with the Crown Lands Administration of Crown Roads Policy. No work are to commence on this bypass until the road has been transferred.

Should the development be modified in any manner that impacts the adjoining Crown land, e.g. by amendment to the development proposal or draft conditions of consent, the department requests an opportunity to further review the application prior to determination.

Should you require any further information, please do not hesitate to contact me at the Goulburn Crown Lands Office by phone on 02 4824 3761 or email sue.shallsi@crownland.nsw.gov.au

Yours sincerely

Sue Shallis

A/Senior Natural Resource Management Officer
Department of Planning Industry & Environment - Crown Lands

Date: 4 July 2022

NSW Department of Planning & Environment – Crown Lands
PO Box 2185 Dangar NSW 2309
1300 886 235 www.crownland.nsw.gov.au - ABN: 72 189 919 072



Department of Planning and Environment



ABN 70 250 995 390

Sydney West

200 Old Wallgrove Road PO Box 87 Horsley Park NSW 2175 Australia T (02) 9620 0777 F (02) 9620 0384

Friday, 19 August 2022

Muzaffar Rubbani |

Development Planner | Yass Valley Council

Dear Muzaffar,

Transgrid reference number: 2022-359

Proposal: Amendments to existing DA

Location: DA 210293 - 2155 Sutton Road

Transgrid Asset: Yass to Queanbeyan 132kV transmission line (feeder 977/1)

Thank you for requesting Transgrid's permission to carry out the Amendments to existing DA described in DA210293 - Updated Subdivision Plan - 2155 Sutton Road.pdf at DA 210293 - 2155 Sutton Road within Transgrid easement Yass to Queanbeyan 132kV transmission line (feeder 977/1) (Transgrid ID: 2022-359).

Please be advised that after reviewing your proposal, Transgrid **gives its permission subject to the following conditions:**

1. GENERAL CONDITIONS:

i.	All works must be carried out as per DA210293 - Updated Subdivision Plan - 2155 Sutton
	Road.pdf at DA 210293 – 2155 Sutton Road

Transgrid.com.au



- ii. TransGrid shall be notified of any amendments / modifications to the proposal which may change distances to Transgrid structures or conductors
- iii. All works must be carried out in accordance with NSW WorkCover 'Working near overhead powerlines' Code of Practice 2006
- iv. All fencing (including temporary fencing) must comply with Transgrid's Fencing Guidelines, including earthing and/or isolation requirements.
- v. If fence heights are not stipulated on the plans, then approval is based on the assumption that all fences will be no higher than 2.5m. If fences are planned taller than 2.5m then full details must be provided
- vi. No metallic structures or infrastructure shall be installed unless they form part of the approved plans.
- vii. Any works proposed **MUST NOT** reduce clearance to conductors below that required in AS7000
- viii. Where transmission lines are 132kV and below activities/development/structures must be located at least 20 metres away from any part of a transmission structure or supporting guy wire, or for metallic structures, be located at least 22 metres away from any part of a transmission structure or supporting guy wire and be located at least 10 metres from the centre of the transmission line
- ix. Where transmission lines are 220kV and above activities/development/structures must be located at least 30 metres away from any part of a Transmission structure or supporting guy wire, and be located at least 17 metres from the centre of the transmission line
- x. Precautions must be in place to prevent damage to transmission line structures and guys. Any damage due to construction activities to be reported immediately to Transgrid

2.TECHNICAL CONDITIONS:

Summary	of	Findings:
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- (1) Proponent refers to a previous review by Transgrid which indicated that there was impact to Transgrid
- (2) DA has been updated to show the Sutton Bypass Road alignment, which runs parallel to the Transmission line but outside the easement
- (3) Transgrid's current access tracks to structures 157-159 run through proposed subdivision

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Works A	cceptable:
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Yes

Additional Notes:

- (1) Transgrid's access to structures 157-159 must be maintained along the proposed Sutton Bypass Alignment. Any obstructions/ services along an access track or within 30m of a Transgrid structure must be capable of withstanding loads of a maintenance vehicle (40t)
- (2) The electricity asset to the east of the subdivision is not a Transgrid asset. The proponent shall liaise with the asset owner.

3.ACCESS AND MAINTENANCE CONDITIONS:

N/A

4. EARTHWORKS CONDITIONS:

- i. No mounds of earth or other materials may be left on the easement during and after earthworks, as this creates a hazard by reducing the vertical clearances to transmission lines.
- ii. Excavations deeper than 2m such as trenches and pits need individual assessment to ensure there are no adverse impacts, particularly to Transgrid structures and earth straps
- iii. Any cut operations as part of bulk earthworks are generally not a concern, provided they do not adversely impact access or encroach within 30m of a structure
- iv. Any earthworks involving fill need to be assessed to determine impacts on conductor height clearances. This will require provision of a 3D DXF or otherwise detailed survey plans with before and after RLs to enable a height clearance check to be undertaken. Minor resurfacing works which do not increase ground levels by more than 100mm can be excluded provided this is clearly stated on the plans

5. CONSTRUCTION CONDITIONS:

 Any construction work within the easement shall maintain safety clearances to the exposed conductors in accordance with NSW WorkCover 'Working near overhead powerlines' Code of Practice 2006 (Transgrid may provide preferred crane locations, for the purpose reducing static induction)



- During construction phase Transgrid access is to be maintained 24/7. Transgrid to provide suitable padlock/s for any gates
- iii. The works shall not impede or restrict Transgrid from undertaking normal maintenance and inspection activities and, at completion of works, access to Transmission Lines and structures shall always be available for Transgrid plant and personnel for future TransGrid maintenance activities
- iv. Dust: Works must not create excessive quantities of dust and proponent must employ dust suppression. A dust management plan is not expected to be provided to Transgrid, but provision must be made for such a plan to avoid causing damage to the transmission line such as dust pollution on insulators
- v. The easement area shall not be used for temporary storage of construction spoil, topsoil, gravel or any other construction materials
- vi. Vehicles or equipment having a height exceeding of 4.3m when fully extended may traverse the easement if stowed and locked for travel. Operation within the easement must be done in accordance with NSW WorkCover Working near overhead powerlines' Code of Practice 2006
- vii. Consideration is to be given in the design works for any proposed access ways/roads over Transgrid's easement to cater for the weight and size of Transgrid's maintenance vehicles to withstand the 40 tonne load capacity of maintenance trucks.
- viii. For where travel is required by Transgrid's maintenance vehicles, Batter slope is to be no steeper than 1 in 6.
- ix. Traffic control: During construction, traffic control measures need to be implemented to prevent vehicles colliding with Transgrid's transmission towers.
- x. Where temporary vehicular access for parking during the construction period is within 17m of transmission line structure, adequate precautions shall be taken to protect the structure from accidental damage

Please note, this is Transgrid's permission as easement holder only, and it does not constitute planning approval under the Environmental Planning and Assessment Act 1979.

If you have any questions, please do not hesitate to contact Transgrid's Easements & Development Team at Easements&Development@transgrid.com.au.

Please see link to TransGrid online guidelines: https://www.transgrid.com.au/being-responsible/public-safety/Living-and-working-with-electricity-transmission-lines/Pages/default.aspx

 $Please see \ link to the \ PDF \ version: \ \underline{https://www.transgrid.com.au/being-responsible/public-safety/Living-and-working-with-electricity-transmission-lines/Documents/Easement% 20 Guidelines.pdf$

Yours faithfully	
Easements & Development Team	
	Transgrid.com.au

6.3

Attachment G Agencies Response	
	Transgrid
Transgrid	
Yours faithfully	
[Name] [Position]	

__Transgrid.com.au



Our Ref: ID 1541 Your Ref: DA210293

13 January 2022

Mr Muzaffar Rubbani Yass Valley Council PO Box 6 Yass NSW 2582

via email: council@yass.nsw.gov.au

Dear Mr Rubbani,

REQUEST BY YASS VALLEY COUNCIL FOR NSW SES ASSESSMENT OF/INPUT INTO INDIVIDUAL DA DA210293 – 2155 SUTTON ROAD, SUTTON

I refer to Council's correspondence dated 07 January 2022 seeking comment on Development Application DA210293 – 2155 Sutton Road, Sutton.

The NSW State Emergency Service (NSW SES) is the agency responsible for dealing with floods, storms and tsunami in NSW. This role includes, planning for, responding to, and coordinating the initial recovery from floods. As such, the NSW SES has an interest in the public safety aspects of the development of flood prone land, particularly the potential for changes to land use to either exacerbate existing flood risk or create new flood risk for communities in NSW.

For strategic effectiveness the NSW SES aims to work in partnership with local councils in the preparation of floodplain or coastal risk management plans, Local Environmental Plans (LEPs) and Development Control Plans (DCPs).

Unless there is some critical factor indicating otherwise, the NSW SES does not generally involve itself in individual development applications. This is because the NSW SES is not resourced to do so.

The NSW SES has identified the main entrance and some surrounding roads to this planned subdivision may be susceptible to inundation which would limit evacuation to the growing population in the area. Evacuation capacity and flood affectation should be a consideration in the design to reduce the potential risk to life.

The NSW SES recommends that consideration of flooding issues is undertaken in accordance with the requirements of NSW Government's Flood Prone Land Policy as set out in the Floodplain Development Manual, 2005 (FDM) and relevant planning directions under the Environmental Planning and Assessment Act, 1979. The floodplain risk management issues which are of concern to the NSW SES are addressed in the FDM.



STATE HEADQUARTERS

93 - 99 Burelli Street, Wollongong 2500 PO Box 6126, Wollongong NSW 2500 P (02) 4251 6111 F (02) 4251 6190 www.ses.nsw.gov.au Attention is drawn to the following principals outlined in the Manual which are of importance to the NSW SES role as described above:

- Development should not result in an increase in risk to life, health or property of people living on the floodplain.
- Risk assessment should consider the full range of flooding, including events up to the Probable Maximum Flood (PMF) and not focus only on the 1% AEP flood.
- Risk assessment should have regard to flood warning and evacuation demand on existing and future access/egress routes. Consideration should also be given to the impacts of localised flooding on evacuation routes.
- In the context of future development, self-evacuation of the community should be achievable in a manner which is consistent with the NSW SES's principles for evacuation.
- Development must not conflict with the NSW SES's flood response and evacuation strategy for the existing community.
- Evacuation must not require people to drive or walk through flood water.
- Development strategies relying on deliberate isolation or sheltering in buildings surrounded by flood water are not equivalent, in risk management terms, to evacuation.
- Development strategies relying on an assumption that mass rescue may be possible where evacuation either fails or is not implemented are not acceptable to the NSW SES.
- The NSW SES is opposed to the imposition of development consent conditions requiring private flood evacuation plans rather than the application of sound land use planning and flood risk management.
- NSW SES is opposed to development strategies that transfer residual risk, in terms of emergency response activities, to NSW SES and/or increase capability requirements of the NSW SES.

Additional information is included in the enclosed Developer's Guide which includes some flood planning questions and considerations used by the NSW SES. As the consent authority, Council will need to be satisfied that these considerations are adequately addressed as part of the assessment process. You may also find the following Guidelines, originally developed for the Hawkesbury Nepean Valley and available on the NSW SES website useful:

6.3

- 1. Reducing Vulnerability of Buildings to Flood Damage
- 2. <u>Designing Safer Subdivisions</u>

Due entirely to the need to meet priorities dictated by legislated responsibilities, the NSW SES is unable to provide comment on your development application, however it will incorporate any relevant data in the development of local flood plans and associated emergency management strategies for the area.

Please feel free to contact me via email at rra@ses.nsw.gov.au should you wish to discuss any of the matters raised in this correspondence.

Yours sincerely,

Nicholas Kuster

Manager Emergency Planning

NSW State Emergency Service



State Headquarters Level 6, 6-8 Regent Street Wollongong NSW 2500 PO Box 6126 Wollongong NSW 2500 Phone 02 4251 6111 Fax 02 4251 6690 www.ses.nsw.gov.au

NSW SES STATE HEADQUARTERS WOLLONGONG

REFERENCE: DA's, Flood Risk and Site Specific Evacuation Plans

The Service is concerned about the public safety aspects of the development of flood prone land and endeavours to provide advice and guidance to local government on matters of floodplain management. Our aim is for the SES to be involved at a strategic planning level in this process such as at the floodplain management committee level or local environment planning stage, not at the individual development application level.

Despite the preferred position, the Service is approached from time-to-time to provide advice about flood risk for the site of a proposed development. The SES is not in a position to provide a detailed assessment of the flood risk for a development site. Information about flood risk is provided by local government councils through the floodplain risk management process they are required to undertake. Recognising that not all councils have completed that process, some notes are provided below, to assist those who need to consider the emergency risk management implications of flooding for a site.

The SES often receives requests from individuals, businesses, or companies that have been asked by a council to obtain SES agreement to, or endorsement of, a site specific flood evacuation plan as a condition of development consent. The SES does not have the statutory authority to endorse private evacuation plans and the Service does not have the resources to review and comment on private plans written at the level of individual dwellings, businesses or small subdivisions. The Service can therefore not provide the response Councils often ask developers to obtain. In such cases the SES will always advise the relevant council of this position is requested to do so by the applicant.

It should also be noted that the NSW Floodplain Development Manual 2005 (FDM) specifically precludes the practice of consent conditions requiring a site plan if that plan is trying to overcome an underlying flood risk that would otherwise be considered too high to permit approval (see FDM Annex L-3). In other words, if the existence of a flood plan is ignored, is the underlying flood risk unacceptable in the context of the proposed development? This policy reflects the views of the SES on the issue and the FDM provides

an explanation of why the Service has adopted this policy.

Despite the provisions to the contrary (see above) a council may insist on the preparation of a site specific flood evacuation plan. To offer at least some assistance to the applicant of the development the following information is provided. In a consideration of public safety during an SES flood planning project or development assessment process, this Service would investigate questions such as the ones listed below. The more of these questions for which the answer is <u>yes</u>, the worse the risk rating for public safety will be in our assessment and the more difficult the emergency risk management planning process and response implementation will be.

Also note that the NSW SES has developed a Home FloodSafe toolkit and a Business FloodSafe toolkit. These are both available from the NSW SES FloodSafe website at www.floodsafe.com.au.

Flood Planning Questions & Considerations used by the SES

The SES Local Flood Plan for the area in question may be a useful source of information about flood prediction and warning arrangements and the flood risk generally. These plans are public documents and copies are held by public libraries, local government councils, and local SES Units. An electronic copy can be provided if requested.

1. Does the development attempt to rely on an evacuation plan to overcome an underlying flood risk? (i.e. is it un-safe to develop the site without a plan?);

The NSW Flood plain Management Management Management are sificable processes. The SES

The NSW Floodplain Management Manual specifically precludes this practice. The SES does not believe that evacuation plans are an effective means of reducing the **underlying flood risk** in an area. The Service's view is that for residents to have their own flood evacuation plan, indeed any household safety plan, is a desirable objective. The problem is that even well written plans are dependent on human application and often rely on technical support systems and cannot be guaranteed to work every time and for all circumstances in which a flood or other emergency may occur. Most plans will rely on the action of one or more third parties.

All plans require regular maintenance and review and most importantly, an on-going commitment from the participants. These conditions are difficult enough to implement and monitor over the long term for a full-time emergency service. They are unlikely to be achieved at all in a private ownership context where there is no external audit or monitoring.

A flood plan **cannot** satisfy the requirement for a "permanent, failsafe, maintenance free measure" to ensure the evacuation of residents, a condition often imposed by a council.

The SES prepares community-wide flood plans at a local government level to deal with the problem of **existing communities** in flood liable areas and those plans do not have the capacity to cater for open-ended population growth. The bigger and more complex the flood problem becomes, the broader the operational objectives have to become. It is then much more difficult to deal with individual people and locations.

Is the site a frequently flooded site where residents may become complacent about the smaller more frequent floods and will be surprised and caught-out by bigger events?;

At first glance it may seem that if people live in an area where frequent low-level floods occur, they would be more flood aware. Unfortunately, although they may be aware of flooding, they generally come to the view that they are not at risk because they think all floods are like the small ones they often see. This is not true and big floods will almost always catch people by surprise and exceed their capacity to deal with the situation unless they have considered this scenario in their planning and preparedness.

3. Is it a location for which flood height prediction is either not available at all or within a reasonable time frame or where prediction is inherently uncertain?

These issues will make flood planning and warning and response timing very difficult. There are many locations where the time from rainfall to flooding is less than six hours and these are termed flash flood environments. Examples are Coffs Harbour, Wollongong, and many suburban Sydney areas. In these and similar locations, Severe Weather Warnings will be the most likely form of advice about the potential for flood producing storms and rainfall. Business owners/operators must be weather aware and act early on publicly broadcast severe weather and flood warnings. The Australian Government Bureau of Meteorology has an excellent web site (www.bom.gov.au) that lists all current warnings and has access to some real time data.

4. Is the location remote from the main community and therefore not linked to existing community networks for warning and assistance purposes?

It will be difficult for the SES to monitor remote locations such as rural residential communities. The more specific the warning requirement for individuals and sites becomes, the more difficult it is for the SES to deliver warnings in the short time frames that often apply.

5. Will residents require special flood warning arrangements because of isolation, short warning times, age or ill health?

Neither the SES nor the Bureau of Meteorology can undertake to provide special individual flood warning services for each business site. The more specific the warning requirement for individuals and sites becomes, the more difficult it is for the SES to deliver warnings in the short time frames that often apply. Business owners/operators must be weather aware and act early on publicly broadcast severe weather and flood warnings. The Australian Government Bureau of Meteorology has an excellent web site (www.bom.gov.au) that lists all current warnings and has access to some real time data.

6. Will evacuation rely on a third party for warning, transport or temporary accommodation?

Areas that do not have independent means of evacuation complicate the SES flood response. The SES has very limited human resources and cannot undertake to help out at all sites that may need it. Evacuation plans must be self-sufficient and need to consider that other sections in the community may be placing demands of public and private transport resources.

7. Is the area isolated by floodwater before inundation of the land the dwelling is built upon? i.e. is the only the safe road out closed by river floodwater or local stormwater before flooding is obvious to residents, making it difficult to motivate people to action?

Vehicular escape routes that rise steadily and lead away from the flood are the best. In the worst case, a community would be cut-off by floodwater and left stranded on an island on high ground that could subsequently be submerged (see 9 below). The problem of localised closure of roads due to inadequate stormwater capacity can be critical where the available warning and evacuation time is short. If an area is cut off from road access but still has some overland escape route, then at least people will not drown.

Do not just focus on the effects up to the 1:100 flood level. Flood risk management must consider the implications of bigger floods (1:200, 1:500, 1:1000) and some thought needs to given to the consequences of even the most rare floods up to the Probable Maximum Flood (PMF). This is reflected in the NSW Floodplain Management Manual of January 2001.

8. Is the development relying on an elevated structure to achieve compliance with habitable floor level requirements?

This approach, although effective for property protection, brings with it the problem that residents will be convinced that it is safe to "sit-out the flood". Unless the floor level is above the limit of all flooding i.e above the Probable Maximum Flood (PMF) this is not true because the water could keep rising over the floor level after residents have lost their escape route.

People tend to resist calls to evacuate before the land around them is obviously flooded. Unfortunately our experience is that people change their mind about this option **after** they have been surrounded by flood water or when essential services such as water, power and sewer cease to function. Rescue, resupply and medical responses are difficult and can be dangerous under these conditions.

In flash flood environments (floods with less than 6 hours warning) provision of a safe refuge above the limit of flooding (PMF) may be an advantage if the duration of flooding will be very short and the flood depth or velocity is high on or adjacent to the site. The success of this strategy will depend very much on the likely behaviour of people and building designs which put cars or other property under the refuge area may encourage people to take risks to save these items.

9. Will an SES response such as difficult/dangerous rescue or demand on limited SES resources be required if the private arrangements fail and people do not leave early enough (see 7 above)?

During periods of widespread flooding the SES will have to deal with many communities facing the impact of flooding. There is no thing as a safe period of isolation although obviously the shorter the better and the longer the period of isolation, the more chance there is for mishap requiring external intervention. Even relatively brief periods of isolation, in the order of a few hours, can lead to personal medical emergencies that have to be responded to.

10. Is communication to the area reliant on services such as telephone and power which are known to be subject to failure during floods/storms?

Inability to communicate in an emergency will complicate the implementation of any plan and could be fatal. Lack of communication to & from the site also requires someone from outside to confirm the safety of people on the site.

Any plan that a resident or facility manager may wish to prepare for a site should address the issues listed above. The list is also an indication of the issues that should be addressed in any detailed major development proposal, especially if some of the key issues such as the reliability of evacuation routes, can be dealt with through better design and construction.

Stephen (Steve) Opper ESM Director Community Safety

Section 4.15 Evaluation

Summary of Application

Development Application No.	DA210293
Type of Development	Integrated
Development Site	Lot 1 DP 32236 2155 Sutton Road, Sutton
Description of Development	Staged 18 lot residential subdivision including construction of a new road and creation of a bypass corridor

Integrated Development

Legislation	Yes	N/A
Coal Mine Subsidence Compensation Act 2017 s 22		
Fisheries Management Act 1994 s 144, S201 S205. S219,		✓
Heritage Act 1977 s 58		✓
Mining Act 1992 ss 63, 64		√
National Parks and Wildlife Act 1974 s 90		✓
Petroleum (Onshore) Act 1991 s 16		✓
Protection of the Environment Operations Act 1997 ss 43(a), 47 and 55, ss 43(b), 48 and 55, ss 43(d), 55 and 122		✓
Roads Act 1993 s 138	✓	✓
Rural Fires Act 1997 s 100B	✓	
Water Management Act 2000 ss 89, 90, 91	✓	

Comments

The proposed subdivision is integrated development and the application was referred to the relevant NSW government agencies for approval.

NSW Rural Fire Service (RFS)

The proposed subdivision is located on bushfire prone land and was referred to the RFS in accordance with s.100B of *Rural Fires Act 1997*. A Bush Fire Safety Authority has been issued and the general terms of approval can be included in any consent.

Department of Planning & Environment – Water (DPE Water)

The proposed subdivision includes works on waterfront land for the purposes of the *Water Management Act (WM Act) 2000* and the application was referred to DPE Water under s91 of Water Management Act 2000. DPE-Water have issued general terms of approval requiring a Controlled Activity Approval (CAA) to be submitted with them and this can be included in any consent.

Transport for NSW (TfNSW)

6.3

The proposed development has frontage on to Sutton Road which is classified "regional" road and was referred to TfNSW who granted concurrence subject to conditions in accordance with s138 of the Roads Act. These conditions can be included in any consent.

Section 4.15 - Matters for Consideration

Provisions of any environmental planning instrument

State Environmental Planning Policy (SEPP)

Where a SEPP is applicable to the proposed development, is the development:

- · Consistent with the aims and objectives of the instrument
- Complies with development standards contained in the instrument
- Satisfies the requirements of the instrument
- Meets the relevant concurrence, consultation and/or referral requirements.

Comment

The subject application was lodged prior to the consolidation of SEPPs. Reference is made to the former SEPP and the new SEPP in which they the former SEPP are now located:

State Environmental Planning Policy (Koala Habitat Protection) 2020

(Chapter 4 of State Environmental Planning Policy (Biodiversity and Conservation)2021)

Yass Valley is listed under Schedule 1 of this SEPP however there is no Koala Plan of Management for the local government area. The majority of the subject land has been historically cleared. The Flora and Fauna Assessment Report details that koalas are generally not known to be found in the lowland agricultural lands of the Yass Valley. The subject land is unlikely to support important or occupied koala habitat.

State Environmental Planning Policy No. 55 - Remediation of Land

(Chapter 4 Remediation of land of State Environmental Planning Policy Resilience and Hazards)

The site is not listed on Council's contaminated land register, nor is the use listed under Appendix 1 of the Planning Guidelines Remediation of Land. Accordingly, the current state of the site is suitable to support the development subject to conditions.

State Environmental Planning Policy (Infrastructure) 2007

(State Environmental Planning Policy Transport and Infrastructure 2021)

Electricity Easements

The application was referred to TransGrid under the provisions of the SEPP as the proposed bypass corridor runs parallel to the electricity transmission line easement (Yass to Queanbeyan 132kV transmission line).

TransGrid responded by stating that their current access tracks to structures run through the proposed subdivision must be maintained along the proposed bypass corridor. Any obstructions/services along an access track or within 30m of TransGrid structures must be capable of withstanding loads of a maintenance vehicle (40t). TransGrid has provided conditions that can be included in any consent.

• Transport - Classified Roads

The proposed development does not meet the threshold for traffic generating development under Schedule 3 of the SEPP, nor does the subject land have frontage to a classified road. Refer to comments above regarding comments from TfNSW.

Local Environmental Plan (LEP)

In considering the provisions of the Yass Valley Local Environmental Plan 2013 (YVLEP), is the proposed development:

- Consistent with the aims and objectives of the plan
- Consistent with the aims and objectives of the land use zone
- Permissible in the land use zone
- Consistent with all relevant clauses within the LEP
- Complies with development standards in the LEP.

Comment

Below is an assessment of the application pursuant to the relevant clauses of the YVLEP.

The land is zoned R2 Low Density Residential and RU1 Primary Production and is generally consistent with the objectives of the zone.

The objectives of R2 Low Density Residential zone are:

- To provide for the housing needs of the community within a low density residential environment.
- To enable other land uses that provide facilities or services to meet the day to day needs of residents.
- To ensure that development is provided with an adequate water supply and the disposal of sewage.

Comments:

R2 Low Density Residential

The proposal is considered consistent with the zone objectives as it will create additional residential lots varying in size catering for a variety of housing needs within Sutton. The resulting density is not inconsistent with the character of Sutton.

There is opportunity for land uses which are permitted with consent to be undertaken on the proposed lots, to provide facilities and services to meet the needs of existing and future residents.

A suitably sized rainwater tank must be installed for each new dwellings constructed in accordance with Council's Water Supply in Rural Areas and Villages (WS-POL-2) Policy. Each allotment has adequate area with suitable site conditions for the dispersal of effluent on the proposed new lots via an onsite sewage management system. As such, it is considered that the proposal can be provided with adequate water supply and the disposal of sewage.

It is considered that the proposal meets the objectives of the zone and in doing so will maintain the existing character of the locality.

RU1 Primary Production

The objectives of RU1 Primary Production zone are:

- To encourage sustainable primary industry production by maintaining and enhancing the natural resource base.
- To encourage diversity in primary industry enterprises and systems appropriate for the area.
- To minimise the fragmentation and alienation of resource lands.
- To minimise conflict between land uses within this zone and land uses within adjoining zones.
- To protect and enhance the biodiversity of Yass Valley.
- To protect the geologically significant areas of Yass Valley.
- To maintain the rural character of Yass Valley.
- To encourage the use of rural land for agriculture and other forms of development that are associated with rural industry or that require an isolated or rural location.
- To ensure that the location, type and intensity of development is appropriate, having regard to the characteristics of the land, the rural environment and the need to protect significant natural resources, including prime crop and pasture land.

Clause 2.3Zone and zone objectives

	To prevent the subdivision of land on the fringe of urban areas into small lots that may prejudice the proper layout of future urban areas.
	The proposed development is generally consistent with the objectives of the RU1 zone. The following comments are made:
	 The proposed development is not considered to result in a significant fragmentation of resource lands. The proposed development is not considered to result in a conflict between land uses zones or within the land use zone, subject to management through conditions of consent. The proposed development is considered to have been designed in such a manner that protects the biodiversity values of the site. The proposed development does not have any long-term adverse impact on the rural character of the Yass Valley. Any impacts associated with the proposed subdivision can be managed through conditions of any consent. The intensity of the development is appropriate having regard to the characteristics of the land, the rural environment and the need to protect significant natural resources. The subject land is not situated on a fringe of the urban area.
Clause 2.3 Land Use Table	The proposed development is permitted with consent in the zone.
Clause 2.6 Subdivision – Consent Requirements	The applicant has sought consent for the subdivision of Lot 1 DP 32236, 2155 Sutton Road, Sutton to create eighteen (18) allotments of land over three (3) stages.
	Clause 4.1 outlines the requirements for the subdivision of any land shown on the Lot Size Map that requires development consent. Clause 4.1(3) states:
	"The size of any lot resulting from a subdivision of land to which this Clause applies is not to be less than the minimum lot size shown on the Lot Size Map in relation to that land."
Clause 4.1 Minimum subdivision lot size	The minimum lot size applicable to the land is 5,000m ² unless the lot is connected to a reticulated sewage system.
	The lots will not be connected to a reticulated sewage system proposed and the proposed lots range from 5,000m² to 8,270 m² in R2 zone. The residue lot is approximately 62ha and is zoned RU1 Primary Production. The minimum lot size for RU1 zone of the subject land is 10ha (no dwelling entitlement) and 20ha with an existing dwelling house.
Clause 4.1B Subdivision using average lot sizes	N/A
Clause 4.1C Additional requirements for subdivision in certain rural zones	N/A

Clause 4.1D Minimum site areas for dual occupancies and multi dwelling housing in Zones R1, R2, R3 and RU5	N/A
Clause 4.2B Erection of dwelling houses and dual occupancies on land in certain rural and environment protection zones	N/A
Clause 4.3 Height of buildings	N/A
Clause 4.4 Floor space ratio	N/A
Clause 4.6 Exceptions to development standards	N/A
Clause 5.4 Controls relating to miscellaneous permissible uses	N/A
Clause 5.10 Heritage conservation	N/A
Clause 5.16 Subdivision of, or dwellings on, land in certain rural, residential or conservation zones	N/A
	Part of the site is identified as being flood prone and the submitted Flood Risk Assessment Report concludes the proposed subdivision of land zoned R2 is located out of the 'floodway', 'flood storage' and 'flood fringe' hydraulic categories.
Clause 5.21 Flood planning	 In response to this clause the following comments are made: The proposed development has been designed in such a way that it is compatible with the flood function and behaviour of the land. The proposed development can be undertaken in such a way that it will not adversely affect flood behaviour through detrimental increases in the potential flood affectation of other development or property. Conditions of any Development Consent that may be issued will require full engineering design details to be submitted as part of the Subdivision Works Certificate. The proposed development will not adversely affect the safe occupation and efficient evacuation of people or exceed the capacity of existing evacuation routes. Any consent that maybe issue will contain the following requirements:

	 Details of compliance with applicable flood planning controls to be submitted for approval, including finished floor levels for flood affected lots. The finished floor levels are to be included in a Restriction to User to ensure future development is compatible with the flood risk of each proposed lot. To this end, it is considered that the proposed development is compatible with the flood risk of the land.
Clause 6.1 Earthworks	Details of earthworks for the subdivision have not been submitted however earthworks will be required for the construction of the new road, upgrading the existing road and provision of utilities. Any consent will require engineering drawings to be provided prior to the issue of a Subdivision Works Certificate to ensure all civil works are undertaken with minimal impact on drainage patterns, soil stability, neighbouring properties and waterways. A Construction Environmental Management Plan (CEMP) would be required to be submitted to Council which details proposed sediment and erosion controls to manage the movement and erosion of soil. A condition will require these measures to be implemented prior to works commencing and be maintained at all times to the satisfaction of Council.
	A CAA under the <i>Water Management Act 2000</i> will be required for any earthworks on waterfront land.
Clause 6.2 Flood planning	Repealed.
	A very small portion of the land is identified on the terrestrial biodiversity mapping but the land is not identified on the Biodiversity Values Map.
Clause 6.3 Terrestrial biodiversity	biodiversity mapping but the land is not identified on the
	biodiversity mapping but the land is not identified on the Biodiversity Values Map. Clause 6.3 requires the consent authority to consider the impacts of development on terrestrial biodiversity including the measures to avoid, minimise or mitigate the impacts of the development. Therefore, the development has been designed in response to ecological values identified by surveys undertaken as part of Flora and Fauna Assessment (FFA) Report. The FFA determines that exotic pasture dominates across the site with native grass scattered throughout the site (however not in high cover or abundance) and Yellow Box trees are present (as scattered mature paddock trees throughout the southern half of the site and some of these trees are fenced off to protect from the stock). The FFA concludes a total of 67.68ha of exotic pasture is present of which 10.26ha is within the

	The proposed development is considered to satisfy the objectives and requirements of the clause.
Clause 6.4 Groundwater vulnerability	The site is identified as being subject to potential groundwater vulnerability. A Land Capability Assessment indicates that there is adequate opportunity for effluent disposal on the site and it will not have any significant impact on groundwater or groundwater dependent ecosystems.
	The land is not identified on Riparian Land and Watercourse mapping. However there is a 2nd order stream flowing south to north through the subject site. This is not identified on this mapping or the Watercourses Groundwater Vulnerability Mapping. Nonetheless this assessment does consider this clause due to the presence of this stream. The submitted plan shows the stream and the associated buffer
	wholly located within proposed lot 18. The submitted riparian assessment concludes that the riparian zone is generally stable with good groundcover of introduced species on gently graded banks.
Clause 6.5 Riparian land and watercourses	To this end, no R2 zoned land has direct frontage to this stream. As such, the proposal will not result in proliferation of domestic basic water rights. This means that the development is unlikely to increase water extraction from the watercourse. It is considered that the proposal will not result in increased pressure on aquatic habitats and ecosystems.
	A riparian zone management plan is required to be submitted with the CAA showing that the proposed development will not have detrimental impact on habitat and ecosystem function for aquatic and riparian species, and measures to avoid, minimise or mitigate the impacts of the proposed development including control of riparian weeds, salinity and erosion.
Clause 6.6 Salinity	Part of the site is identified as being subject to the salinity. The Applicant has submitted an assessment of the impacts of dryland salinity on the property and the potential for the subdivision to increase or exacerbate dryland salinity in the area.
	The assessment concludes that the proposed development is unlikely to have an adverse impact on salinity as there will be negligible additional accessions to the saline groundwater system or any exacerbation of salinity related scalding or erosion. The report recommends:
	 The areas mapped as salinity effected are to be managed to reinstate and maintain 70% ground cover. Deep rooted perennial pasture should be maintained as far as practical Trees and shrubs should be retained and increased where possible
	These measures can be included in any consent.
Clause 6.7	N/A

Highly erodible soils	
	The consent authority must be satisfied that services which are essential for the development are available or that adequate arrangements have been made to make them available when required. It is considered that the provision of all essential services can be provided to the site. The follow comments are also made:
Clause 6.8	Each allotment and future dwelling will be required to have a rainwater tank in accordance with Council's Water Supply for Rural Areas and Villages Policy (WS-POL-02) and onsite sewage management facility for effluent disposal. The Land Capability Assessment has demonstrated that there is adequate opportunity for effluent disposal on each lot.
ssential services	 Evidence must be submitted to Council demonstrating that a satisfactory standard of telecommunications and electricity service is available to each lot within the subdivision in accordance with Council's Electricity Supply and Telecommunications Service for Subdivision policy DA-POL-17.
	Stormwater drainage can be managed and will be subject to civil design as part of the Subdivision Works Certificate.
	 All new lots will have corresponding legal and physical access to the public road network. Accesses are to be constructed in accordance with Council's Road Standards Policy RD-POL-9 and standard conditions would apply.
Clause 6.9 Development within a designated buffer area	N/A
Clause 6.10 Development on land intended to be acquired for Barton Highway duplication	N/A
	Despite the provisions of Clause 4.1 (minimum lot sizes), this clause applies to R2 Low Density Residential zone and in particular, any lot created in the subdivision must not be less than 5000m ² unless it is connected to a reticulated sewerage scheme.
	The proposed development meets the requirements of this clause as outlined below:
ause 6.12 evelopment on certain land in undaroo in Zone R2 Low Density esidential	 Proposed allotments will not be connected to a reticulated sewerage scheme. The proposed lot sizes range from 5,000m² to 8,270 m² in R2 zone excluding the residue lot which is approximately 62ha and is zoned RU1 Primary Production. The application is for subdivision only, no dwelling, dual occupancy or multi dwelling housing is proposed. The Land Capability Assessment Report concludes that adequate areas of suitable soils exist on the site for the management of effluent, without resulting in groundwater contamination. Future Development Applications are to be accompanied by site specific on-site effluent disposal report.

Other relevant clause N/A	
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Proposed environmental planning instrument that is or has been subject of public consultation and has been notified to the consent authority

Primary Matters	Specific Consideration
Draft Environmental Planning Instrument	 Where a draft environmental planning instrument is applicable to the proposed development, is the development: Consistent with the aims and objectives of the draft instrument Complies with development standards contained in the draft instrument Satisfies the requirements of the draft instrument Meets the relevant concurrence, consultation or referral requirements to address the provisions of the draft instrument

Comment

There are no current draft environmental planning instruments applicable to this development.

Any development control plan

Primary Matters	Specific Consideration
Development Control Plan (DCP)	 Where a DCP is applicable to the proposed development, is the development: Consistent with the aims and objectives of the plan Satisfies the requirements of the DCP

Comment

No Development Control Plan (DCP) exists that applies to the subject land/proposed development.

Comment

The proposed development would attract s7.12 contributions under the Yass Valley Developer Contribution Plan 2018. The cost of undertaking the development is anticipated to exceed \$100,000 and the subject land has not previously attracted a development contribution under an earlier plan. Therefore a s.7.12 development contribution will be payable prior to the issue of a Subdivision Certificate. Appropriate condition of consent can be included in any consent.

Planning agreement entered into or a developer has offered to enter into under s7.4 of the Act

Primary Matters	Specific Consideration	
Planning Agreement or Draft Planning Agreement	Details of Agreement -	

There are no current planning agreements applicable to this development.

Prescribed Matters - Environmental Planning and Assessment Regulation

Primary Matters	Specific Consideration		
Environmental Planning and Assessment Regulation 2021	 The following matters under the Environmental Planning and Assessment Regulation 2000 have been considered: AS 2601 when demolition is involved The Low Rise Housing Diversity Design Guide for Development Application (July 2020) for a manor house or multi dwelling housing (terraces) Fire safety provisions for a change of building use for an existing building Provisions for temporary structures Compliance with the Building Code of Australia if a building upgrade required 		

Comment

The application is for subdivision only. No buildings/structures are proposed to be demolished or constructed as part of the proposed development.

Likely impacts of the development including environmental impacts on both the natural and built environments, and social and economic impacts in the locality

Primary Matters	Specific Consideration			
Context and setting	Context Compatibility of the development with: scenic qualities and features of the landscape character and amenity of the locality and streetscape scale (bulk, height, mass) form, character, density and design of development in the locality previous existing land uses and activities in the locality Setting Impact of the development on adjacent properties in terms of: the relationship and compatibility of adjacent land uses sunlight access (overshadowing) visual and acoustic privacy views and vistas edge conditions such as boundary treatments and fencing			

Comment

The subject land is partly zoned for residential and primary production purposes.

The proposed subdivision satisfies the objectives of the respective zones. It is anticipated that the future development of proposed allotments will be consistent with existing land uses in the vicinity of the site. The proposal is an extension to Sutton and provides a transition between village and rural lifestyle allotments.

The development surrounding the site is predominantly characterised by rural/rural residential/residential allotments with existing dwellings and associated outbuildings and rural sheds. An assessment of the proposal suggests that the subdivision is compatible with existing subdivision pattern in the locality in terms of size, frontage and shape.

The proposed development is not considered to have a significant adverse impact on the quality and features of the landscape. Development on each lot will be subject to future applications, however generally there is opportunity for this to be of a form which is compatible with the locality and the nearby existing development. The subdivision is not considered to have a significant impact on adjacent development by way of views.

The impact on the context and setting of the site and surrounding area is generally anticipated to be minimal. The erection of dwellings on the lots created by the subdivision is generally considered to be consistent with surrounding land uses and the subsequent occupation of the site for living purposes is not anticipated to give rise to any conflicting land uses.

The overall layout is consistent with the Sutton Master Plan as it:

- provides future bypass corridor
- creates a sense of arrival through the provision of landscaped easements/avenues along Sutton Road
- does not significantly increase the potential for water extraction through the number of allotments with frontage to the watercourse (i.e. proliferation of riparian /landholder rights)
- proposed road is designed to follow the natural contours of land to reduce removal of native vegetation, site cut and fill and minimise changes to natural drainage path
- involves verges for roads to be designed to provide swale drains to cater for stormwater runoff.

As such, it is considered that there are no issues which would prevent the proposed subdivision.

Access, transport and traffic

Consideration of access, transport and traffic and the proposed development:

- The proposed development and Council's Roads Standards Policy
- The volume of traffic generated from the proposed development and capacity of the local and arterial road network
- Availability of public transport
- Any traffic management study submitted
- Provision of vehicle parking spaces
- Compliance with relevant standards for on site car parking provisions for compliance with relevant standards
- The proposed or existing location of vehicular access to the site

Comment

The primary access to the subdivision is proposed to be from Guise Street/Majura Lane and will involve the construction of a new road and new intersection with Guise Street/Majura Lane.

The development site abuts Sutton Road which is a regional classified road and has been referred to TfNSW. Their response has been detailed elsewhere in this report. The connections from the proposed subdivision into the existing road network can function without resulting in any significant impacts by way of access, transport or traffic. The suitability of the site distance has also been reviewed and the proposal can meet the minimum requirements.

There is the opportunity for new roads, property accesses and associated infrastructure to be designed in accordance with Council's Road Standards Policy RD-POL-9 and this can be supported through appropriate conditions of any consent. Full detailed design drawings will be required prior to the issue of a Subdivision Works Certificate.

Consideration of utilities and the proposed development:

Utilities

- Utilities are either existing and capable of supporting the proposed development or capable of being extended to service the site.
- Where onsite sewage management is proposed it has been accompanied by a report prepared by an appropriate consultant demonstrating the suitability of the site for onsite effluent disposal

Comment

Refer to previous comments regarding provision of utilities.

Heritage

Impact of the proposed development on heritage significance of the site, adjacent properties and/or a heritage conservation area:

- Consideration of impact on items, landscapes, areas, places, relics and practices
- Consideration of the historic, scientific, social, aesthetic, cultural, archaeological (both Aboriginal and non-Aboriginal) values of the site

Comment

The site is not located within a heritage conservation area and does not contain an item of heritage significance. The proposed development is not considered to have any impact on European heritage.

The Aboriginal and Historical Cultural Heritage Assessment Report concludes the site contains an Aboriginal heritage site (ST1-57-2-1113) which will likely be impacted by the proposed subdivision. An Aboriginal Heritage Impact Permit (AHIP) is required to be obtained from NSW Heritage. It is an offence to disturb an Aboriginal Site without an AHIP as all Aboriginal objects are protected under *NSW National Parks and Wildlife Act 1974*. As such, any approval of the proposed development will contain a requirement that an AHIP be obtained prior to commencement of any works on site.

Appropriate conditions of Development Consent can ensure that in the unlikely event that Aboriginal objects are found, works are to cease immediately and Heritage NSW contacted for further guidance.

Recommendations of the report will also be included in any consent.

Water

Impact of the proposed development on conservation of water:

- water supply sources
- treatment, reuse and disposal of waste water and runoff
- drainage, flow regimes, flooding on-site, up and downstream and in the catchment flood plain
- groundwater tables

Comment

The site is identified as being subject to "groundwater vulnerability" in accordance with Clause 6.4 of the YV LEP 2013.

Rainwater tanks are to be the source of water supply for each lot. The Land Capability Assessment Report has demonstrated that there is sufficient area within proposed allotments to appropriately dispose of effluent. As such, the proposed subdivision is not considered to impact groundwater or groundwater ecosystem within the site, or within the vicinity of the site. Further assessment will be required prior to the installation of an on-site sewage management system within each lot.

Stormwater drainage can be managed and will be subject to civil design as part of the Subdivision Works Certificate.

It is considered that the proposal is unlikely to have an adverse impact on the conservation of water resources, drainage flow or groundwater quality.

Also refer to discussions on flood elsewhere in this assessment.

Impact of the development on soils:

soil qualities - erodibility, permeability, expansion/contraction, fertility/productivity, salinity, sodicity, acidity, contaminants
instability - subsidence, slip, mass movement
the movement, formation, use and management of soils
soil erosion and degradation
remediation of contaminated soils

Comment

Refer to previous comments regarding earthworks, salinity and potential contamination.

Air and Microclimate

Impact of the development on air quality and microclimatic conditions in terms of emissions of dust, particulates, odours, fumes, gases and pollutants.

Comment

Any emissions of dust, particulates, odours, fumes, gases and pollutants will be primarily during construction works. These impacts can be managed through appropriate conditions of development consent and compliance with all other relevant legislation.

Any approval of the proposed subdivision will contain a requirement that requires compliance with the *Protection of the Environment Operations Act 1997.*

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Flora and Fauna

Impact of the proposed development on:

- wilderness areas and national parks
- wildlife corridors and remnant vegetation
- the relationship of vegetation to soil erosion/stability and the water cycle
- weeds, feral animal activity, vermin and disease

Outcomes of an assessment under the *Biodiversity Conservation Act 2016* considers:

- whether the development will result in serious and irreversible impacts
- whether a BDAR is required
- where a BDAR is required, whether it is considered satisfactory

Comment

The proposed development is not considered to trigger entry into the NSW Biodiversity Offset Scheme. The accompanying Flora and Fauna Assessment Report concludes:

- The proposal is unlikely to exceed the native vegetation clearing threshold. The majority of the site is
 exotic vegetation and less than 0.05ha of native vegetation would be impacted by the proposed lot
 lavout
- The proposal does not involve clearing on land which is identified on the Biodiversity Values Map.
- Significant impacts to matters under NSW Biodiversity Conservation Act 2016 are unlikely i.e. the impact of the subdivision works is unlikely to exceed the test of significance.

It is considered that the proposed development has been designed, sited and managed in such a way to avoid any significant adverse environmental impacts.

	Impact of the proposed development on waste:
Waste	 solid, liquid and gaseous wastes and litter the generation, collection, storage and disposal of waste

It is considered that suitable arrangements for waste management can be made available. Waste management is required to be addressed in the CEMP to be submitted with the Subdivision Works Certificate.

Energy

Impact of the proposed development on energy:

- the overall energy needs of the development
- the measures employed to save energy passive design, solar lighting and heating, natural ventilation, shading elements, insulation, high thermal mass building materials, energy efficient appliances and machinery
- the use of renewable and non-polluting energy sources?
- energy needs in producing building/structural materials?
- energy use by-products and waste

Where relevant the development also complies with the Building Sustainability Index (BASIX).

Comment

Whilst the subject development application is for subdivision only, the nature of the large lots means that there is opportunity for dwellings to be located in a manner which achieves northern solar access. Future dwelling houses will need to satisfy the Building Sustainability Index (BASIX) minimum requirements.

Noise and Vibration

Whether the development has potential to generate noise pollution or vibration including during construction and potential impacts.

Comment

The proposed subdivision is creating additional lots, however the noise associated with residential development on each will be consistent with the existing background levels of the surrounding land uses.

Noise generated during the subdivision construction works can be mitigated by appropriate conditions of consent.

Natural Hazards -Geological

Risks to people, property and the physical environment as a result of geologic/soil instability - subsidence, slip, mass movement has been considered.

Comment

There are no matters that require discussion.

Natural Hazards -Flooding

Where the development is located on land identified as flood affected:

- Compliance with the relevant Flood Risk Management Plan in accordance with the information submitted with the application or
- The addition of conditions which require compliance with the relevant Flood Risk Management Plan or the Building Code of Australia.

Comment

Refer to comments above addressing clause 5.21 of the YVLEP.

Natural Hazards -Bushfire

Where the development is located on land identified as bushfire prone:

• Compliance with Planning for Bushfire Protection 2019 (however in accordance with s.8.3.2 of *Planning for Bushfire Protection 2019* there are no bushfire protection

requirements for <u>class 10a buildings located more than 6 metres from a dwelling</u> in bushfire prone areas); or

 If it is integrated development it has been referred to the RFS in accordance with s100B Rural Fires Act 1997.

Comment

The site is identified as bushfire prone on Council's Bushfire Prone Land Mapping and the development is integrated. The RFS has granted a Bushfire Safety Authority subject to conditions that will be included in any consent.

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Does the development present risks from:

- industrial and technological hazards
- land contamination and remediation

Technological Hazards

Where potential land contamination has been identified an assessment must be provided determining whether the:

- The contamination is likely to be low and does not warrant remediation as the proposed land use is not sensitive, or
- The land is not contaminated, or
- The land is contaminated and remediation is proposed prior to the proposed use

Comment

Refer to previous comments regarding potential land contamination.

The proposed development is not considered to pose a risk to people or the natural environment from industrial and technological hazards.

Safety, Security and Crime Prevention

The assessment must determine whether adequate measures are included to address the potential for accident / injury and criminal activity.

Comment

The proposed development is not considered to create an environment conducive to anti-social behaviour.

Social impact in the locality

Whether the development is likely to have social benefits in the locality in terms of:

- community facilities and links
- the interaction between the new development and the community

Comment

Proposed subdivision is consistent with the surrounding development. The subdivision supports the provision of housing needs in a low density residential setting.

Economic impact in the locality

Whether the development is likely to have economic benefits in terms of:

- employment generation
- economic income
- generating benefits for existing and future businesses

Comment

Positive economic impact will result through the generation of economic activity during subdivision works and facilitating growth and development through the creation of additional low density lots in Sutton.

Increased residents in Yass Valley will contribute to the local economy.

The development is generally sensitive to environmental conditions and site attributes including:

- the size, shape and design of allotments, easements and roads
- the proportion of the site covered by buildings
- the positioning of buildings
- the size (bulk, height, mass), form, appearance and design of buildings
- the amount, location, design, use and management of private and communal open space
- landscaping

The development is unlikely to affect the health and safety of the occupants in terms of:

- inadequate lighting, ventilation and insulation
- inadequate building fire risk prevention and suppression
- inappropriate building materials and finishes
- inappropriate common wall structure and design
- lack of access and facilities for the disabled

Comment

Site and

internal design

The proposed development will create additional low density residential lots. The proposed lot sizes and their future use are consistent and compatible with the existing development in the locality.

The design of the proposed subdivision generally responds to the attributes of the site. The subdivision layout, including the location of proposed new road, and bypass corridor are in response to identified ecological values, the 2nd order stream and electricity transmission line easement. It is demonstrated on the subdivision plans that that all allotments have adequate land area to allow future development which complies with minimum setback requirements.

Construction

- The proposed development has provision for compliance with the Building Code of Australia (as amended) and relevant Australian standards
- The impacts of construction activities can be managed and suitable conditions have been included in the development consent.

Comment

The proposed development does not involve the construction of any buildings for the purposes of the National Construction Code/Building Codes of Australia. Conditions on any consent can be included to manage impacts of civil construction activities and are discussed elsewhere in this assessment (e.g. noise and vibration, waste).

The location of new road, accesses, and lot boundaries are responsive to the existing site features. Conditions of any consent will require the construction/upgrade of vehicular accesses, construction of new road and upgrade of Guise Street/Majura Lane as per Council's Road Standards Policy RD-POL-09 and fencing in accordance with Council's Non-Urban Fencing Policy DA-POL-12.

The suitability of the site for the development

Primary Matters	Specific Consideration
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The proposal is compatible with existing development in the locality as:

- Utilities and services available to the site are adequate for the development
- The development will not lead to unmanageable transport demands
- Transport facilities are adequate in the area

Compatibility with existing development in the locality

- The locality contains adequate recreational opportunities and public spaces to meet the needs of the development
- The air quality and microclimate are appropriate for the development
- No hazardous land uses or activities nearby
- Ambient noise levels are suitable for the development
- The site is not critical to the water cycle in the catchment
- The proposal is compatible with the existing built environment

Comment

The proposed development will create additional low density residential lots. The proposed lot sizes and future use of the lots are consistent and compatible with the existing development in the locality.

The additional lots are not considered to result in an unmanageable demand for transport. This has been discussed elsewhere in this report.

Active transport will be encouraged by the construction of footpaths, linking the existing village to the new subdivision.

The proposed subdivision is not considered to result in any significant land use conflict.

Site conduciveness to the development

The subject site is conducive with the proposed development as:

- The site is suitable for the proposed development
- The site is either not subject to natural hazards including flooding, tidal inundation, subsidence, slip, mass movement, and bushfires or where it is these risks have been adequately managed
- The slope of the land is suitable for the proposed development
- The proposal is compatible with conserving the heritage significance of the site
- The soil characteristics on the site is appropriate for development (Saline/Sodic/Acidic)
- The development is compatible with protecting any critical habitats or threatened species, populations, ecological communities on the site
- The site is not prime agricultural land and the development will not unduly prejudice future agricultural production
- The development will not unduly prejudice the future use of the site
- Cut and fill is a suitable development option for the site

Comment

There is opportunity for dwelling houses to be constructed on each of the lots without requiring significant or unsuitable earthworks.

The site is identified as bushfire prone and a Bushfire Safety Authority has been issued by the RFS.

The site has been identified as flood prone and the subdivision layout has been designed around the flood constraints. It is considered that the proposed development is compatible with the flood risk of the land.

The attributes of the site are conducive to the proposed development. There are no constraints preventing the orderly development of the site in the manner proposed or its ability to subsequently function as residential allotments.

Any submissions made in accordance with this Act of the regulations

Primary Matters	Specific Consideration		
Public Submissions	Community consultation was undertaken in accordance with Council's Community Engagement Strategy. Where submissions have been received, the issues raised have been considered and are summarised in the comments below.		
Comment			
Council received six submissions and these are in addressed in the Council report.			

Submissions	Where relevant submissions received from Government or Public Authorities have been
from Public	considered with any issues raised being resolved, addressed by conditions of
Authorities	consent/general terms of approval or are considered not relevant to the development

The application was referred to:

- RFS
- DPE Water
- TfNSW
- NSW Department of Planning and Environment Crown Lands (Crown Lands)
- NSW State Emergency Services (SES)
- TransGrid
- Local Aboriginal Land Councils

Refer to previous comments regarding the response from the RFS, TfNSW, TransGrid and DPE Water.

Crown Lands

The application was referred to Crown Lands as an adjoining landowner. They have advised that they have reviewed the development application in accordance with principles of crown land management prescribed in s1.4 of *Crown Lands Management Act* 2016 and raise no objection to the proposed development.

However, they have advised that the subdivision plan contains the bypass corridor and that the adjoining Crown road should be transferred to Council before any work is done on the bypass. Given that no work on the bypass is proposed Council will not be seeking the transfer of that Crown road.

SES

The application was referred to the SES requesting comments regarding flood related public safety risks for this development. The SES have provided a response and has identified the main entrance and some surrounding roads to this subdivision may be susceptible to inundation which would limit evacuation. Flood affection and evacuation capacity should be considered in the design to reduce the potential risk to life.

Any approval that may issue for the proposed development will contain a requirement that requires details of compliance with flood planning controls applicable to the site must be submitted to Council for approval. This will also include required finished floor levels for flood affected lots.

Local Aboriginal Land Councils

The development application was referred to Local Aboriginal Land Councils (LALCs) given the presence of an Aboriginal heritage site (ST1-57-2-1113) on the site which will likely be impacted by the proposed subdivision. However, no response has been provided.

Refer to previous comments regarding the Aboriginal heritage site.

The public interest

Primary Matters	Specific Consideration			
Government (Federal, State and Local) and Community Interests	 Government and community interests have been considered and are satisfied as: The proposed development complies with the Council Policies identified as applicable in the schedule below. Where a variation to this policy has been supported details have been included in the comments. The proposed development is generally consistent with any relevant planning studies and strategies Covenants not imposed by council have been set aside for the purpose of this assessment The proposal generally complies with all other covenants, easements, restrictions and agreements that have an bearing on the proposal Issues raised in public meetings and inquiries have been considered. Where relevant more detail has been provided under the heading public submissions. It is unlikely that the development will have a detrimental effect on the health and safety of the public 			

Matters of public interest refer to specific government (Federal, State and Local) and community interests. These interests arise if the proposal does not comply with relevant legislation/policy.

These interests can be best summarised by the following questions:

- Do any Council Policies apply to the application?
- Do any policy statements from Federal or State Governments have relevance to the application?
- Are there any relevant planning studies and strategies?
- Is there any management plan, planning guideline, or advisory document that is relevant to the application?
- Do any covenants, easements or agreements have an effect on the proposal?
- Have there been relevant issues raised in public meetings and inquiries?

In this instance there are a number of Council Policies that apply to the proposed development.

- The proposed development complies with the relevant Council policies identified as applicable in the schedule below.
- The proposal is generally consistent with the relevant planning studies and strategies.
- Covenants not imposed by Council or any public authority can be set aside for the purposes of this assessment.
- The proposal generally complies with all other covenants, easements, restrictions and agreements that have any bearing on the proposal.

It is not anticipated that the proposed development will have a detrimental impact on the health and safety of the public.

The proposed subdivision is not considered to present any issues that affect the public interest.

Council Policies	Policy	Code	Applicable
	Building Line – Rural and Residential Land	DA-POL-8	Yes
	Building Line – Urban	DA-POL-4	No
	Building Over Sewer Mains	SEW-POL-1	No

Development Assessment and Decision Making	DA-POL-18	Yes
Filling Policy	DA-CP-22	No
Holiday Cabins – Micalong Creek Subdivision	DA-POL-3	No
Kerb and Gutter Construction	ENG-POL-4	No
Non-Urban Fencing	DA-POL-12	Yes
Off-Street Car Parking	ENG-POL-8	No
Provision of Electricity Supply and Telecommunications Service for Subdivisions	DA-POL-17	Yes
Road Naming	RD-POL-6	Yes
Road Standards	RD-POL-9	Yes
Temporary Accommodation	DA-POL-2	No
Truck and Transport Depots in Rural Areas	DA-POL-11	No
Water Supply in Rural Areas and Villages	WS-POL-2	Yes

Building Line - Rural and Rural Residential Land DA-POL-8

The proposed lots have sufficient area that any building on proposed lots can achieve minimum setback requirements.

Development Assessment and Decision Making DA-POL-18

The Application is reported to a meeting of Council for determination as it received more than 3 submissions.

Non-Urban Fencing DA-POL-12

Conditions are included in the draft consent which require fencing is to be installed in accordance with this policy.

Provision of Electricity Supply and Telecommunications Services for Subdivision DA-POL-17

Standard conditions are included in the draft consent which require a Notice of Arrangement (NOA) for electricity and certificate of practical completion for fibre ready telecommunication infrastructure to be provided prior to the issue of a Subdivision Certificate.

Road Naming RD-POL-6

The naming of any new road should be in accordance with the policy and the NSW Address Policy and User Manual. Conditions are included in the draft consent which require road names to be submitted for approval.

Road Standards Policy RD-POL-9

The policy applies for the construction of roads and property accesses. Preliminary assessment has indicated that the proposed subdivision has the potential to comply with the requirements of the policy, with full detailed engineering design drawings needing to be provided for approval prior to the issue of a Subdivision Works Certificate.

Water Supply in Rural Areas and Villages WS-POL-2

6.3

The subject land is not within an area serviced by potable reticulated water supply. Any future dwelling over each proposed lot will require the installation of rainwater tanks in accordance with this policy.

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<u>Draft Conditions – DA210093</u>

Part A General (All Stages)

- 1. Consent is granted generally in accordance with the plans and details submitted to Yass Valley Council (Council) with the Development Application. The plans and details have been stamped and attached to this consent. The development must be carried out in accordance with the stamped plans or as modified by these conditions.
- Work must not commence until a Subdivision Works Certificate has been issued.

The conditions in Part B of this consent must be satisfied before a Subdivision Works Certificate can be issued.

The Subdivision Works Certificate certifies that work completed in accordance with approved plans, specifications and/or standards will comply with the relevant requirements of the following, current at the time of the Subdivision Works Certificate being issued:

- Council's Road Standards Policy RD-POL-09
- Council's Design and Construction Specification AUS-SPEC #1
- Australian Standards
- Austroads publications for the posted speed limit
- Austroads Guide to Road Design
- Sutton Master Plan
- **3.** All **engineering design and construction work must** be undertaken in accordance with the following, current at the time of the Subdivision Works Certificate being issued:
 - Requirements of TfNSW (as applicable)
 - Council's Road Standards Policy RD-POL-09
 - Council's Design and Construction Specification AUS-SPEC #1
 - Australian Standards and
 - Austroads publications for the posted speed limit
 - Austroads Guide to Road Design
 - Australian Rainfall and Runoff 2016
 - Sutton Master Plan
- 4. This approval relates only to the development referred to in the Development Application and does not approve or accept any works or buildings already erected on the land, whether or not those works or buildings are the subject of a prior approval.
- **5.** Public **access** to the site and construction works, materials and equipment on the site is to be restricted, when construction work is not in progress or the site is unoccupied.
- The capacity and effectiveness of runoff and erosion control measures, including techniques to suppress dust and the tracking of sediment onto existing sealed roads, must be maintained at all times to the satisfaction of Council.
- **7.** All adjustments to **existing public utility services**, whether caused directly or indirectly by the approved development, must be undertaken at no cost to Council or Transport for NSW (TfNSW).
- **8.** Noise, dust and odour generated as a result of the development must comply with the provisions of the *Protection of the Environment Operations Act 1997*.

- 9. This consent shall be staged to create Eighteen (18) lots over Three (3) stages. The staging shall be in accordance with the approved plans and in the order identified below. Any variation to the staging shall require consent from Council.
 - **Stage 1** Creation of Lots 1 4 + Residue Lot + Creation of Future Bypass Road Corridor + Upgrade of Guise Street
 - Stage 2 Creation of Lots 5 8 + Residue Lot + Upgrade of Majura Lane + Construction of new Road
 - Stage 3 Creation of Lots 9-17 + Creation of Right of Way
- **10.** The Applicant shall maintain fencing around the hollow bearing trees to ensure protection from on-going pastoral activities.
- All aspects (including maintenance) of Right of Carriageways (RoC's) are the responsibility of the beneficiaries. Council will not accept any responsibility or provide any assistance in relation to matters associated with RoC's. Council will not accept the transfer of a RoC to public road status. Appropriate covenants are to be included in the Section 88B instrument in relation to responsibilities and dispute resolution.

Part B Before the issue of a Subdivision Works Certificate (All Stages)

- 12. An Application for a Subdivision Works Certificate must be lodged with the Principal Certifier.
 If Council is the Principal Certifier the application must be lodged on the NSW Planning Portal.
- 13. In accordance with the *Water Management Act 2000*, a **Controlled Activity Approval** is to be obtained from NSW Department of Planning and Environment Water (DPE Water).

Refer Appendix A for General Terms of Approval (GTA) issued by DPE - Water.

A copy of the Controlled Activity Approval must be provided to Council.

Notes:

- (a) The attached GTA issued by DPE Water do not constitute an approval under the Water Management Act 2000. The development consent holder must apply to NRAR for a Controlled Activity approval after consent has been issued by Council and before the commencement of any work or activity.
- (b) Applications for controlled activity approval must be made to DPE Water, by lodgement of a 'Controlled Activity Approval New Approval Application' on the NSW Planning Portal.
- (c) A completed application must be submitted to DPE Water with any required plans, documents, application fee and proof of Council's development consent.
- (d) Finalisation of an approval can take up to eight weeks from the date the application and all required supporting documentation is received.
- An Aboriginal Heritage Impact Permit (AHIP) is to be obtained under Section 90 of the *National Parks and Wildlife Act 1974* to destroy with salvage for Aboriginal Site ST1-57-2-1113.
 - **Note:** It is an offence to disturb an Aboriginal Heritage site without an AHIP as all Aboriginal objects are protected under NSW *National Parks and Wildlife Act 1974*.
- **15.** The development must comply with any terms of approval issued by Transport for NSW (TfNSW), (refer **Appendix C**).

16. A Construction Environmental Management Plan (CEMP) to mitigate impacts that may occur throughout the development and prepared by a suitably qualified consultant must be submitted to Council for approval.

At a minimum the CEMP must include the following details:

- Site access
- Biodiversity Management Plan
- Appropriate definition of clearing boundaries
- Protective fencing around sensitive values
- Protection and management of trees to be retained.
- Buffer zones around sensitive values
- Clearing procedures including:
 - Pre-clearance surveys
 - Clearing outside of the breeding season of most of the locally occurring native fauna (i.e. August to December)
 - Fauna rescue procedures
 - The recovery of large logs and/or tree sections for the purpose of fauna habitat enhancement.
- Weed management measures including:
 - Vehicle hygiene to ensure vehicles and machinery entering the development land will be clean of weed seed or propagules
 - Only sterile materials such as hessian/jute or rice straw for soil stabilisation or similar purposes
 - The prevention of high threat weeds from establishing on newly created road verges, landscaped areas, and other open spaces
- Best practice sediment and erosion controls to retard and treat site run-off
- Noise, vibration and dust control to minimise impacts on neighbouring properties and the road network
- Measures to manage impacts of heavy vehicles on surrounding properties and the road network including measures to prevent site vehicles tracking sediment and other pollutants onto any sealed roads serving the development
- Pollution and waste management
- Water treatment standards before release
- Appropriate signage and fencing is to be installed and maintained to effect this requirement.
- The proposed construction site's entrance is to be clearly shown
- Re-establishing disturbed areas with endemic grass species and
- Monitoring, reporting, and compliance requirements
- Details of anticipated heavy vehicle movements to and from the development site including:
 - No movements on weekends or public holidays
 - Movements must occur between 7am and 6pm.
- 17. Engineering drawings for the provision of access to each lot must be submitted to Council's Infrastructure and Assets Division for approval in accordance with:
 - Council's Roads Standards Policy RD-POL-09 and
 - Council's Design and Construction Specification AUS-SPEC #1.

- 18. Engineering drawings for the construction of **new road** /upgrading of **existing roads** and associated stormwater within Guise Street & Majura Lane and with the subdivision including the intersection with Majura Lane shall be submitted for approval in accordance with:
 - Council's Roads Standards Policy RD-POL-09 and
 - Council's Design and Construction Specification AUS-SPEC #1.
 - Sutton Master Plan

All cul-de-sacs shall have a minimum 12m turning radius and provided with an asphaltic concrete wearing surface. Minimum standard 40mm thick AC14 in accordance with Council's Road Standards Policy RD-POL-9. The road reserve will need to be increased at cul-de-sac ends to cater for the turning radius and road verge.

- **19.** Engineering drawings for the construction of proposed <u>Right of Carriageway</u> (RoC) shall be submitted for approval in accordance with:
 - Council's Road Standards Policy RD-POL-09; and
 - Council's Stormwater Policies and
 - Council's Design and Construction Specification AUS-SPEC #1.

The drawings shall include details of compliance with the NSW Rural Fire Services requirements

- **20.** Engineering drawings associated with the construction of **footpaths and equestrian trail** must be submitted to Council's Infrastructure and Assets Division for approval in accordance with:
 - Council's Road Standards Policy RD-POL-09 and
 - Council's Design and Construction Specification AUS-SPEC #1.
- **21.** Engineering drawings and calculations associated with the drainage of **stormwater** must be submitted to Council's Infrastructure & Assets Directorate for approval in accordance with:
 - Council's Road Standards Policy RD-POL-09; and
 - Council's Stormwater Policies; and
 - Council's Design and Construction Specification AUS-SPEC #1.

These documents will include details of the discharge of stormwater off the site (including quantities for various storm event and is to include stormwater that falls on the site or enters the site from upstream), what is proposed to manage the discharge (including details of any infrastructure etc), the potential downstream effects of such discharges and actions proposed to ameliorate such effects and what is proposed to ameliorate any effects on the site from stormwater from upstream of the site.

These documents will include details of how overland flows from lots to lots within the development is proposed to be managed so as not to adversely impact the downstream lots.

The stormwater system shall be designed to ensure that discharge from the site post development is not exceed when compared to pre development flows for a 1 in 5 and 1 in 100 year ARI.

n overland flow path to accommodate the discharge from a 1 in 100 year storm event shall be identified on the drawings in order to ensure no adjoining property is being affected by the stormwater runoff as a result of the proposed development.

Where the 1 in 100 year flow path is not located within an easement over private land or the road reserve then the land it is located on is to be community land managed by a community association.

22. A Design Certification Report relating to the detailed engineering design work shall be submitted as per Council's Design Specification - AusSpec #1, Annexure DQS-A.

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This Design Report shall provide evidence that suitably qualified designers have designed each component of the engineering works for the development.

23. The applicant must not fill any dam located on the property without the specific approval of Council.

Any filling within 1%AEP flood is normally unacceptable unless compensatory excavation if provided to ensure there is no net loss of floodplain storage volume below 1% AEP.

24. A landscaping plan must be submitted to Council's Infrastructure & Assets Division for Approval.

The plan must include the following details:

- (a) Details of the proposed landscaping species and installation including cultivar, common and botanical names, height and spread at maturity shall be submitted along with this plan.
- (b) Advanced street trees planted in the road reserve of new roads, at a rate of one every 20 metres. The trees must be adequately protected.
- (c) Installed street trees must be appropriately maintained (including watered) to ensure they survive and will be checked as part of any defect liability period. Any missing or dead trees must be replaced before issuing the final defect liability period compliance certificate
- (d) Details of landscaping within in the landscape easement/ plantation buffer 10m wide on proposed Lot 18 along Sutton Road
- (e) Details of the proposed planting of deep rooted plant species and salt tolerant species to be planted in salinity affected area to reduce the accessions to the saline groundwater table
- 25. The required works to satisfy any condition Subdivision Works Certificate requirements are to be undertaken at no cost to Council. Council is committed to the sustainable management of the environment which includes minimising the impact of road upgrades. Clause 9.5 of Council's Road Standards Policy RD-POL-9 should be considered in the preparation of engineering designs. In this regard, Council may require a *Review of Environmental Factors* (REF) to accompany the engineering drawings for consideration and approval prior to the issue of a Subdivision Works Certificate.
- **26.** A list of three **street names** for each new street must be submitted to Council for consideration and approval in accordance with Council's Road Naming Policy RD-POL-6.

For each proposed street name information must be submitted indicating the reason for the names and any historical significance.

A proposed street name that has aboriginal significance must be accompanied by written approval from the appropriate Aboriginal Land Council.

The preferred name for each road is to be placed on a plan that is equivalent to that used for the sub-division certificate and provided to Council so this can be submitted to the Geographic Names Board for consideration.

27. A Design Certification Report for all engineering design work must be submitted to Council's Infrastructure and Assets Division, in accordance with Council's Design Specification – AUS-SPEC #1, Annexure DQS-A.

The report must provide evidence that suitably qualified designers have designed each component of the engineering works for the development.

28. Details of compliance with **flood planning controls** applicable to the site must be submitted to Council for approval. This must include required finished floor levels for flood affected lots.

Part C Before the issue of a Subdivision Works Certificate (Stage 1 & 2)

- **29.** Guise Street and Majura Lane are considered sub-standard from Sutton Road to past the furthest section of the subdivision and are to be upgraded to Rural Local Minor in accordance with Council's Road Standards Policy RD-POL-09 as follows:
 - Guise Street is to be widened to provide adequate access to proposed subdivision.
 - Majura Lane is to be upgraded prior to the release of stage 2 (Lots 5-8) with pavement formation matching the one in upgraded Guise Street.

The upgrade works shall also include, where applicable the following ancillaries items:

- The installation of culverts to allow the passage of stormwater under the roads, as required.
- Creek crossings, as required, and any associated approval/permits/licences. Except as identified by an approved subdivision Works Certificate reducing the existing road levels by more than 200mm (in any section) cannot occur unless approved by Council's Director of Infrastructure & Assets.

Part D Before the issue of a Subdivision Works Certificate (Stage 3)

30. A list of three street names, for proposed new street shall be submitted to Council for consideration and approval in accordance with Council's Naming of Roads Policy RD-POL-6. For each proposed street name information must be supplied for the reason for the names and any historical significance.

If a proposed street name has aboriginal significance or root then written approval from the appropriate Aboriginal Land Council is to be supplied.

In addition, the preferred name for proposed road is to be placed on a plan that is equivalent to that used for the sub-division certificate and provided to Council so this can be submitted to the Geographic Names Board for consideration.

- **31.** A **Riparian Management Plan** approved with the Controlled Activity Approval is to be submitted to Council for approval which details:
 - The removal of priority weed species
 - Bank stabilisation and
 - Details of revegetation of riparian zone with appropriate native species including common and botanical names and height and spread at maturity and detailing:
 - Location, number and type of proposed plant species
 - Details of planting procedure and maintenance
 - Provision of only native species that are endemic to the region
 - Implementation, monitoring and reporting schedule

Part E Before the commencement of works (All Stages)

General

32. Required works shall not commence until the person having the benefit of this Development Consent has obtained a Subdivision Works Certificate pursuant to Section 6.13 of the *Environmental Planning and Assessment Act 1979*.

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- **33.** Required works shall not commence until the person having the benefit of this Development Consent has obtained an approval pursuant to Section 138 Roads Act 1993.
- **34.** All measures specified in the **CEMP** must be implemented.
- 35. The applicant must **nominate a suitably qualified and experienced person** to the satisfaction of Council to be responsible for the day to day environmental management of the site and liaising between the Applicant and all relevant government agencies including Council.
- **36.** Council must be informed of the **date subdivision work is proposed to commence**, no later than two days prior to works commencing. This will require Form 131 to be submitted to Council.
- 37. A Soil and Water Management Plan must be submitted to Council's Infrastructure & Assets Division for approval in accordance with Council's Design and Construction Specification AUSSPEC #1.

The plan must include construction techniques to minimise site disturbance and the potential for soil erosion by wind or water, erosion control on any watercourse on the property, revegetation of disturbed areas and any other matters that are deemed necessary by Council.

Note:

An indicative plan may be prepared to complement the design plans, however the final plan for approval must be prepared in consultation with the construction contractor.

- 38. Any contractor prior to undertaking works in an existing Council road reserve <u>shall obtain an approval</u> under Section 138 of *Roads Act 1993* and submit details requested in the approval that include but not limited to:
 - A current work licence
 - A current public liability certificate with a minimum cover of \$20 million
 - Current plant / vehicle insurances
 - A certified traffic control plan for the proposed works

Any work associated with a classified road requires TfNSW concurrence and no work within the road reserve is to be undertaken until received.

- **39.** If dewatering of dams is required, a qualified ecologist must be engaged to relocate any fish or other aquatic fauna into other permanent waterbodies within the site.
- **40.** The Applicant must clearly demarcate (bunting/fencing) the E.melliodora hollow bearing tree (HBT) located immediately to the proposed road alignment to ensure no damage occurs.
- **41. Run-off and erosion control measures** must be implemented to prevent soil erosion, water pollution or the discharge of loose sediment on surrounding land by:
 - (a) diverting uncontaminated run-off around cleared or disturbed areas and
 - (b) erecting a silt fence and providing any other necessary sediment control measures that will prevent debris escaping into drainage systems, waterways or adjoining properties and
 - (c) preventing the tracking of sediment by vehicles onto roads and
 - (d) stockpiling top soil, excavated materials, construction and landscaping supplies and debris within the lot.
- **42.** A **sign** must be erected in a prominent position on the site's boundary which indicates:

- (a) the name, address and telephone number of the Principal Certifier for the work, and
- (b) the name and after-hours contact phone number of the principal contractor (if any) for any building work, and
- (c) unauthorised entry to the site is prohibited.

This sign must be maintained while work is being carried out and must be removed upon completion of the work.

- **43. Hoarding or temporary construction site fence** must be erected between the site and adjoining properties, if the works:
 - (a) could cause a danger, obstruction or inconvenience to the public, pedestrian and/or vehicular traffic, or
 - (b) could cause damage to adjoining lands by falling objects, or
 - (c) involve the enclosure of a public place or part of a public place.

The hoarding or temporary construction site fence must be erected before works commence and be removed immediately after the work in relation to which it was erected has finished, if no safety issue will arise from its removal.

Toilet facilities must be available or provided at the work site before works commence and must be maintained until the works are completed.

The toilets must be provided in accordance with the following:

- (a) at a ratio of one toilet plus one additional toilet for every 20 persons employed at the site
- (b) be a standard flushing toilet connected to a public sewer or
- (c) be connected to an on-site effluent disposal system approved under the *Local Government*
- (d) be a temporary chemical closet approved under the *Local Government Act 1993*.

Tree Management

- **45.** Trees must be protected and removed in accordance with the measures outlined in the approved CEMP.
- 46. All trees to be retained must be protected prior to any works commencing on the site in accordance with AS 4970-2009 Protection of Trees on Development Sites.
- **47.** The applicant must nominate a suitably qualified and experienced person who will be responsible for overseeing the tree removal and tree management.
- **48.** Public access to the site is to be restricted when tree removal work is in progress or the site is unoccupied. All public safety provisions must be in place prior to the commencement of any works and must be maintained throughout tree removal work.

Part F While works are being carried out (All Stages)

NSW Department of Planning & Environment – Water (DPE – Water)

49. The development must be undertaken in accordance with the **Controlled Activity Approval** issued by **NSW Department of Planning & Environment – Water (DPE – Water)**.

Bushfire Protection - NSW Rural Fire Service (RFS)

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50. At the issue of a subdivision certificate and in perpetuity, the entire site of the proposed residential lots must be managed as an inner protection area (IPA) in accordance with the requirements of Appendix 4 of *Planning for Bush Fire Protection 2019*.

When establishing and maintaining an inner protection area, the following requirements apply:

- tree canopy cover should be less than 15% at maturity,
- trees at maturity should not touch or overhang the building,
- lower limbs should be removed up to a height of 2m above the ground,
- tree canopies should be separated by 2 to 5m,
- preference should be given to smooth-barked and evergreen trees,
- large discontinuities or gaps in vegetation should be provided to slow down or break the progress of fire towards buildings,
- shrubs should not be located under trees,
- shrubs should not form more than 10% ground cover,
- clumps of shrubs should be separated from exposed windows and doors by a distance of at least twice the height of the vegetation,
- grass should be kept mown (as a guide, grass should be kept to no more than 100mm in height), and
- leaves and vegetation debris should be removed
- At the issue of a subdivision certificate, and in perpetuity, the site around the existing dwelling on the proposed residue lot must be maintained as an inner protection area (IPA) as follows:
 - north for a distance of 36 metres;
 - east for a distance of 48 metres; and
 - south & west for a distance of 50 metre

When establishing and maintaining an inner protection area, the following requirements apply:

- tree canopy cover should be less than 15% at maturity,
- trees at maturity should not touch or overhang the building,
- lower limbs should be removed up to a height of 2m above the ground,
- tree canopies should be separated by 2 to 5m,
- preference should be given to smooth-barked and evergreen trees,
- large discontinuities or gaps in vegetation should be provided to slow down or break the progress of fire towards buildings,
- shrubs should not be located under trees,
- shrubs should not form more than 10% ground cover,
- clumps of shrubs should be separated from exposed windows and doors by a distance of at least twice the height of the vegetation,
- grass should be kept mown (as a guide, grass should be kept to no more than 100mm in height), and
- leaves and vegetation debris should be removed.
- The existing dwelling on the proposed residue lot 18 must be upgraded to improve ember protection by enclosing all openings (excluding roof tile spaces) or covering openings with a non-corrosive metal screen mesh with a maximum aperture of 2mm. Where applicable, this includes any subfloor areas, openable windows, vents, weep holes and eaves. External doors are to be fitted with draft excluders.
- **53.** Access roads for subdivision developments must comply with the following requirements of Table 5.3b of *Planning for Bush Fire Protection 2019:*
 - property access roads are two-wheel drive, all-weather roads;

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- traffic management devices are constructed to not prohibit access by emergency services vehicles:
- maximum grades for sealed roads do not exceed 15 degrees and an average grade of not more than 10
- degrees or other gradient specified by road design standards, whichever is the lesser gradient;
- all roads are through roads;
- proposed dead end road must incorporate a minimum 12 metres outer radius turning circle, and are clearly sign posted as a dead end;
- where kerb and guttering is provided on perimeter roads, roll top kerbing should be used to the hazard side of the road;
- the capacity of perimeter and non-perimeter road surfaces and any bridges/causeways is sufficient to carry fully loaded firefighting vehicles (up to 23 tonnes); bridges/causeways are to clearly indicate load rating;
- hydrants are located outside of parking reserves and road carriageways to ensure accessibility to reticulated water for fire suppression;
- hydrants are provided in accordance with the relevant clauses of AS 2419.1:2005 Fire hydrant installations System design, installation and commissioning; and
- there is suitable access for a Category 1 fire appliance to within 4m of the static water supply where no reticulated supply is available.
- **54.** Proposed road must comply with the general requirements of Table 5.3b of *Planning for Bush Fire Protection 2019* and the following:
 - are two-way sealed roads;
 - minimum 8m carriageway width kerb to kerb;
 - parking is provided outside of the carriageway width;
 - hydrants are located clear of parking areas;
 - curves of roads have a minimum inner radius of 6m;
 - the maximum grade road is 15 degrees and average grade of not more than 10 degrees;
 - the road crossfall does not exceed 3 degrees; and
 - a minimum vertical clearance of 4m to any overhanging obstructions, including tree branches, is provided.
- Proposed 10 metres wide trafficable defendable space at the interface of the proposed residential lots 4-5 & 9-15 and proposed residue lot 18 as generally demonstrated as (B) in Figure 1: Revised Layout of the submitted bush fire report prepared by Ember Bushfire Consulting (dated 24/06/2022 and referenced: JD.33.22) must be located wholly within the proposed residue lot 18 and must comply with the following requirements of table 5.3b of *Planning for Bush Fire Protection 2019*:
 - access roads are two-wheel drive, all-weather roads;
 - access road must restrict parking with 'no parking' signage restrictions at all times;
 - the use of the access road must be for emergency services only with appropriate signage
 - restrictions clearly sign posted at all times;
 - the capacity of road surfaces is sufficient to carry fully loaded firefighting vehicles (up to 23 tonnes);
 - minimum 4m carriageway width;
 - a minimum vertical clearance of 4m to any overhanging obstructions, including tree branches;
 - access must provide a suitable turning area in accordance with Appendix 3;

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- curves have a minimum inner radius of 6m and are minimal in number to allow for rapid access and egress;
- the minimum distance between inner and outer curves is 6m;
- the cross fall is not more than 10 degrees; and
- maximum grades for sealed roads do not exceed 15 degrees and not more than 10 degrees for unsealed roads
- **56.** The provision of water, electricity and gas must comply with Table 5.3c of *Planning for Bush Fire Protection 2019.*

Transmission Line Easement - TransGrid

- No mounds of earth or other materials may be left on the easement during and after earthworks, as this creates a hazard by reducing the vertical clearances to transmission lines.
- **58.** Excavations deeper than 2m such as trenches and pits need individual assessment to ensure there are no adverse impacts, particularly to Transgrid structures and earth straps.
- Any cut operations as part of bulk earthworks are generally not a concern, provided they do not adversely impact access or encroach within 30m of a structure.
- Any earthworks involving fill need to be assessed to determine impacts on conductor height clearances. This will require provision of a 3D DXF or otherwise detailed survey plans with before and after RLs to enable a height clearance check to be undertaken. Minor resurfacing works which do not increase ground levels by more than 100mm can be excluded provided this is clearly stated on the plans.
- Any construction work within the easement shall maintain safety clearances to the exposed conductors in accordance with NSW WorkCover 'Working near overhead powerlines' Code of Practice 2006 (Transgrid may provide preferred crane locations, for the purpose reducing static induction).
- During construction phase Transgrid access is to be maintained 24/7. Transgrid to provide suitable padlock/s for any gates.
- The works shall not impede or restrict Transgrid from undertaking normal maintenance and inspection activities and, at completion of works, access to Transmission Lines and structures shall always be available for Transgrid plant and personnel for future TransGrid maintenance activities
- Dust: Works must not create excessive quantities of dust and proponent must employ dust suppression. A dust management plan is not expected to be provided to Transgrid, but provision must be made for such a plan to avoid causing damage to the transmission line such as dust pollution on insulators.
- The easement area shall not be used for temporary storage of construction spoil, topsoil, gravel or any other construction materials.
- Vehicles or equipment having a height exceeding of 4.3m when fully extended may traverse the easement if stowed and locked for travel. Operation within the easement must be done in accordance with NSW WorkCover Working near overhead powerlines' Code of Practice 2006.
- Consideration is to be given in the design works for any proposed access ways/roads over

 Transgrid's easement to cater for the weight and size of Transgrid's maintenance vehicles to withstand the 40 tonne load capacity of maintenance trucks.

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- For where travel is required by Transgrid's maintenance vehicles, Batter slope is to be no steeper than 1 in 6.
- Traffic control: During construction, traffic control measures need to be implemented to prevent vehicles colliding with Transgrid's transmission towers.
- Where temporary vehicular access for parking during the construction period is within 17m of transmission line structure, adequate precautions shall be taken to protect the structure from accidental damage.

Construction

- **71.** All measures specified in the approved **Construction Environment Management Plan** must be implemented and maintained while works are being carried out.
- **72.** Works associated with the development must be undertaken in accordance with the following, unless otherwise approved by Council in writing:
 - 7.00 am to 6.00 pm Monday to Friday
 - 8.00 am to 1.00 pm Saturday
 - No work on Sundays or Public Holidays
- **73. Noise, dust and odour** generated as a result of the development must comply with the provisions of the *Protection of the Environment Operations Act 1997*.

Environmental Heritage

- 74. If an Archaeology object is discovered during the course of work:
 - (a) All work must stop immediately and
 - (b) The Department of Planning and Environment must be advised of the discovery.

Depending on the significance of the object, an archaeological assessment and excavation permit issued under the *Heritage Act 1997*, may be required before work can continue.

- **75.** If an **Aboriginal object** (including evidence of habitation or remains) is discovered during the course of work:
 - (a) All must stop immediately and
 - (b) The Department of Planning and Environment must be advised of the discovery in accordance with s.89A *National Parks and Wildlife Act 1974*.

Depending on the nature of the discovery, an Aboriginal Heritage Impact Permit issued under the *National Parks and Wildlife Act 1974*, may be required before work can continue.

Earthworks

- **76.** Material imported to the site must be suitable for the proposed application and be:
 - (a) Sourced from a suitably licensed facility (i.e. landscaping supplies or quarry operation) or
 - (b) <u>VENM</u> as defined in the *Protection of the Environment Operations Act 1997* or
 - (c) ENM as defined in the Protection of the Environment Operations (Waste) Regulation 2014 Excavated Natural Material Resource Recovery Exemption 2014.

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Documentation demonstrating compliance with this condition must be provided to Council upon request.

The document titled *Certification: Virgin excavated natural material* as published by the *Environmental Protection Authority* in September 2013 is considered a suitable form of certification to achieve compliance with this condition for VENM.

The use of ENM must be in accordance with the requirements of:

- The Protection of the Environment Operations (Waste) Regulation 2014 Excavated Natural Material Resource Recovery Exemption 2014 and
- Protection of the Environment Operations (Waste) Regulation 2014 Excavated Natural Material Resource Recovery Order 2014 (as modified or superseded).

Inspections

To arrange an inspection with Council please use the on-line booking system on Council's website: yassvalley.nsw.gov.au > Our Services > Planning and Building > Certification and Inspections > Inspections.

77. The following inspections must be undertaken and a Compliance Certificate (or other relevant documentation) obtained:

Inspection	Authority to carry out inspection
Roads Completion of sub-grade pavement layer including AUR, AUL & BAL – proof roll	
Completion of subbase course pavement layer including AUR, AUL & BAL – proof roll	
Completion of base course pavement layer including AUR, AUL & BAL – proof roll	
Completion of two coat bitumen seal including AUR, AUL & BAL - visual only	
Completion of asphalt cul-de-sacs and intersection of new subdivision road with Guise Street & Majura Lane - visual only	Council's Infrastructure and Assets Division
Completion of road upgrade - visual only	
Completion of stormwater drainage lines – prior to backfilling	
Completion of stormwater detention infrastructure	
Completion of stormwater quality improvement infrastructure	
Completion of roadside drainage	
Completion of new Right of Carriageway - visual only	
	Roads Completion of sub-grade pavement layer including AUR, AUL & BAL – proof roll Completion of subbase course pavement layer including AUR, AUL & BAL – proof roll Completion of base course pavement layer including AUR, AUL & BAL – proof roll Completion of two coat bitumen seal including AUR, AUL & BAL - visual only Completion of asphalt cul-de-sacs and intersection of new subdivision road with Guise Street & Majura Lane - visual only Completion of road upgrade - visual only Completion of stormwater drainage lines – prior to backfilling Completion of stormwater detention infrastructure Completion of roadside drainage

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Authority to carry out

- (I) Completion of footpath
- (m) Completion of streetscaping and other public landscaping
- (n) Completion of property accesses for access dimensions and to ensure there are no 'trip-fall' hazards. Compliance with change in longitudinal grade will only be undertaken where it can be confirmed via WAE drawings.
- (o) Completion of streetscaping and other public landscaping
- (p) Completion of boundary fencing of each lot created

Other

(q) Practical Completion

(r) Final Inspection

Council's Infrastructure and

Assets Division

(s) Completion of bushfire protection works as required by the NSW Rural Fire Service

Council's Planning and Environmental Division or an accredited bushfire consultant

(t) Status of weeds on each proposed

Local Control Authority

Part G Before the issue of a Subdivision Certificate (Stage 3)

A Restriction to User pursuant to s.88B *Conveyancing Act 1919* must be created over proposed Lots 9 to17 (inclusive) which requires a 36m -40m buffer marked R on the subdivision plan is to be maintained as Inner Protection Zone for all dwellings to be constructed on these allotments so as to ensure not greater than 10kw/m2 heat flux exposure to dwellings.

The name of the Authority having the power to release vary, or modify this restriction must be Yass Valley Council.

79. Street name signs must be installed at the entrance to each new road. The sign must be in accordance with Council's standard urban street sign design.

Where the road is no-through a "no-through road" sign is to be installed.

80. Prior to the issue of subdivision certificate, the Applicant is to provide a landscaped buffer (approximately 10 metres wide) on proposed Lot 18 along Sutton Road.

The landscape easement/ plantation buffer shall be planted in accordance with the approved landscape plan.

- 81. The landscape easement or plantation buffer on proposed Lot 18 along Sutton Road shall be shown on the final plan of subdivision.
- **82.** A Restriction to User pursuant to section 88B *Conveyancing Act 1919* must be created over proposed Lot 18 stating:

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The registered proprietors of Lot 18 shall be responsible for maintenance of the landscape easement/ plantation buffer in accordance with the approved plan at all times to the satisfaction Council

The name of the Authority having the power to release, vary or modify this restriction must be Yass Valley Council.

- **83.** The alignment of Sutton Bypass corridor road reserve must be shown on the final plan of subdivision.
- **10m wide trafficable defendable space/Right of Way (RoW)** at the interface of proposed lots 4-5 and 9-17 (around the perimeter of the subdivision) wholly located within proposed residue Lot 18 shall be created to meet the requirements of *Planning for Bushfire Protection 2019*.

The terms of restriction for RoW shall prescribe the mechanism for ongoing maintenance including dispute resolution mechanism and meet the requirements of general terms of approval of NSW Rural Fire Service (refer Appendix B).

- **Right of Carriageway (RoC)** as indicated on the subdivision plan shall be constructed in accordance with Council's Road Standards Policy RD-POL-09 or as per designs/drawings approved with the Subdivision Works Certificate.
- 86. The salinity affected area shall be fenced to manage stock access and minimise risk of exacerbating salinity related erosion.
- 87. The landscaping in dry land salinity mapped areas shall be completed and maintained at all times in accordance with the approved landscaping plan.

Part H Before the issue of a Subdivision Certificate (All Stages)

- 88. The development must comply with the General Terms of Approval issued by the NSW Department of Planning & Environment Water (DPE Water) (refer Appendix A).
- 89. The development must comply with the General Terms of Approval issued by the **NSW Rural Fire** Service (RFS) (refer Appendix B).
- **90.** The development must comply with any concurrence issued by **Transport for NSW (TfNSW)**, (refer Appendix C).
- 91. The development must comply with any concurrence issued by **NSW Department of Planning & Environment Crown Lands (DPE Crown Lands)**, (refer <u>Appendix D</u>).
- 92. The development must comply with any concurrence issued by **TransGrid**, (refer <u>Appendix E</u>).
- **93.** The development must comply with any concurrence issued by NSW State Emergency Services (**NSW SES**) (refer <u>Appendix F</u>).
- **94.** In accordance with <u>s.7.12 EP&A Act</u> and the <u>Yass Valley Development Contributions Plan 2018</u>, a monetary contribution must be paid to Council in accordance with the table below.

Proposed cost of carrying out the development	Contribution Rate
Up to and including \$100,000	Nil

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More than \$100,000 and up to and including \$200,000

0.5% of that cost

More than \$200,000

1% of that cost

A Quantity Surveyor's report is required for works exceeding \$1,000,000. Below this threshold, a cost summary report is acceptable.

The contribution plan may be viewed on Council's <u>website</u> or at the Council Office, located at 209 Comur Street, Yass.

- 95. Where the value of such works is greater than \$25,000, a **levy** under the *Building and Construction Industry Long Service Payments Act 1986*, equivalent to 0.35% of the value of the works, must be paid to Council.
- **96.** A **bank guarantee**, or cash bond, equivalent to 5% of the value of the whole of the engineering works must be lodge with Council as a performance bond.

Notes:

- (a) This bond must be unconditional with no time limit and must be in the name of the developer (i.e. bonds in the name of the construction contractor will not be accepted).
- (b) This bond will be held for a period of the defects liability period (at least 12 months), which will commence from the later of linen plan release from Council or the practical completion of the engineering works (as evidence by the associated engineering compliance certificate).
- (c) At the end of the defects liability period a final compliance inspection will be undertaken. Areas inspected may include the following:
 - Roadside drainage
 - Piped drainage
 - Water quality or retention systems/devices
 - Sealed road surface condition including excessive loose gravel
 - Road signs and lines
 - Sub-grade failures (e.g. soft spot)
 - Roadside landscaping
- (d) During the defect liability period the applicant will be responsible for all maintenance activities except for the following, which will be undertaken by Council:
 - Maintenance grading of unsealed roads public roads
 - Council sewer blockages
- 97. The intersection of Majura Lane/Guise Street and new road must be constructed in accordance with the designs/drawings approved with the Subdivision Works Certificate.
- **98. Landscaping in the road reserves** must be completed in accordance with the plans and details approved with the Subdivision Works Certificate.
- **99. Roads and associated infrastructure** are to be constructed/upgraded in accordance with Council's Road Standards Policy RD-POL-09 or, where required, designs/drawings approved with the Subdivision Works Certificate.
- **100.** All **road reserves** must be dedicated to Council.
- **101. Footpaths and equestrian trail** must be constructed in accordance with the designs/drawings approved with the Subdivision Works Certificate.

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- **102. Property vehicular accesses** from the road to the property boundary of each proposed lot must be constructed in accordance with Council's <u>Road Standards Policy RD-POL-09</u>, or, where required, designs/drawings approved with the Subdivision Works Certificate.
- **103. Street lighting** (flag staff lighting) must be designed and installed throughout the subdivision in accordance with *AS 1158 Lighting for Roads and Public Spaces*.
- **Stormwater drainage** and any quality/quantity devices must be constructed in accordance with Council's Design and Construction Specification AUS-SPEC #1 or, where required, designs/drawings approved with the Subdivision Works Certificate.
- 105. An over land flow path to accommodate the discharge from a 1 in 100 year storm event must be provided in accordance with designs/drawings approved with the Subdivision Works Certificate.
- 106. Landscaping must be completed in accordance with the plans approved with the Subdivision Works Certificate.

Advanced street trees must be appropriately maintained (including watered) to ensure they survive and will be checked as part of any defect liability period. Any missing or dead tress must be replaced before issuing the final defect liability period compliance certificate.

107. Stock proof fencing shall be provided to all boundaries of the proposed lots. The following standards are deemed to be the minimum fencing standard that is required:

All new rural fencing shall meet to the following standard:

- (a) A fence height of no less than 1200mm
- (b) Strainers spacing 100 to 200m depending on terrain
- (c) Steel Star Pickets at 4m centres
- (d) Two 1.57mm high tensile barbed wires (or plain wires) on top
- (e) Three 2.8mm high tensile carry wires (as required)
- (f) 'Hinged Joint or Ringlock'
- (g) Netting floodgates as required
- (h) All gates shall be set back a minimum of 15m from the edge of road formation

All 'Hinge Joint or Ringlock' fencing must be set no higher than 50mm above the surface of the ground.

Any rural fencing, if existent shall where dilapidated be reinstated to a 'good order'. A 'Good Order' shall be deemed to be the condition that restores the fence to the same level of 'stockproof' fencing that was afforded by the existing style of fence when it was in an 'as-new' condition.

- **108.** Evidence shall be provided showing that the dams located on each of the proposed lots do not exceed the maximum harvestable rights in accordance with the maximum harvestable right dam capacity provisions of the *NSW Farm Dams Policy 1999*.
- 109. The Applicant must provide an inspection notice, from within the last three months, of the status of weeds on the property pursuant to the Applicant's General Biosecurity Duty under the *Biosecurity Act 2015*.

The applicant must carry out such works as determined by the Local Control Authority for the satisfactory control of weeds prior to the issue of a Subdivision Certificate. The Local Control Authority is to provide written documentation confirming that these works have been carried out and completed in a satisfactory manner.

Where a plan of management is required by the Local Control Authority for the satisfactory control of weeds:

- (a) The applicant must submit to Council a copy of the plan of management
- (b) The applicant must submit to Council written documentation from the Local Control Authority confirming that the plan of management is satisfactory

The plan of management must be registered as a restriction to user under Section 88 of the *Conveyancing Act 1919*. The name of the Authority having the power to release, vary or modify this restriction must be Yass Valley Council and will only be released at such time as an inspection notice from the Local Control Authority is submitted to Council confirming that the area is free of weeds.

- 110. In accordance with the Provision of Electricity Supply and Telecommunications Service for Subdivisions Policy DA-POL-17, evidence must be submitted to Council demonstrating that a satisfactory standard of electricity supply is available to each lot within the subdivision.
- 111. In accordance with the Provision of Electricity Supply and Telecommunications Service for Subdivisions Policy DA-POL-17, evidence must be submitted to Council demonstrating that a satisfactory standard of **telecommunications service** is available to each lot within the subdivision.
- 112. The applicant must confirm by survey that the formation and associated batters and drainage structures along the frontage of the subject property, are within the road reserve.

Where the existing road is within the subject land, the applicant must ensure that the legal and physical attributes coincide by adjustment of the road reserve. The Applicant's request for a Subdivision Certificate must include specific reference to the review and whether or not adjustment of the road reserve is necessary.

- One complete set of "Works as Executed" (WAE) drawings based on the approved construction plans indicating all as built details shall be submitted to Council for all new assets that will be gifted to Council. Each sheet of the drawings shall be signed by a registered surveyor.
 - (a) The WAE drawings shall be submitted in the following format:
 - Auto CAD LT 2011 on MGA 94 Zone 55 Coordinates.
 - Auto CAD R12/LT2 DXF;
 - PDF;
 - 2 (A1) Hard copies
 - 2 (A3) Hard
 - (b) Detailed summary of the assets shall be submitted to Council. The details shall be provided in a Tabular forms (copies to be provided).

The assets to be identified include:

- Roads and Transport
- Stormwater
- Sewer
- Water
- Landscape

WAE plans shall also include separate details for the following (if applicable to development):

(a) Transport Infrastructure – roads plan, cross sections, long sections, pavement details, Bus Stop Details, Street Light Locations;

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- (b) Other Utilities Gas, Telstra, Electricity, Fibre Optic Cable locations, Depths, Easements and heights in comparison to the roads centre line.
- (c) Survey Mark Details Marker Numbers and AHD.
- **114. Constructed Asset Information** must be submitted to Council for all assets dedicated to Council and must include detail the following, as applicable to the development:

Roads

- Length, width, gravel depth
- Earthworks cost
- Pavement cost
- Seal cost
- Guidepost numbers and cost
- Raised pavement markers numbers and cost
- Guardrail type, size in metres and cost
- Signposts cost
- Open drainage works length and cost
- Kerb and gutter length and cost
- Footpath cycleway length, width and cost.

Stormwater Drainage

- Pipe type, length and cost
- Pit type, number and cost
- Headwalls, number and cost
- Rockwork area and cost
- Stormwater quality improvement features, type, number and component costs.

Other Assets

- Description, dimensions and cost.
- 115. Easements must be created on the final plan of subdivision centred on any existing or new power lines/cables, stormwater drainage lines, water mains, or sewer mains passing through private property and must be in accordance with the service providers requirements.

Easements over Council services must be 3m wide however consideration will be given to a narrower easement in circumstances where it can be justified and is approved by Council's Infrastructure and Assets Division.

A Restriction to User pursuant to s.88B *Conveyancing Act 1919* must be created over all flood affected lots which prohibits the construction of a building on the lot unless it has a **finished floor level 500mm above the 1% AEP flood level**, identified by the drawings and details approved with the Subdivision Works Certificate.

The name of the Authority having the power to release vary, or modify this restriction must be Yass Valley Council.

- A Restriction to User pursuant to s.88B *Conveyancing Act 1919* must be created over all lots which requires all dwellings to be constructed so as to meet the requirements of Environmental Protection Authority criteria 'The Environmental Criteria for Road Traffic Noise' or internal noise objectives for all habitable rooms under ventilated conditions comply with the requirements of Building Code of Australia/National Construction Code:
 - All sleeping rooms: 35 dB(A) Leq(9hr)
 - All other habitable rooms: 45 dB(A) Leq(15hr) and 40 dB(A) Leq(9hr)

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The name of the Authority having the power to release vary, or modify this restriction must be Yass Valley Council.

- 118. A Restriction to User under Section 88B of the *Conveyancing Act 1919* must be created over all lots requiring **potable water storage** (rainwater tanks) to the following minimum standard:
 - 45,000 litres for houses less than 150m²
 - 90,000 litres for houses in excess of 150m².

Above ground tanks must provide for the refilling of fire tankers by the installation of a "Storz" fitting at the base of the tank with a gate valve. The house service may branch off this outlet. Underground tanks must include an access hole at least 150mm diameter.

The name of the Authority having the power to release, vary or modify this restriction must be Yass Valley Council.

- **119.** Any damage caused to **Council owned infrastructure or property** must be repaired or replaced at no cost to Council.
- 120. A Subdivision Certificate Application must be submitted to Council on the NSW Planning Portal.

The application is to be accompanied by the following:

- (a) A plan of subdivision (linen plan) acceptable for registration by the NSW Land and Property Information Office.
- (b) An Administration Sheet which incorporates a subdivision certificate acceptable for registration by the NSW Land and Property Information Office.
- (c) Where easements, rights of carriageway or restrictions on the use of land are proposed or required to be created under Section 88 of the *Conveyancing Act 1919*, a copy of the relevant instrument.
- (d) The relevant documents required by the NSW Land and Property Information Office for the registration of a <u>Community scheme</u> or a Strata scheme, if applicable.
- (e) The applicant must create, where applicable, 20 metre wide easements over the final plan of subdivision in favour of Essential Energy, centred on all existing power lines which cross the subdivision.
- (f) A copy of relevant development consent or complying development certificate.
- (g) A copy of any relevant construction certificate.
- (h) A copy of any relevant compliance certificates, letters from authorities and receipts for payment of any fees/contributions.
- (i) A copy of detailed subdivision engineering plans, where relevant.
- (j) Evidence that the applicant has complied with all conditions of consent that it is required to comply with before a subdivision certificate can be issued.

- (k) For subdivision involving subdivision work, evidence that the work has been completed, or:
 - Agreement has been reached with the relevant consent authority as to payment
 of the cost of work and as to the time for carrying out the work, or
 - Agreement has been reached with the relevant consent authority as to security to be given to the consent authority with respect to the completion of the work.
- (I) The relevant fee payment at the date of application for the subdivision certificate.
- 121. The subdivision certificate will not be issued until all conditions of this consent have been complied with in accordance with the provisions of the *Environmental Planning and Assessment Act 1979* and *Environmental Planning and Assessment Regulation 2000*.

Advisory Notes Accompanying Development Consent DA210293

- 1. This consent has been granted under Clause 4.1 of Yass Valley Local Environmental Plan 2013.
- 2. This approval is for <u>subdivision only</u>. Further development consent is required for any proposed dwelling house or other permissible use, as prescribed in the relevant Environmental Planning Instruments of Council.
- **3.** All fees and charges associated with this consent will be adjusted annually from the date of this consent in accordance with seasonal movements in the CPI for the Canberra region.
- 4. This development consent does not guarantee compliance with land specific agreements, bylaws, covenants, 88B restrictions, community management plans, or other similar development restrictions that may be applicable to the land. It is the responsibility of the land owner, applicant and developer to make their own enquiries in order to be satisfied that compliance with these restrictions has been achieved.
- **5.** The applicant must ensure all sub-contractors are licensed by the NSW Department of Fair Trading.
- **6.** All persons undertaking work in connection with this consent must ensure all required risk control measures and procedures are complied with.
 - The Work Health and Safety Act 2011, the Work Health and Safety Regulation 2011 and various Australian Standards provide a comprehensive set of risk control measures and procedures for development sites. This legislation is administered by WorkCover New South Wales which has produced a variety of guidelines and other supporting documents for the information of developers.

APPENDIX A - NSW Department of Planning and Environment - Water General Terms of Approval

Department of Planning and Environment



Contact: Department of Planning and Environment—Water Phone: 1800 633 362 Email: waterlicensing.servicedesk@dple.nsw.gov.au

> Our ref: IDAS-2022-10033 Your ref: DA210293

> > 4 April 2022

General Manager Yass Valley Council

Attention: Muzaffir Rubbani

Uploaded to the ePlanning Portal

Dear Sir/Madam

Re: IDAS-2022-10033 - Integrated Development Referral – General Terms

of Approval Dev Ref: DA210293

Description: 19 Lot Subdivision

Location: 2155 Sutton Road, SUTTON NSW 2620 - 1//32236

I refer to your recent referral regarding an integrated Development Application (DA) proposed for the above location. Attached, please find the Department of Planning and Environment—Water's General Terms of Approval (GTA) for part of the proposed development requiring a Controlled Activity approval under the Water Management Act 2000 (WM Act), as detailed in the subject DA.

Please note Council's statutory obligations under section 4.46 of the Environmental Planning and Assessment Act 1979 (EPA Act) which requires consent, granted by a consent authority, to be consistent with the general terms of any approval proposed to be granted by the approval body.

If the proposed development is approved by Council, the department requests these GTA be included (in their entirety) in Council's development consent. Please also note the department requests notification:

 if any plans or documents are amended and these amendments significantly change the proposed development or result in additional works or activities (i) in the bed of any river, lake or estuary; (ii) on the banks of any river lake or estuary, (iii) on land within 40 metres of the highest bank of a river lake or estuary; or (iv) any excavation which interferes with an aguifer.

The Department of Planning and Environment—Water will ascertain from the notification if the amended plans require review of or variation/s to the GTA. This requirement applies even if the amendment is part of Council's proposed consent conditions and do not appear in the original documentation.

 if Council receives an application under s4.46 of the EPA Act to modify the development consent and the modifications change the proposed work or activities described in the original DA.

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· of any legal challenge to the consent.

As the proposed work or activity cannot commence before the applicant applies for and obtains an approval, the department recommends the following condition be included in the development consent:

The attached GTA issued by the Department of Planning and Environment—Water do not constitute an approval under the Water Management Act 2000. The development consent holder must apply to the department for a Controlled Activity approval after consent has been issued by Council and before the commencement of any work or activity.

A completed application must be submitted to the department together with any required plans, documents, application fee and proof of Council's development consent. Finalisation of an approval can take up to eight (8) weeks from the date the application and all required supporting documentation is received.

Applications for controlled activity approval should be made to the department, by lodgement of a Controlled Activity Approval – New approval application on the NSW Planning Portal at: https://www.planningportal.nsw.gov.au/

The Department of Planning and Environment—Water requests that Council provide a copy of this letter to the development consent holder.

The Department of Planning and Environment—Water also requests a copy of the determination for this development application be provided by Council as required under section 4.47(6) the EPA Act.

Yours Sincerely Alavauu Touskeer

For

Jeremy Morice

Manager

Licensing and Approvals

Department of Planning and Environment-Water



General Terms of Approval

for proposed development requiring approval under s89, 90 or 91 of the Water Management Act 2000

Reference Number: IDAS-2022-10033 Issue date of GTA: 4 April 2022 Type of Approval: Controlled Activity

Location of work/activity: 2155 Sutton Road, SUTTON NSW 2620 - 1//32236

Waterfront Land: 2nd order watercourse

DA Number: DA210293 LGA: Yass Valley Council

The GTA issued by Department of Planning and Environment.—Water do not constitute an approval under the Water Management Act 2000. The development consent holder must apply to the Department of Planning and Environment.—Water for the relevant approval after development consent has been issued by Council and before the commencement of any work or activity.

Condition Number	Details
TC-G001	Before commencing any proposed controlled activity on waterfront land, an application must be submitted to Department of Planning and Environment.—Water, and obtained, for a controlled activity approval under the Water Management Act 2000.
TC-G004	A. This General Terms of Approval (GTA) only applies to the proposed controlled activity described in the plans and associated documents found in Schedule 1, relating to Development Application DA210293 provided by Council to Department of Planning and Environment—Wafer.
	B. Any amendments or modifications to the proposed controlled activity may render the GTA invalid. If the proposed controlled activity is amended or modified, Department of Planning and Environment—Water, must be notified in writing to determine if any variations to the GTA will be required.
TC-G005	A. The application for a controlled activity approval must include the following plan(s): I. Site plans indicating the demarcation of waterfront land, designated riparian corridors and identifying any areas of encroachments and offsets II. Erosion and sediment control plans; III. Construction detailed drainage plans; IV. Vegetation management plan, which demonstrates a vegetated riparian corridor;
	B. The plan(s) must be prepared in accordance with Department of Planning and Environment—Water's guidelines located on the website https://www.nrar.nsw.gov.au/how-to-appty/controlled-activities/guidelines-for- controlled-activities

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SCHEDULE 1

The plans and associated documentation listed in this schedule are referred to in general terms of approval (GTA) issued by Department of Planning and Environment—Water for integrated development associated with IDAS-2022-10033 as provided by Council:

- Statement of Environmental Effects, prepared by Coe Planning Services.
- Subdivision Plans = 3 sheets, prepared by phi surveyors, dated 17/11/2021
- Integrated Assessment, prepared by Franklin Consulting Australia Pty Limited, dated 14 May 2020.
- Riparian corridor plan, prepared by phi surveyors, dated 11/02/2022.

APPENDIX B - NSW Rural Fire Service (RFS)- General Terms of Approval



Yass Valley Council Locked Bag 6 YASS NSW 2582

Date: Thursday 1 December 2022

Your reference: (CNR-33700) DA210293 Our reference: DA20220116000382-Original-1

ATTENTION: Muzaffar Rubbani

Dear Sir/Madam,

Integrated Development Application s100B - Subdivision - Subdivision 2155 Sutton Road Sutton NSW 2620, 1//DP32236

I refer to your correspondence dated 17/01/2022 seeking general terms of approval for the above Integrated Development Application.

The New South Wales Rural Fire Service (NSW RFS) has considered the information submitted. General Terms of Approval, under Division 4.8 of the Environmental Planning and Assessment Act 1979, and a Bush Fire Safety Authority, under section 1008 of the Rural Fires Act 1997, are now issued subject to the following conditions:

Asset Protection Zones

Intent of measures: to provide sufficient space and maintain reduced fuel loads to ensure radiant heat levels at the buildings are below critical limits and prevent direct flame contact.

 At the issue of a subdivision certificate and in perpetuity, the entire site of the proposed residential lots must be managed as an inner protection area (IPA) in accordance with the requirements of Appendix 4 of Planning for Bush Fire Protection 2019.

When establishing and maintaining an inner protection area, the following requirements apply:

- tree canopy cover should be less than 15% at maturity,
- · trees at maturity should not touch or overhang the building,
- · lower limbs should be removed up to a height of 2m above the ground,
- tree canopies should be separated by 2 to 5m,
- preference should be given to smooth-barked and evergreen trees,
- large discontinuities or gaps in vegetation should be provided to slow down or break the progress of fire towards buildings.
- shrubs should not be located under trees,
- shrubs should not form more than 10% ground cover,
- clumps of shrubs should be separated from exposed windows and doors by a distance of at least twice the height of the vegetation.

Postal address

NSW Rural Fire Service NSW Rural Fire Service T (02) 8741 5555
Locked Bag 17 4 Murray Rose Ave F (02) 8741 5550
GRANVILLE NSW 2142 SYDNEY OLYMPIC PARK NSW 2127 www.rfs.nsw.gov.au

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- grass should be kept mown (as a guide, grass should be kept to no more than 100mm in height), and
- leaves and vegetation debris should be removed.
- At the issue of a subdivision certificate, and in perpetuity, the site around the existing dwelling on the proposed residue lot must be maintained as an inner protection area (IPA) as follows:
 - north for a distance of 36 metres;
 - east for a distance of 48 metres; and
 - south & west for a distance of 50 metres.

When establishing and maintaining an inner protection area, the following requirements apply:

- tree canopy cover should be less than 15% at maturity,
- trees at maturity should not touch or overhang the building,
- lower limbs should be removed up to a height of 2m above the ground,
- tree canopies should be separated by 2 to 5m,
- preference should be given to smooth-barked and evergreen trees,
- large discontinuities or gaps in vegetation should be provided to slow down or break the progress of fire towards buildings
- shrubs should not be located under trees,
- shrubs should not form more than 10% ground cover,
- clumps of shrubs should be separated from exposed windows and doors by a distance of at least twice the height of the vegetation.
- grass should be kept mown (as a guide, grass should be kept to no more than 100mm in height), and
- leaves and vegetation debris should be removed.

Construction Standards

The intent of measures is that buildings are designed and constructed to withstand the potential impacts of bush fire attack. To achieve this, the following conditions shall apply:

3. The existing dwelling on the proposed residue lot 18 must be upgraded to improve ember protection by enclosing all openings (excluding roof tile spaces) or covering openings with a non-corrosive metal screen mesh with a maximum aperture of 2mm. Where applicable, this includes any subfloor areas, openable windows, vents, weep holes and eaves. External doors are to be fitted with draft excluders.

Access - Public Roads

Intent of measures: to provide safe operational access to structures and water supply for emergency services, while residents are seeking to evacuate from an area.

- Access roads for subdivision developments must comply with the following requirements of Table 5.3b of Planning for Bush Fire Protection 2019:
 - property access roads are two-wheel drive, all-weather roads;
 - traffic management devices are constructed to not prohibit access by emergency services vehicles;
 - maximum grades for sealed roads do not exceed 15 degrees and an average grade of not more than 10 degrees or other gradient specified by road design standards, whichever is the lesser gradient;
 - all roads are through roads;
 - proposed dead end road must incorporate a minimum 12 metres outer radius turning circle, and are clearly sign posted as a dead end;
 - where kerb and guttering is provided on perimeter roads, roll top kerbing should be used to the hazard side of the road:
 - the capacity of perimeter and non-perimeter road surfaces and any bridges/causeways is sufficient to carry fully loaded firefighting vehicles (up to 23 tonnes); bridges/causeways are to clearly indicate load ratine:
 - hydrants are located outside of parking reserves and road carriageways to ensure accessibility to reticulated water for fire suppression;



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- hydrants are provided in accordance with the relevant clauses of AS 2419.1:2005 Fire hydrant installations System design, installation and commissioning; and
- there is suitable access for a Category 1 fire appliance to within 4m of the static water supply where no reticulated supply is available.

Proposed road must comply with the general requirements of Table 5.3b of Planning for Bush Fire Protection 2019 and the following:

- are two-way sealed roads;
- minimum 8m carriageway width kerb to kerb;
- parking is provided outside of the carriageway width;
- hydrants are located clear of parking areas;
- curves of roads have a minimum inner radius of 6m;
- the maximum grade road is 15 degrees and average grade of not more than 10 degrees;
- the road crossfall does not exceed 3 degrees; and
- a minimum vertical clearance of 4m to any overhanging obstructions, including tree branches, is provided.

6. Proposed 10 metres wide trafficable defendable space at the interface of the proposed residential lots 4-5 & 9-15 and proposed residue lot 18 as generally demonstrated as (B) in Figure 1: Revised Layout of the submitted bush fire report prepared by Ember Bushfire Consulting (dated 24/06/2022 and referenced: JD.33.22) must be located wholly within the proposed residue lot 18 and must comply with the following requirements of table 5.3b of Planning for Bush Fire Protection 2019:

- access roads are two-wheel drive, all-weather roads;
- access road must restrict parking with 'no parking' signage restrictions at all times:
- the use of the access road must be for emergency services only with appropriate signage restrictions clearly sign posted at all times:
- the capacity of road surfaces is sufficient to carry fully loaded firefighting vehicles (up to 23 tonnes);
- minimum 4m carriageway width:
- a minimum vertical clearance of 4m to any overhanging obstructions, including tree branches;
- access must provide a suitable turning area in accordance with Appendix 3;
- curves have a minimum inner radius of 6m and are minimal in number to allow for rapid access and egress;
- the minimum distance between inner and outer curves is 6m;
- the cross fall is not more than 10 degrees; and
- maximum grades for sealed roads do not exceed 15 degrees and not more than 10 degrees for unsealed roads.

Water and Utility Services

Intent of measures: to provide adequate services of water for the protection of buildings during and after the passage of a bush fire, and to locate gas and electricity so as not to contribute to the risk of fire to a building.

 The provision of water, electricity and gas must comply with Table 5.3c of Planning for Bush Fire Protection 2019.

General Advice - Consent Authority to Note

- In absence of reticulated water supply, future dwellings on the proposed residential lots 1-17 must be provided with static water supply which should comply with table 5.3c & 5.3d of Planning for Bush Fire Protection 2019.
- This approval is for the subdivision of the land only. Future development applications lodged on lots
 created within this subdivision may be subject to further assessment under the Environmental Planning
 & Assessment Act 1979.

For any queries regarding this correspondence, please contact Surbhi Chhabra on 1300 NSW RFS.



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Yours sincerely,

Michael Gray Manager Planning & Environment Services Built & Natural Environment



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BUSH FIRE SAFETY AUTHORITY

Subdivision – Subdivision 2155 Sutton Road Sutton NSW 2620, 1//DP32236 RFS Reference: DA20220116000382-Original-1 Your Reference: (CNR-33700) DA210293

This Bush Fire Safety Authority is issued on behalf of the Commissioner of the NSW Rural Fire Service under s100b of the Rural Fires Act (1997) subject to the attached General Terms of Approval.

This authority confirms that, subject to the General Terms of Approval being met, the proposed development will meet the NSW Rural Fire Service requirements for Bush Fire Safety under s100b of the Rural Fires Act 1997.

Michael Gray

Manager Planning & Environment Services Built & Natural Environment

Thursday 1 December 2022

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APPENDIX C – Transport for NSW (TfNSW) - Concurrence



Our ref: SWT18/00162 Contact: Cam O'Kane

25 January 2022

Yass Valley Council

BY EMAIL: council@yass.nsw.gov.au

Attention: Muzaffar Rubbani

DA210293 (CNR-33700) - PROPOSED RESIDENTIAL SUBDIVISION, LOT 1 DP32236, SUTTON ROAD, SUTTON.

I refer to your correspondence regarding the subject Application which was referred to Transport for NSW (TfNSW) for assessment and comment.

From the information provided it is understood that the proposal is for a nineteen (19) Lot Residential Subdivision with associated infrastructure, roads, easements and restrictions. The subject site has frontage to the Sutton Road, which is a classified "regional" road. Sutton Road forms part of the Canberra-Crookwell Road (MR52) within both 50km & 80km speed zone. The site also has frontage to Guise Street and Majura Lane which are classed as a local roads, within a 50 km/h speed limit.

TfNSW has completed an assessment of the application, based on the information provided and focussing on the impact to the state road network. TfNSW notes for this application:

- The proposal is supported by a Statement of Environmental Effects (SEE) prepared by Coe Planning Services;
- Proposed vehicular and pedestrian access to the subdivided allotments is via the local road network. No additional access is proposed to Sutton Road for the residue allotment;
- TfNSW notes the corridor for a future road (Sutton Bypass) is marked one of the submitted plans.

Transport for NSW emphasises the need to minimise the impact of development on the existing public road network and maintain the level of safety, efficiency and maintenance along the road network.

TfNSW has assessed the Development Application based on the documentation provided and would raise no objection to the development proposal and grants concurrence in accordance with section 138 of the Roads Act subject to the Consent Authority ensuring that the development is undertaken in accordance with the information submitted and restricting proposed Lots 1-18 to access via Guise Street / Majura Lane or the proposed new internal road network.

TfNSW highlights that in determining the application it is the consent authority's responsibility to consider the environmental impacts of any road works which are ancillary (proposed or deemed necessary) to the development. This may include the need for further environmental assessment for any ancillary road works.

Any enquiries regarding this correspondence may be referred to writer, TfNSW (South Region), phone (02) 6923 6582.

Yours faithfully

Cam O'Kane

Case Officer, Development Services South

Transport for NSW

193-196 Morgan Street, Wagga Wagga NSW 2650 | ABN 18 804 239 602

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APPENDIX D - NSW Department of Planning and Environment - Crown Lands (DPE Crown Lands) - Concurrence



Department of Planning and Environment

CM9 Ref: 22/00011#01

General Manager Yass Valley Council PO Box 6, YASS NSW 2582

Email: council@yass.nsw.gov.au

Attn: Muzaffar Rubbani

Dear Muzaffar

Proposed Development: DA 210293 - Revised Plan of Subdivision - 19 Lots to 18 Lots

Applicant: Mr P S Keir Location: Lot 1 DP 32236

> 2155 Sutton Road SUTTON NSW

I refer to Council's email dated 1 July 2022 requesting comments for the above revised development proposal.

The Department of Planning & Environment - Crown Lands (the department), as adjoining landowner has reviewed the development application in accordance with the principles of Crown land management (s.1.4 Crown Lands Management Act 2016), and offers no objections to the proposed development.

However, as the revised plan includes the identification of a future bypass road corridor, which will be a traffic generating road, it is recommended that Council requests the impacted section of Crown road be transferred to Council in accordance with the Crown Lands Administration of Crown Roads Policy. No work are to commence on this bypass until the road has been transferred.

Should the development be modified in any manner that impacts the adjoining Crown land, e.g. by amendment to the development proposal or draft conditions of consent, the department requests an opportunity to further review the application prior to determination.

Should you require any further information, please do not hesitate to contact me at the Goulburn Crown Lands Office by phone on 02 4824 3761 or email sue.shallsi@crownland.nsw.gov.au

Yours sincerely

Phallis

Sue Shallis

A/Senior Natural Resource Management Officer Department of Planning Industry & Environment - Crown Lands

Date: 4 July 2022

NSW Department of Planning & Environment = Crown Lands PO Box 2185 Dangar NSW 2309 1300 886 235 www.crownland.nsw.gov.au - ABN: 72 189 919 072

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APPENDIX E -TransGrid Concurrence

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Transgrid	у.

ABN 70 250 995 390 Sydney West 200 Old Wallgrove Road PO Box 87 Horsley Park NSW 2175 Australia T (02) 9620 0777 F (02) 9620 0384

Friday, 19 August 2022

Muzaffar Rubbani |

Development Planner | Yass Valley Council

Dear Muzaffar,

Transgrid reference number: 2022-359
Proposal: Amendments to existing DA

Location: DA 210293 - 2155 Sutton Road

Transgrid Asset: Yass to Queanbeyan 132kV transmission line (feeder 977/1)

Thank you for requesting Transgrid's permission to carry out the Amendments to existing DA described in DA210293 - Updated Subdivision Plan - 2155 Sutton Road.pdf at DA 210293 - 2155 Sutton Road within Transgrid easement Yass to Queanbeyan 132kV transmission line (feeder 977/1) (Transgrid ID: 2022-359).

Please be advised that after reviewing your proposal, Transgrid gives its permission subject to the following conditions:

1. GENERAL CONDITIONS:

 All works must be carried out as per DA210293 - Updated Subdivision Plan - 2155 Sutton Road.pdf at DA 210293 - 2155 Sutton Road

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- TransGrid shall be notified of any amendments / modifications to the proposal which may change distances to Transgrid structures or conductors
- All works must be carried out in accordance with NSW WorkCover 'Working near overhead powerlines' Code of Practice 2006
- All fencing (including temporary fencing) must comply with Transgrid's Fencing Guidelines, including earthing and/or isolation requirements.
- If fence heights are not stipulated on the plans, then approval is based on the assumption that all fences will be no higher than 2.5m. If fences are planned taller than 2.5m then full details must be provided
- No metallic structures or infrastructure shall be installed unless they form part of the approved plans.
- vii. Any works proposed MUST NOT reduce clearance to conductors below that required in AS7000
- viii. Where transmission lines are 132kV and below activities/development/structures must be located at least 20 metres away from any part of a transmission structure or supporting guy wire, or for metallic structures, be located at least 22 metres away from any part of a transmission structure or supporting guy wire and be located at least 10 metres from the centre of the transmission line
- ix. Where transmission lines are 220kV and above activities/development/structures must be located at least 30 metres away from any part of a Transmission structure or supporting guy wire, and be located at least 17 metres from the centre of the transmission line
- Precautions must be in place to prevent damage to transmission line structures and guys. Any damage due to construction activities to be reported immediately to Transgrid

2.TECHNICAL CONDITIONS: Summary of Findings: (1) Proponent refers to a previous review by Transgrid which indicated that there was impact to Transgrid (2) DA has been updated to show the Sutton Bypass Road alignment, which runs parallel to the Transmission line but outside the easement (3) Transgrid's current access tracks to structures 157-159 run through proposed subdivision

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Yes

Additional Notes:

- (1) Transgrid's access to structures 157-159 must be maintained along the proposed Sutton Bypass Alignment. Any obstructions/ services along an access track or within 30m of a Transgrid structure must be capable of withstanding loads of a maintenance vehicle (40t)
- (2) The electricity asset to the east of the subdivision is not a Transgrid asset. The proponent shall liaise with the asset owner.

3.ACCESS AND MAINTENANCE CONDITIONS:

N/A

4. EARTHWORKS CONDITIONS:

- No mounds of earth or other materials may be left on the easement during and after earthworks, as this creates a hazard by reducing the vertical clearances to transmission lines.
- Excavations deeper than 2m such as trenches and pits need individual assessment to ensure there are no adverse impacts, particularly to Transgrid structures and earth straps
- Any cut operations as part of bulk earthworks are generally not a concern, provided they do not adversely impact access or encroach within 30m of a structure
- iv. Any earthworks involving fill need to be assessed to determine impacts on conductor height clearances. This will require provision of a 3D DXF or otherwise detailed survey plans with before and after RLs to enable a height clearance check to be undertaken. Minor resurtacing works which do not increase ground levels by more than 100mm can be excluded provided this is clearly stated on the plans

5. CONSTRUCTION CONDITIONS:

 Any construction work within the easement shall maintain safety clearances to the exposed conductors in accordance with NSW WorkCover "Working near overhead powerlines" Code of Practice 2008 (Transgrid may provide preferred crane locations, for the purpose reducing static induction)

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- During construction phase Transgrid access is to be maintained 24/7. Transgrid to provide suitable padlock/s for any gates
- The works shall not impede or restrict Transgrid from undertaking normal maintenance and inspection activities and, at completion of works, access to Transmission Lines and structures shall always be available for Transgrid plant and personnel for future TransGrid maintenance activities
- IV. Dust: Works must not create excessive quantities of dust and proponent must employ dust suppression. A dust management plan is not expected to be provided to Transgrid, but provision must be made for such a plan to avoid causing damage to the transmission line such as dust pollution on insulators
- The easement area shall not be used for temporary storage of construction spoil, topsoil, gravel or any other construction materials
- vi. Vehicles or equipment having a height exceeding of 4.3m when fully extended may traverse the easement if stowed and locked for travel. Operation within the easement must be done in accordance with NSW WorkCover Working near overhead powerlines' Code of Practice 2006
- vii. Consideration is to be given in the design works for any proposed access ways/roads over I ransgrid's easement to cater for the weight and size of I ransgrid's maintenance vehicles - to withstand the 40 tonne load capacity of maintenance trucks.
- For where travel is required by Transgrid's maintenance vehicles, Batter slope is to be no steeper than 1 in 6.
- Traffic control: During construction, traffic control measures need to be implemented to prevent vehicles colliding with Transgrid's transmission towers.
- x. Where temporary vehicular access for parking during the construction period is within 17m of transmission line structure, adequate precautions shall be taken to protect the structure from accidental damage

Please note, this is Transgrid's permission as easement holder only, and it does not constitute planning approval under the Environmental Planning and Assessment Act 1979.

If you have any questions, please do not hesitate to contact Transgrid's Easements & Development Team at Easements&Development@transgrid.com.au.

Please see link to TransGrid online guidelines: https://www.transgrid.com.au/being-responsible/public-safety/Living-and-working-with-electricity-transmission-lines/Pages/default.aspx

Please see link to the PDF version: https://www.transgrid.com.au/being-responsible/public-safety/Living-and-working-with-electricity-transmission-lines/Documents/Easement%20Guidelines.pdf

Yours faithfully	
Easements & Development Team	
	Transgrid.com.a
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Yes

Additional Notes:

- (1) Transgrid's access to structures 157-159 must be maintained along the proposed Sutton Bypass Alignment. Any obstructions/ services along an access track or within 30m of a Transgrid structure must be capable of withstanding loads of a maintenance vehicle (40t)
- (2) The electricity asset to the east of the subdivision is not a Transgrid asset. The proponent shall liaise with the asset owner.

3.ACCESS AND MAINTENANCE CONDITIONS:

N/A

4. EARTHWORKS CONDITIONS:

- No mounds of earth or other materials may be left on the easement during and after earthworks, as this creates a hazard by reducing the vertical clearances to transmission lines.
- Excavations deeper than 2m such as trenches and pits need individual assessment to ensure there are no adverse impacts, particularly to Transgrid structures and earth straps
- Any cut operations as part of bulk earthworks are generally not a concern, provided they do not adversely impact access or encroach within 30m of a structure
- iv. Any earthworks involving fill need to be assessed to determine impacts on conductor height clearances. This will require provision of a 3D DXF or otherwise detailed survey plans with before and after RLs to enable a height clearance check to be undertaken. Minor resurfacing works which do not increase ground levels by more than 100mm can be excluded provided this is clearly stated on the plans

5. CONSTRUCTION CONDITIONS:

 Any construction work within the easement shall maintain safety clearances to the exposed conductors in accordance with NSW WorkCover "Working near overhead powerlines" Code of Practice 2008 (Transgrid may provide preferred crane locations, for the purpose reducing static induction)

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- During construction phase Transgrid access is to be maintained 24/7. Transgrid to provide suitable padlock/s for any gates
- The works shall not impede or restrict Transgrid from undertaking normal maintenance and inspection activities and, at completion of works, access to Transmission Lines and structures shall always be available for Transgrid plant and personnel for future TransGrid maintenance activities
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Please note, this is Transgrid's permission as easement holder only, and it does not constitute planning approval under the Environmental Planning and Assessment Act 1979.

If you have any questions, please do not hesitate to contact Transgrid's Easements & Development Team at Easements&Development@transgrid.com.au.

Please see link to TransGrid online guidelines: https://www.transgrid.com.au/being-responsible/public-safety/Living-and-working-with-electricity-transmission-lines/Pages/default.aspx

Please see link to the PDF version: https://www.transgrid.com.au/being-responsible/public-safety/Living-and-working-with-electricity-transmission-lines/Documents/Easement%20Guidelines.pdf

Yours faithfully	
Easements & Development Team	
	_Transgrid.com.

	Transgrid
Transgrid	
Yours faithfully	
[Name] [Position]	
[Fosition]	
	Transgrid.com.au

Appendix F – NSW State Emergency Services (NSW SES) Concurrence

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Our Ref: ID 1541 Your Ref: DA210293

13 January 2022

Mr Muzaffar Rubbani Yass Valley Council PO Box 6 Yass NSW 2582

via email: council@yass.nsw.gov.au

Dear Mr Rubbani,

REQUEST BY YASS VALLEY COUNCIL FOR NSW SES ASSESSMENT OF/INPUT INTO INDIVIDUAL DA DA210293 - 2155 SUTTON ROAD, SUTTON

I refer to Council's correspondence dated 07 January 2022 seeking comment on Development Application DA210293 - 2155 Sutton Road, Sutton.

The NSW State Emergency Service (NSW SES) is the agency responsible for dealing with floods, storms and tsunami in NSW. This role includes, planning for, responding to, and coordinating the initial recovery from floods. As such, the NSW SES has an interest in the public safety aspects of the development of flood prone land, particularly the potential for changes to land use to either exacerbate existing flood risk or create new flood risk for communities in NSW.

For strategic effectiveness the NSW SES aims to work in partnership with local councils in the preparation of floodplain or coastal risk management plans, Local Environmental Plans (LEPs) and Development Control Plans (DCPs).

Unless there is some critical factor indicating otherwise, the NSW SES does not generally involve itself in individual development applications. This is because the NSW SES is not resourced to do so.

The NSW SES has identified the main entrance and some surrounding roads to this planned subdivision may be susceptible to inundation which would limit evacuation to the growing population in the area. Evacuation capacity and flood affectation should be a consideration in the design to reduce the potential risk to life.

The NSW SES recommends that consideration of flooding issues is undertaken in accordance with the requirements of NSW Government's Flood Prone Land Policy as set out in the Floodplain Development Manual, 2005 (FDM) and relevant planning directions under the Environmental Planning and Assessment Act, 1979. The floodplain risk management issues which are of concern to the NSW SES are addressed in the FDM.



STATE HEADQUARTERS 93 - 99 Burelli Street, Wollongong 2500

PO Box 6126, Wollengong NSW 2500 (02) 4251 6111 (02) 4251 6190

www.ses.nsw.gov.au

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Attention is drawn to the following principals outlined in the Manual which are of importance to the NSW SES role as described above:

- Development should not result in an increase in risk to life, health or property of people living on the floodplain.
- Risk assessment should consider the full range of flooding, including events up to the Probable Maximum Flood (PMF) and not focus only on the 1% AEP flood.
- Risk assessment should have regard to flood warning and evacuation demand on existing and future access/egress routes. Consideration should also be given to the impacts of localised flooding on evacuation routes.
- In the context of future development, self-evacuation of the community should be achievable in a manner which is consistent with the NSW SES's principles for evacuation.
- Development must not conflict with the NSW SES's flood response and evacuation strategy for the existing community.
- Evacuation must not require people to drive or walk through flood water.
- Development strategies relying on deliberate isolation or sheltering in buildings surrounded by flood water are not equivalent, in risk management terms, to evacuation.
- Development strategies relying on an assumption that mass rescue may be possible where evacuation either fails or is not implemented are not acceptable to the NSW SES.
- The NSW SES is opposed to the imposition of development consent conditions requiring private flood evacuation plans rather than the application of sound land use planning and flood risk management.
- NSW SES is opposed to development strategies that transfer residual risk, in terms of emergency response activities, to NSW SES and/or increase capability requirements of the NSW SES.

Additional information is included in the enclosed Developer's Guide which includes some flood planning questions and considerations used by the NSW SES. As the consent authority, Council will need to be satisfied that these considerations are adequately addressed as part of the assessment process. You may also find the following Guidelines, originally developed for the Hawkesbury Nepean Valley and available on the NSW SES website useful:

- 1. Reducing Vulnerability of Buildings to Flood Damage
- 2. Designing Safer Subdivisions

Due entirely to the need to meet priorities dictated by legislated responsibilities, the NSW SES is unable to provide comment on your development application, however it will incorporate any relevant data in the development of local flood plans and associated emergency management strategies for the area.

Please feel free to contact me via email at rra@ses.nsw.gov.au should you wish to discuss any of the matters raised in this correspondence.

Yours sincerely,

Nicholas Kuster

Manager Emergency Planning NSW State Emergency Service



State Headquarters Level 6, 6-8 Regent Street Wollongong NSW 2500 PO Box 6126 Wollongong NSW 2500 Phone 02 4251 6111 Fax 02 4251 6690 www.ses.nsw.gov.au

NSW SES STATE HEADQUARTERS WOLLONGONG

REFERENCE: DA's, Flood Risk and Site Specific Evacuation Plans

The Service is concerned about the public safety aspects of the development of flood prone land and endeavours to provide advice and guidance to local government on matters of floodplain management. Our aim is for the SES to be involved at a strategic planning level in this process such as at the floodplain management committee level or local environment planning stage, not at the individual development application level.

Despite the preferred position, the Service is approached from time-to-time to provide advice about flood risk for the site of a proposed development. The SES is not in a position to provide a detailed assessment of the flood risk for a development site. Information about flood risk is provided by local government councils through the floodplain risk management process they are required to undertake. Recognising that not all councils have completed that process, some notes are provided below, to assist those who need to consider the emergency risk management implications of flooding for a site.

The SES often receives requests from individuals, businesses, or companies that have been asked by a council to obtain SES agreement to, or endorsement of, a site specific flood evacuation plan as a condition of development consent. The SES does not have the statutory authority to endorse private evacuation plans and the Service does not have the resources to review and comment on private plans written at the level of individual dwellings, businesses or small subdivisions. The Service can therefore not provide the response Councils often ask developers to obtain. In such cases the SES will always advise the relevant council of this position is requested to do so by the applicant.

It should also be noted that the NSW Floodplain Development Manual 2005 (FDM) specifically precludes the practice of consent conditions requiring a site plan if that plan is trying to overcome an underlying flood risk that would otherwise be considered too high to permit approval (see FDM Annex L-3). In other words, if the existence of a flood plan is ignored, is the underlying flood risk unacceptable in the context of the proposed development? This policy reflects the views of the SES on the issue and the FDM provides

Developers Guide - Version 1.1 as at April 2013

Page 1 of 5

an explanation of why the Service has adopted this policy.

Despite the provisions to the contrary (see above) a council may insist on the preparation of a site specific flood evacuation plan. To offer at least some assistance to the applicant of the development the following information is provided. In a consideration of public safety during an SES flood planning project or development assessment process, this Service would investigate questions such as the ones listed below. The more of these questions for which the answer is <u>yes</u>, the worse the risk rating for public safety will be in our assessment and the more difficult the emergency risk management planning process and response implementation will be.

Also note that the NSW SES has developed a Home FloodSafe toolkit and a Business FloodSafe toolkit. These are both available from the NSW SES FloodSafe website at www.floodsafe.com.au.

Flood Planning Questions & Considerations used by the SES

The SES Local Flood Plan for the area in question may be a useful source of information about flood prediction and warning arrangements and the flood risk generally. These plans are public documents and copies are held by public libraries, local government councils, and local SES Units. An electronic copy can be provided if requested.

1. Does the development attempt to rely on an evacuation plan to overcome an underlying flood risk? (i.e. is it un-safe to develop the site without a plan?);
 The NSW Floodplain Management Manual specifically precludes this practice. The SES does not believe that evacuation plans are an effective means of reducing the underlying flood risk in an area. The Service's view is that for residents to have their own flood evacuation plan, indeed any household safety plan, is a desirable objective. The problem is that even well written plans are dependent on human application and often rely on technical support systems and cannot be guaranteed to work every time and for all circumstances in which a flood or other emergency may occur. Most plans will rely on the action of one or more third parties.

All plans require regular maintenance and review and most importantly, an on-going commitment from the participants. These conditions are difficult enough to implement and monitor over the long term for a full-time emergency service. They are unlikely to be achieved at all in a private ownership context where there is no external audit or monitoring.

A flood plan cannot satisfy the requirement for a "permanent, failsafe, maintenance free measure" to ensure the evacuation of residents, a condition often imposed by a council.

The SES prepares community-wide flood plans at a local government level to deal with the problem of existing communities in flood liable areas and those plans do not have the capacity to cater for open-ended population growth. The bigger and more complex the flood problem becomes, the broader the operational objectives have to become. It is then much more difficult to deal with individual people and locations. 2. Is the site a frequently flooded site where residents may become complacent about the smaller more frequent floods and will be surprised and caught-out by bigger events?:

At first glance it may seem that if people live in an area where frequent low-level floods occur, they would be more flood aware. Unfortunately, although they may be aware of flooding, they generally come to the view that they are not at risk because they think all floods are like the small ones they often see. This is not true and big floods will almost always catch people by surprise and exceed their capacity to deal with the situation unless they have considered this scenario in their planning and preparedness.

3. Is it a location for which flood height prediction is either not available at all or within a reasonable time frame or where prediction is inherently uncertain?

These issues will make flood planning and warning and response timing very difficult. There are many locations where the time from rainfall to flooding is less than six hours and these are termed flash flood environments. Examples are Coffs Harbour, Wollongong, and many suburban Sydney areas. In these and similar locations, Severe Weather Warnings will be the most likely form of advice about the potential for flood producing storms and rainfall. Business owners/operators must be weather aware and act early on publicly broadcast severe weather and flood warnings. The Australian Government Bureau of Meteorology has an excellent web site (www.bom.gov.au) that lists all current warnings and has access to some real time data.

4. Is the location remote from the main community and therefore not linked to existing community networks for warning and assistance purposes?

It will be difficult for the SES to monitor remote locations such as rural residential communities. The more specific the warning requirement for individuals and sites becomes, the more difficult it is for the SES to deliver warnings in the short time frames that often apply.

5. Will residents require special flood warning arrangements because of isolation, short warning times, age or ill health?

Neither the SES nor the Bureau of Meteorology can undertake to provide special individual flood warning services for each business site. The more specific the warning requirement for individuals and sites becomes, the more difficult it is for the SES to deliver warnings in the short time frames that often apply. Business owners/operators must be weather aware and act early on publicly broadcast severe weather and flood warnings. The Australian Government Bureau of Meteorology has an excellent web site (www.bom.gov.au) that lists all current warnings and has access to some real time data.

6. Will evacuation rely on a third party for warning, transport or temporary accommodation?

Areas that do not have independent means of evacuation complicate the SES flood response. The SES has very limited human resources and cannot undertake to help out at all sites that may need it. Evacuation plans must be self-sufficient and need to consider that other sections in the community may be placing demands of public and private transport resources.

7. Is the area isolated by floodwater before inundation of the land the dwelling is built upon? i.e. is the only the safe road out closed by river floodwater or local stormwater before flooding is obvious to residents, making it difficult to motivate people to action?

Vehicular escape routes that rise steadily and lead away from the flood are the best. In the worst case, a community would be cut-off by floodwater and left stranded on an island on high ground that could subsequently be submerged (see 9 below). The problem of localised closure of roads due to inadequate stormwater capacity can be critical where the available warning and evacuation time is short. If an area is cut off from road access but still has some overland escape route, then at least people will not drown.

Do not just focus on the effects up to the 1:100 flood level. Flood risk management must consider the implications of bigger floods (1:200, 1:500, 1:1000) and some thought needs to given to the consequences of even the most rare floods up to the Probable Maximum Flood (PMF). This is reflected in the NSW Floodplain Management Manual of January 2001.

8. Is the development relying on an elevated structure to achieve compliance with habitable floor level requirements?

This approach, although effective for property protection, brings with it the problem that residents will be convinced that it is safe to "sit-out the flood". Unless the floor level is above the limit of all flooding i.e above the Probable Maximum Flood (PMF) this is not true because the water could keep rising over the floor level after residents have lost their escape route.

People tend to resist calls to evacuate before the land around them is obviously flooded. Unfortunately our experience is that people change their mind about this option after they have been surrounded by flood water or when essential services such as water, power and sewer cease to function. Rescue, resupply and medical responses are difficult and can be dangerous under these conditions.

In flash flood environments (floods with less than 6 hours warning) provision of a safe refuge above the limit of flooding (PMF) may be an advantage if the duration of flooding will be very short and the flood depth or velocity is high on or adjacent to the site. The success of this strategy will depend very much on the likely behaviour of people and building designs which put cars or other property under the refuge area may encourage people to take risks to save these items.

9. Will an SES response such as difficult/dangerous rescue or demand on limited SES resources be required if the private arrangements fail and people do not leave early enough (see 7 above)?

During periods of widespread flooding the SES will have to deal with many communities facing the impact of flooding. There is no thing as a safe period of isolation although obviously the shorter the better and the longer the period of isolation, the more chance there is for mishap requiring external intervention. Even relatively brief periods of isolation, in the order of a few hours, can lead to personal medical emergencies that have to be responded to.

Developers Guide - Version 1.1 as at April 2013

Page 4 of 5

10. Is communication to the area reliant on services such as telephone and power which are known to be subject to failure during floods/storms?

Inability to communicate in an emergency will complicate the implementation of any plan and could be fatal. Lack of communication to & from the site also requires someone from outside to confirm the safety of people on the site.

Any plan that a resident or facility manager may wish to prepare for a site should address the issues listed above. The list is also an indication of the issues that should be addressed in any detailed major development proposal, especially if some of the key issues such as the reliability of evacuation routes, can be dealt with through better design and construction.

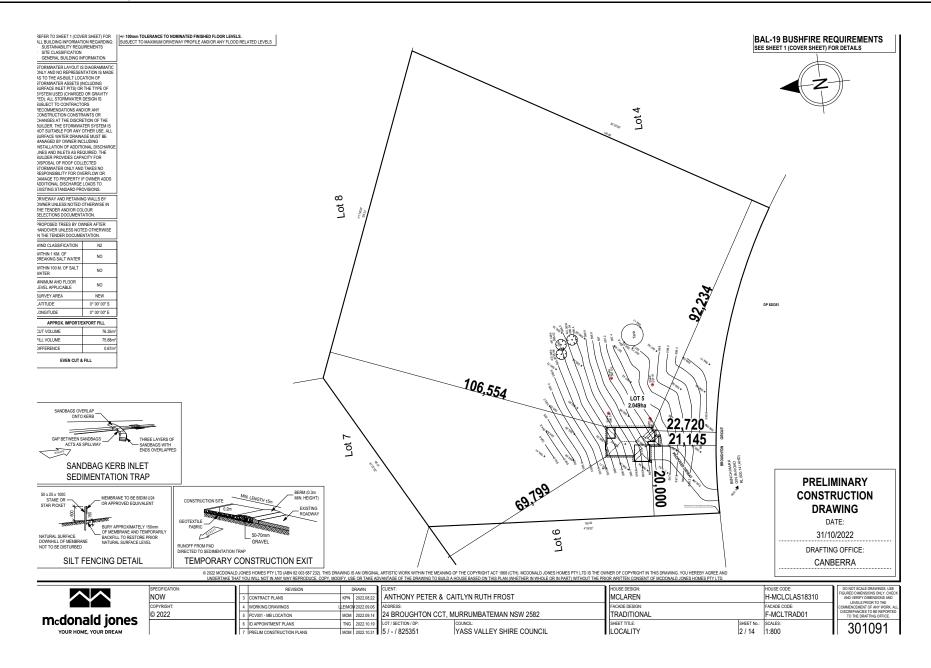
Stephen (Steve) Opper ESM Director Community Safety

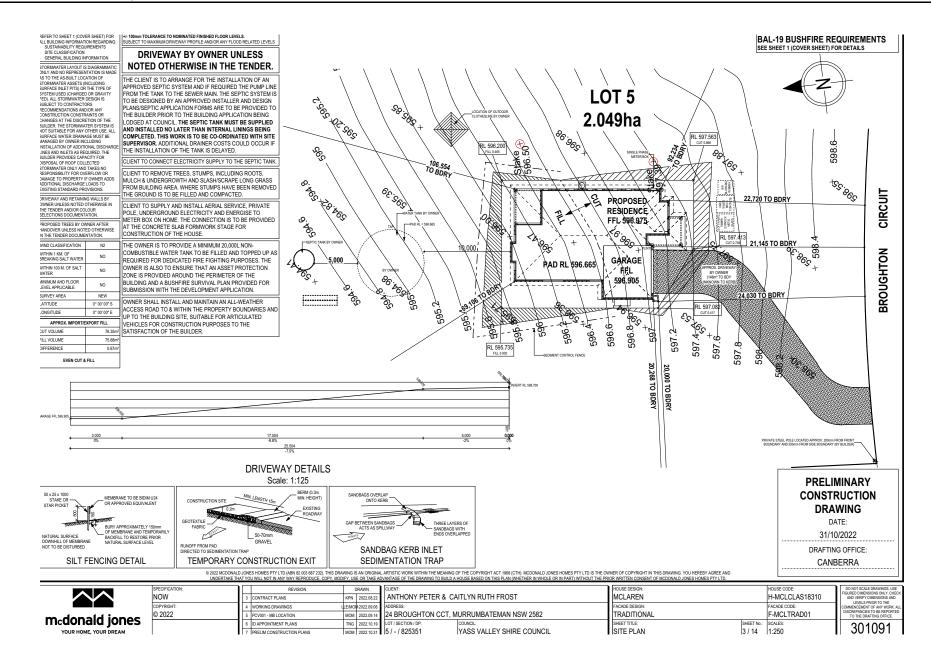
Developers Guide - Version 1.1 as at April 2013

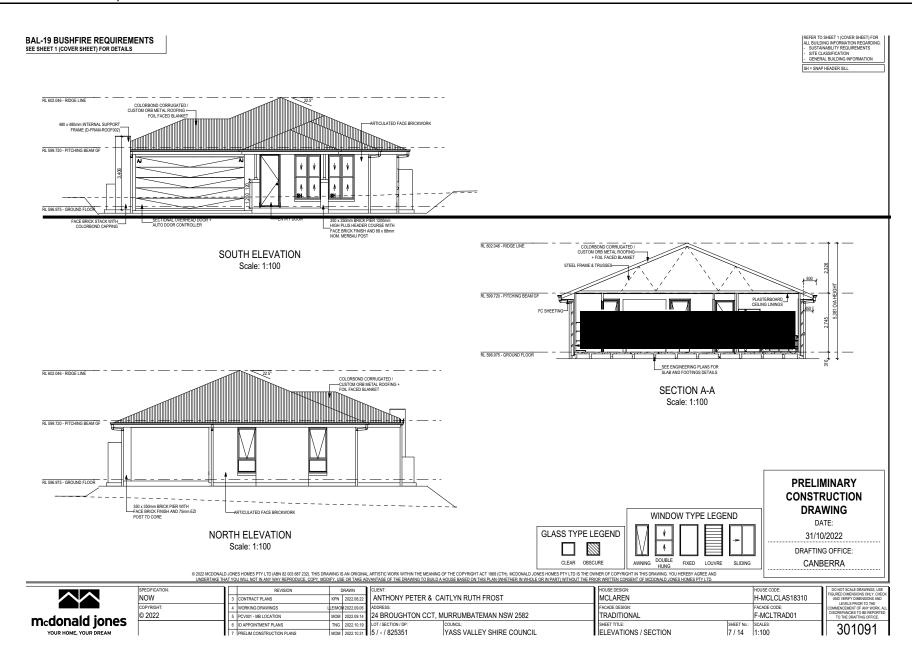
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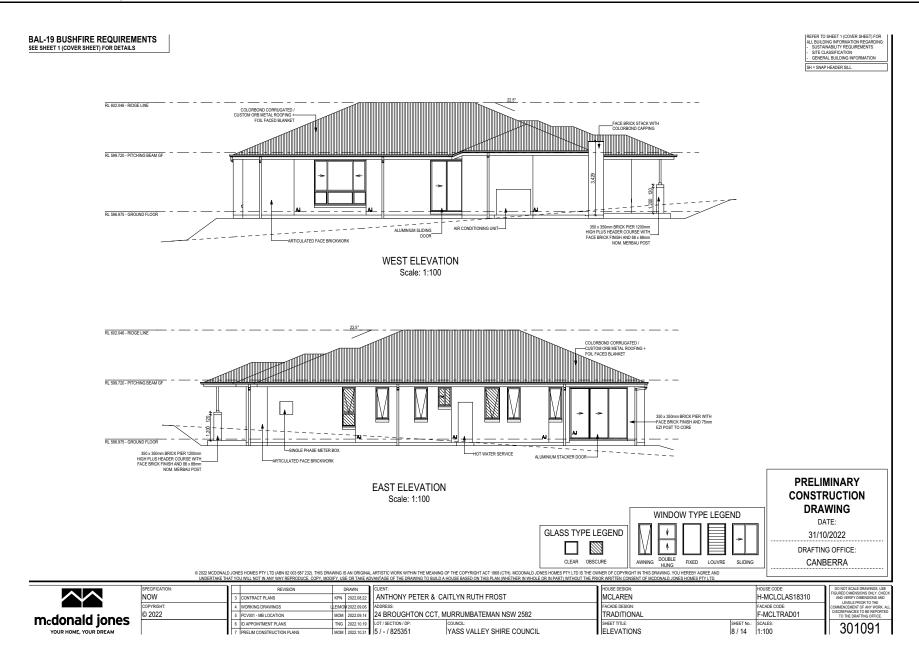












Submission 1

From:

Sent: Monday, 16 January 2023 9:41 AM

To: <u>YVC Customer Service Team</u>

Subject: Response to DA220304 in relation to 24 Broughton Circuit

Murrumbateman

[EXTERNAL] Please exercise caution when clicking on links or attachments from external sources.

Dear Yass Valley Council

We are the direct neighbours to this development application: DA220304 for 24 Broughton Circuit Murrumbateman to build an additional dual occupancy 3-bedroom house on this property.

Our address is and the proposed new house will be located next to us. We raise the following concerns for Yass Council to take into consideration:

- 1. We have an orchard comprising of approximately 25 established fruit trees. The position of the orchard is on the eastern side of our property which is in the same vicinity as the boundary fence to the new proposed dwelling. On the site plan in the On-site Wastewater Management Assessment, a 6-metre buffer to our land has been marked from where the new dwelling's wastewater will be released via a sprinkler system onto the ground. We are concerned that the moveable sprinklers from the wastewater may spray into our orchard or compromise trees and other vegetation on our land along this boundary.
- 2. Based on the current plans the position of the new dwelling does not appear to be an issue for us. We note a new 30,000 litre tank will be installed for water storage. We request that no water runoff from the new dwelling, or from the water storage tank overflow is directed to flow onto, or impact our property.
- 3. If any infrastructure in this proposal changes, we request that Yass Valley Council notify us immediately and provide us with an appropriate timeframe to respond. For example, if the position of the dwelling on the block changes or additional rooms are added to the plans etc.
- 4. We request that Yass Valley Council advise the owners of 24 Broughton Circuit Murrumbateman to ensure the building of the dwelling does not impact us. For example, that the builders do not park in front of our property, that noise will be kept to a minimum and there will be no encroachment of water, soil, building materials etc. onto our land.

Please notify us as to your decision in relation to item 1, and provide us with your acknowledgement of items 2, 3 and 4.

Thank you for the opportunity to respond.



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Submission 2

From:

Sent: Wednesday, 25 January 2023 2:56 PM

To: YVC Customer Service Team

Subject: DA220304 - 24

[EXTERNAL] Please exercise caution when clicking on links or attachments from external sources.

Good Afternoon

I am writing regarding the above DA and wish to express objections to its approval.

Whilst I note that the area of Broughton Circuit and Ambleside are zoned R5 which, along with the by law of the respective associations permits dual occupancy I do not believe that this application meets with the spirit of the rules.

The new property is located close to both the road and the boundary of the adjacent plot which puts it in close proximity to the neighbouring dwelling. It is clear that far from being dual family occupancy the new dwelling is as far as can be achieved from the current dwelling and gives the impression of the plot being sub divided by stealth.

The design of the new property is not in keeping with either the current dwelling or those elsewhere on the estate and is instead a "cookie cutter" design more suited to a modern estate like Fairly.

The proximity of the dwelling to next door gives me concerns regarding both noise and run off pollution as well as the impact of any septic tank that will be required.

The plans should be re drafted to make the dwelling more in keeping with the aesthetic of the estate as a whole and move it further from both No 26 and the road to lessen its visual impact.

Yours



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6.4	Development Application No DA220304 - Dual Occupancy, 24 Broughton Circuit, Murrumbateman Attachment C Submissions

Submission 3

From:

Sent: Wednesday, 25 January 2023 3:59 PM

To: <u>YVC Customer Service Team</u>

Subject: DA220304 24 Broughton Circuit Murrumabateman

[EXTERNAL] Please exercise caution when clicking on links or attachments from external sources.

To whom it may concern.

The following details are objections to the DA220304

The location and the MacDonald Jones' design of the proposed second dwelling for dual occupancy raises a number of concerns.

- 1. The site of the proposed 206m2 dwelling is abutted too close to the boundary fence line of the neighbouring property and too close to the road which is out of keeping with the estate aesthetics.
- 2. The McLaren 3 bedroom/Double Garage house is more akin to a cookie cutter housing estate dwelling which is not in keeping with the houses on the Ambleside estate.
- 3. The site of the proposed dwelling is the furthest away from the main residential dwelling and if granted permission will give the impression of a subdivision which is out keeping with the zoning on the estate which is currently at R5.
- 4. It will also give the impression of subdivision by stealth.
- 5. The Site Plan provided in the DA application is misleading as it does not show the location of the dwelling on 26 Broughton Circuit and nor does the plan show the site of the existing residence. Therefore in just providing the site of the second dwelling proposal the Applicant has not shown the true picture of the intended development.
- 6. The Ambleside Estate bylaws clearly state that the rural idyll is to be maintained and is to be considered at all times and I believe that by allowing this modern three bedroom house to be built at that location will detract from the acreage and idyll.
- 7. There are concerns about the proximity of the septic tank to next door at 26 Broughton Circuit.
- 8. Another concern is what is the overall residential combined lot area? My understanding that in total it can't be more than 500 m2 and so how big is the existing residence and has this been considered in the application?

In Conclusion

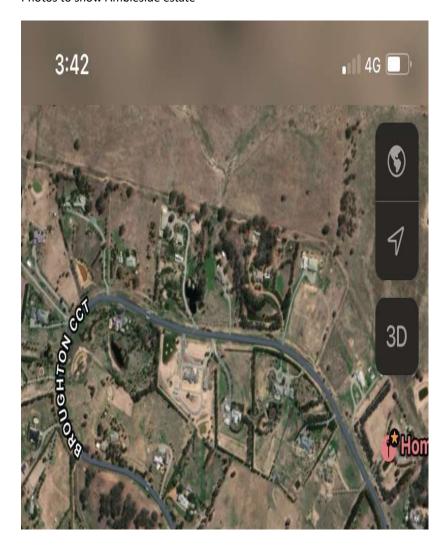
There is no objection to a second dwelling for dual occupancy to be built. However the Applicant has other options to build nearer behind the main dwelling or even in the rear right hand or left hand corner away from the road. The design of the house is nondescript and is not in keeping with the rural acreage residence on this estate.

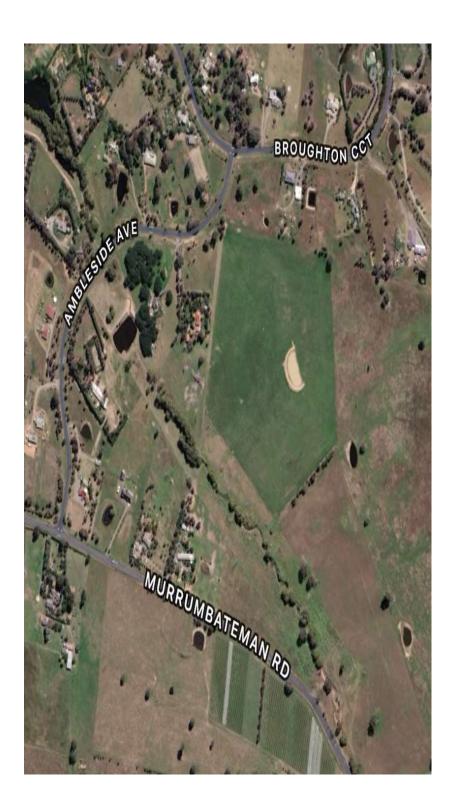
I believe that these points noted from 1 - 8, need to be reconsidered so as to preserve the Ambleside Estate aesthetics and to put building caveats in place to provide protection for the future of this area. If Yass Valley Council do not do this now then they will be aiding the downward spiral of ill conceived and inappropriate development for generations to come.

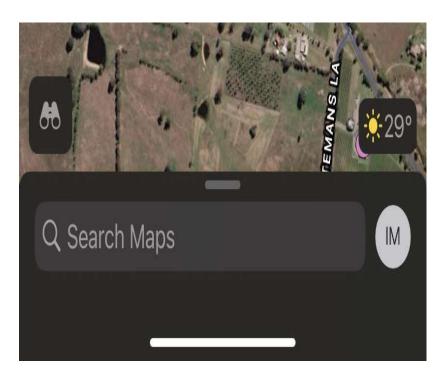
Kind regards

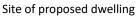


Photos to show Ambleside estate

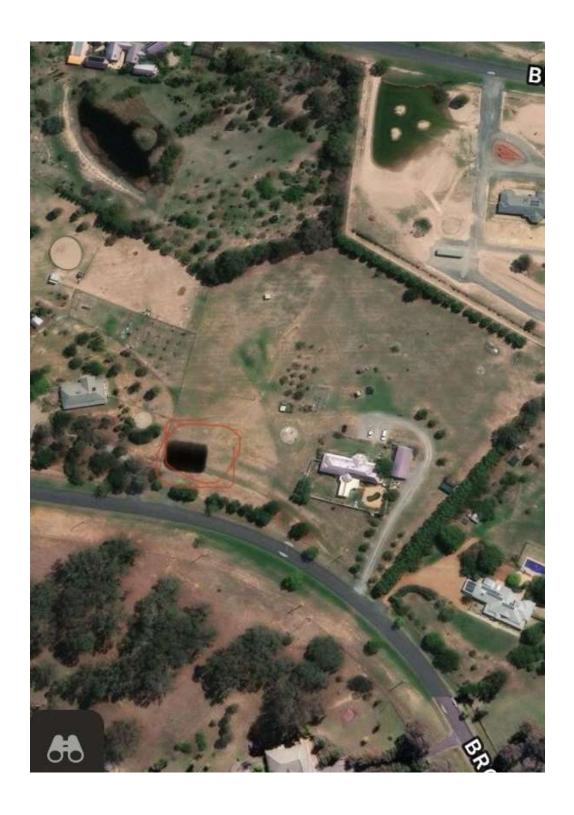


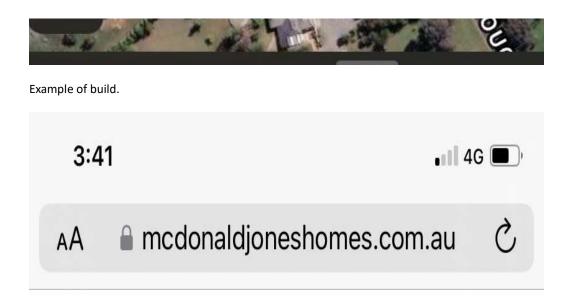








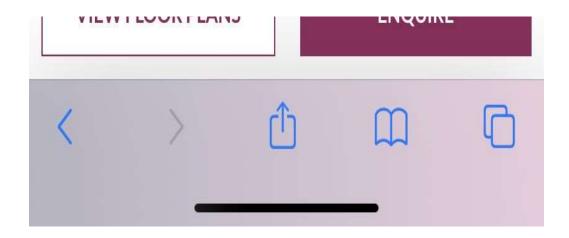












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Submission 4

From:

Sent: Tuesday, 24 January 2023 8:30 PM

To: YVC Customer Service Team
Cc:

Subject: DA 220304 - Broughton Crt Murrumbateman

[EXTERNAL] Please exercise caution when clicking on links or attachments from external sources.

Dear Sir / Madam

My concern with this development application is the 'proposed driveway' in the plans. The block has already been divided and fenced for the new building, a second gate installed, and a second driveway laid. It appears to be a pseudo 'sub-development. This may be acceptable for this one block in the estate but if every block decided to have multiple accesses from the main road, it would quickly spoil the rural lifestyle this estate offers.



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C NOISSIMIQUE

Submission to DA220304: Second dwelling



I have no objection to the proposal to build a second dwelling at 24 Broughton Circuit.

However, I have concerns about the location of the second dwelling on the site, that the resulting spacing between homes will be incongruent with the spacing between homes on the rest of the Ambleside Estate. The Ambleside by-laws state that the Estate's preference is to oppose any rezoning allowing sub-division. The site of the second dwelling will appear from the street frontage as though the property has been sub-divided. The comment being that if every owner on Ambleside Estate built a second dwelling in this manner, then to all intents and purpose the estate will look similar to Merryville Estate, which Ambleside Estate residents have consistently described that they are seeking to avoid. To prevent this, the second dwelling would be better situated to the rear of, or closer to, the existing house.

The chosen design is also out of keeping with other houses on the estate and appears to be more suited to a suburb of Canberra or Fairley Estate. The builder has houses on its website that are far more in keeping with the estate than the chosen house. As per my comment above, if everyone built a suburban style home on the Ambleside Estate then it will degrade the whole look and feel of its current zoning i.e. it is not a suburb.

Ambleside residents are concerned about the precedence this will set, particularly as the Ambleside by-laws state that the intent is to preserve the 'rural idyll' – this is possibly the start of a very slippery slope, out of keeping with the wishes of other estate owners.

In summary no problem with a second dwelling, however, prefer that it is re-sited to minimise a perception from the street frontage that the lot has been sub-divided, and to build a design that is more sympathetic to a rural setting.

Section 4.15 Assessment

1

Summary of Application

Development Application No.	DA220304
Type of Development	Local development
	LOT:5 DP:285351
Development Site	24 Broughton Circuit MURRUMBATEMAN
Description of Development	Dual occupancy

Integrated Development

2

Legislation	Yes	N/A
Coal Mine Subsidence Compensation Act 2017		1
s 22		•
Fisheries Management Act 1994		1
s 144, S201 S205. S219,		•
Heritage Act 1977		1
s 58		•
Mining Act 1992		✓
ss 63, 64		,
National Parks and Wildlife Act 1974		✓
s 90		,
Petroleum (Onshore) Act 1991		✓
s 16		,
Protection of the Environment Operations Act 1997		✓
ss 43(a), 47 and 55, ss 43(b), 48 and 55, ss 43(d), 55 and 122		,
Roads Act 1993		1
s 138		•
Rural Fires Act 1997		✓
s 100B		•
Water Management Act 2000		✓
ss 89, 90, 91		•

Comments

The development is not integrated development.

Section 4.15 - Matters for Consideration

3

Provisions of any environmental planning instrument

State Environmental Planning Policy (SEPP)

Where a SEPP is applicable to the proposed development, is the development:

- Consistent with the aims and objectives of the instrument
- Complies with development standards contained in the instrument
- Satisfies the requirements of the instrument
- Meets the relevant concurrence, consultation and/or referral requirements.

Comment

State Environmental Planning Policy (Resilience and Hazards) 2021

There are no known contamination issues, and the site is not identified on Council's contaminated land register.

State Environmental Planning Policy (Building Sustainability Index: Basix) 2004

Certificate supplied Number: 1349613S.

Local Environmental Plan (LEP)

In considering the provisions of the Yass Valley Local Environmental Plan 2013 (YVLEP), is the proposed development:

- Consistent with the aims and objectives of the plan
- Consistent with the aims and objectives of the land use zone
- Permissible in the land use zone
- Consistent with all relevant clauses within the LEP
- Complies with development standards in the LEP.

Comment

Below is an assessment of the application pursuant to the relevant clauses of the *Yass Valley Local Environmental Plan 2013*.

Clause 2.3 Zone and zone objectives	The land is zoned R5 Large Lot Residential and is generally consistent with the objectives of the zone.
Clause 2.3 Land Use Table	The proposed development is permitted with consent in the zone.
Clause 2.6 Subdivision consent requirements	N/A
Clause 2.8 Temporary use of land	N/A
Clause 4.1 Minimum subdivision lot size	N/A
Clause 4.1B Subdivision using average lot sizes	N/A
Clause 4.1C	N/A

	4
Additional requirements for subdivision in certain rural zones	
Clause 4.1D Minimum site areas for dual occupancies and multi dwelling housing in Zones R1, R2, R3 and RU5	N/A
Clause 4.2B Erection of dwelling houses and dual occupancies on land in certain rural and environment protection zones	N/A
Clause 4.3 Height of buildings	N/A
Clause 4.4 Floor space ratio	N/A
Clause 4.6 Exceptions to development standards	N/A
Clause 5.4 Controls relating to miscellaneous permissible uses	N/A
Clause 5.10 Heritage conservation	N/A
Clause 5.16 Subdivision of, or dwellings on, land in certain rural, residential or conservation zones	N/A
al	Not located within Council's flood mapping.
Clause 5.21 Flood planning	Negligible impact is anticipated as a result of the proposed development.
Clause 6.1 Earthworks	No issues have been raised as part of the assessment of this application - other than cut and fill required during construction, which can be dealt with via standard conditions.
Clause 6.3 Terrestrial biodiversity	The proposed development of the subject land will not clear greater than the permissible threshold level of 0.5ha of native vegetation. The proposed development will not have an adverse impact on the condition, ecological value or significance of the fauna and flora on the land.
Clause 6.4 Groundwater vulnerability	It is considered that the development meets the objectives of the clause to maintain the hydrological functions of key groundwater systems and to protect vulnerable groundwater

resources from depletion and contamination as a result of development.

The applicant is proposing to construct a single storey dwelling house and a consultant has proposed as Demostic Wastowater Borost

The applicant is proposing to construct a single storey dwelling house and a consultant has prepared a Domestic Wastewater Report confirming there is adequate available space for effluent disposal.

It is considered that the proposed development is designed, sited and will be managed to minimise the impact.

Clause 6.5 Riparian land and watercourses

Clause 6.6

Salinity

Clause 6.7 Highly erodible soils

Clause 6.8 Essential services It is considered that all essential services are available to service the proposal. An on-site sewer management system is also proposed.

N/A

Clause 6.9 Development within a designated N/A buffer area

Clause 6.10 Development on land intended to be acquired for Barton Highway duplication

Clause 6.12				
Developmen	t on	certain	land	in
Gundaroo a	and Si	ıtton in	R2 I	οw

Gundaroo and Sutton in R2 Low Density Residential

Other relevant clause

Proposed environmental planning instrument that is or has been subject of public consultation and has been notified to the consent authority

N/A

N/A

Primary Matters	Specific Consideration
Draft Environmental Planning	Where a draft environmental planning instrument is applicable to the proposed development, is the development: Consistent with the aims and objectives of the draft instrument
Instrument	 Complies with development standards contained in the draft instrument Satisfies the requirements of the draft instrument

Meets the relevant concurrence, consultation or referral requirements to address the provisions of the draft instrument

 Comment
 N/A

Any development control plan

Primary Matters	Specific Consideration
Development Control Plan (DCP)	Where a DCP is applicable to the proposed development, is the development: Consistent with the aims and objectives of the plan Satisfies the requirements of the DCP
Comment N/A	
Contributions Plans	Are contributions under the Yass Valley Developer Contribution Plan 2018 and/or the Yass Valley Heavy Haulage Contribution Plan 2021 applicable to the proposed development?
Comment N/A	

Planning agreement entered into or a developer has offered to enter into under ${\bf s7.4}$ of the Act

Primary Matters	Specific Consideration
Planning Agreement or Draft Planning Agreement	Details of Agreement
Comment N/A	

Prescribed Matters – Environmental Planning and Assessment Regulation

Primary Matters	Specific Consideration
Environmental Planning and Assessment	The following matters under the <i>Environmental Planning and Assessment Regulation 2021</i> have been considered: • complies with AS 2601 when demolition is involved

	7
Regulation 2021	 complies with the Category 1 fire safety provisions if a change of building use is involved has provision for compliance with the Building Code of Australia as amended if an building upgrade required has been accompanied by a compliant BASIX certificate where the development is BASIX affected.
	development is bronk uncered.

Comment

The proposal can comply with the National Construction Code/Building Code of Australia.

Likely impacts of the development including environmental impacts on both the natural and built environments, and social and economic impacts in the locality

Primary Matters	Specific Consideration
Context and setting	Context Compatibility of the development with: scenic qualities and features of the landscape character and amenity of the locality and streetscape scale (bulk, height, mass) form, character, density and design of development in the locality previous existing land uses and activities in the locality Setting Impact of the development on adjacent properties in terms of: the relationship and compatibility of adjacent land uses sunlight access (overshadowing) visual and acoustic privacy views and vistas
	edge conditions such as boundary treatments and fencing

Comment

The proposed single storey dual occupancy development is compatible with adjacent land uses. It will fit in with the character and amenity of the locality and streetscape.

Access, transport and traffic	Consideration of access, transport and traffic and the proposed development: The existing road network is capable of supporting the proposed development The proposed development complies with Council's Roads Standards Policy The volume of traffic generated as a result of the proposed development is unlikely to exceed the capacity of the local and
•	development is unlikely to exceed the capacity of the local and arterial road network • Public transport is available • A traffic management study was either not required to support the proposed development or was submitted an was considered satisfactory
	An adequate number of vehicle parking spaces have been provided

- On site car parking has provisions for compliance with relevant standards
- The proposed or existing location of vehicular access to the site is considered satisfactory

Comment

The site has 2 access points, one of which provides access to the existing dwelling house at the eastern end of the lot.

The access point at the western end of the lot will be the main access to the proposed dual occupancy and it was installed prior to obtaining Council approval. Both driveways require an upgrade to comply with current Council policy.

It recommended that a condition of consent be imposed requiring the new and existing property vehicular access be constructed/upgraded in accordance with Council's Road Standards Policy RD-POL-09.

Utilities

Consideration of utilities and the proposed development:

- Utilities are either existing and capable of supporting the proposed development or capable of being extended to service the site
- Where onsite sewage management is proposed it has been accompanied by a report prepared by an appropriate consultant demonstrating the suitability of the site for on-site effluent disposal

Comment

The proposed development will be serviced by an on-site sewer management system. A report has been supplied by 5QS Consulting Group and is considered satisfactory.

All other services are capable of being extended to the proposed development.

Heritage

Impact of the proposed development on heritage significance of the site, adjacent properties and/or a heritage conservation area:

- Consideration of impact on items, landscapes, areas, places, relics and practices
- Consideration of the historic, scientific, social, aesthetic, cultural, archaeological (both Aboriginal and non-Aboriginal) values of the site

Comment

The site is not within a heritage conservation area and does not contain a heritage listed item.

Water

Impact of the proposed development on conservation of water:

- water supply sources
- treatment, reuse and disposal of waste water and runoff
- drainage, flow regimes, flooding on-site, up and downstream and in the catchment flood plain
- groundwater tables

Comment

As conditioned, the proposed development will not have any detrimental effects to groundwater or riparian land.

Impact of the development on soils:

soil qualities - erodibility, permeability, expansion/contraction,

• instability - subsidence, slip, mass movement

• the movement, formation, use and management of soils

fertility/productivity, salinity, sodicity, acidity, contaminants

- soil erosion and degradation
- remediation of contaminated soils

Comment

Soils

As conditioned, the proposed development will not have any detrimental effects to the soils on the subject land.

Air and Microclimate

Impact of the development on air quality and microclimatic conditions in terms of emissions of dust, particulates, odours, fumes, gases and pollutants.

Comment

The dual occupancy is proposed to be used and intended for residential purposes and as such there will be no adverse impact on air quality.

Impact of the proposed development on:

- wilderness areas and national parks
- wildlife corridors and remnant vegetation
- the relationship of vegetation to soil erosion/stability and the water cycle
- weeds, feral animal activity, vermin and disease

Flora and Fauna

Outcomes of an assessment under the *Biodiversity Conservation Act 2016* considers:

- whether the development will result in serious and irreversible impacts
- whether a BDAR is required
- where a BDAR is required, whether it is considered satisfactory

Comment

The provisions of the Biodiversity Conservation Act 2016 apply to this application. In this instance the submission of a BDAR was not required as:

- Development does not involve clearing of 1ha or more of native vegetation.
- Does not involve clearing of native vegetation on land identified on the Biodiversity Values Map.
- Will not have an impact on threatened species or ecosystems which exceeds the test of significance.

No additional matters other than those discussed elsewhere in this assessment.

Waste

Impact of the proposed development on waste:

- solid, liquid and gaseous wastes and litter
- the generation, collection, storage and disposal of waste

Comment

Waste during construction works can be suitably managed and reinforced through appropriate conditions of consent.

Impact of the proposed development on energy:

- the overall energy needs of the development
- the measures employed to save energy passive design, solar lighting and heating, natural ventilation, shading elements, insulation, high thermal mass building materials, energy efficient appliances and machinery
- the use of renewable and non-polluting energy sources?
- energy needs in producing building/structural materials?
- energy use by-products and waste

Where relevant the development also complies with the Building Sustainability Index (BASIX).

Comment

Energy

A BASIX Certificate has been submitted: Certificate number 1349613S.

Noise and Vibration

Whether the development has potential to generate noise pollution or vibration including during construction and potential impacts.

Comment

The proposed development is intended for residential purposes and as such it is envisaged noise will be within normal domestic limits.

Natural Hazards -Geological

Risks to people, property and the physical environment as a result of geologic/soil instability - subsidence, slip, mass movement has been considered.

Comment

N/A

Where the development is located on land identified as flood affected: $\label{eq:control_eq} % \begin{subarray}{ll} \end{subarray} \begi$

Natural Hazards -Flooding

- Compliance with the relevant Flood Risk Management Plan in accordance with the information submitted with the application or
- The addition of conditions which require compliance with the relevant Flood Risk Management Plan or the Building Code of Australia.

Comment

N/A

Where the development is located on land identified as bushfire prone:

Natural Hazards -Bushfire

- Compliance with Planning for Bushfire Protection 2019 (however in accordance with s.8.3.2 of *Planning for Bushfire Protection 2019* there are no bushfire protection requirements for <u>class 10a buildings</u> <u>located more than 6 metres from a dwelling</u> in bushfire prone areas); or
- If it is integrated development it has been referred to the RFS in accordance with s100B Rural Fires Act 1997.

Comment

The site is mapped as being bushfire prone, containing remnants of native grasses and nearby fragmented trees. The proposed development is considered acceptable in terms of bushfire risk subject to conditions.

Technological Hazards

Does the development present risks from:

- industrial and technological hazards
- land contamination and remediation

Where potential land contamination has been identified an assessment must be provided determining whether the:

- The contamination is likely to be low and does not warrant remediation as the proposed land use is not sensitive, or
- The land is not contaminated, or
- The land is contaminated and remediation is proposed prior to the proposed use

Comment

N/A

Safety, Security and Crime Prevention

The assessment must determine whether adequate measures are included to address the potential for accident / injury and criminal activity.

Comment

N/A

Social impact in the locality

Whether the development is likely to have social benefits in the locality in terms of:

- community facilities and links
- the interaction between the new development and the community

Comment

The proposed dual occupancy development will have a positive social impact in the Murrumbateman locality.

Economic impact in the locality

Whether the development is likely to have economic benefits in terms of:

- employment generation
- economic income
- generating benefits for existing and future businesses

Comment

The proposed dual occupancy development will have a positive economic impact in the Murrumbateman locality.

Site and internal design

The development is generally sensitive to environmental conditions and site attributes including:

- the size, shape and design of allotments, easements and roads
- the proportion of the site covered by buildings

- the positioning of buildings
- the size (bulk, height, mass), form, appearance and design of buildings
- the amount, location, design, use and management of private and communal open space
- landscaping

The development is unlikely to affect the health and safety of the occupants in terms of:

- inadequate lighting, ventilation and insulation
- inadequate building fire risk prevention and suppression
- inappropriate building materials and finishes
- inappropriate common wall structure and design
- lack of access and facilities for the disabled

Comment

Refer to comments in the Council report regarding the setbacks for the proposed development.

Construction

- The proposed development has provision for compliance with the Building Code of Australia (as amended) and relevant Australian standards
- The impacts of construction activities can be managed and suitable conditions have been included in the development consent.

Comment

No issues are raised and suitable conditions have been included.

The suitability of the site for the development

Primary Matters	Specific Consideration
Compatibility with existing development in the locality	 The proposal is compatible with existing development in the locality as: Utilities and services available to the site are adequate for the development The development will not lead to unmanageable transport demands Transport facilities are adequate in the area The locality contains adequate recreational opportunities and public spaces to meet the needs of the development The air quality and microclimate are appropriate for the development No hazardous land uses or activities nearby Ambient noise levels are suitable for the development The site is not critical to the water cycle in the catchment The proposal is compatible with the existing built environment

Comment

Concern has been raised that the single storey designed dual occupancy is out of character with other existing development in Broughton Circuit. Examination of the plans and schedule of finishes, indicates that the proposal is consistent with other approvals granted for such development in the locality. Being single storey in height, no adverse visual impacts

will result if consent is granted. The proposal also complies with all applicable development

controls which set no limits for the size of a dual occupancy. The subject site is conducive with the proposed development as: The site is suitable for the proposed development The site is either not subject to natural hazards including flooding, tidal inundation, subsidence, slip, mass movement, and bushfires or where it is these risks have been adequately managed The slope of the land is suitable for the proposed development The proposal is compatible with conserving the heritage significance Site of the site conduciveness The soil characteristics on the site is appropriate for development to the (Saline / Sodic / Acidic) development The development is compatible with protecting any critical habitats or threatened species, populations, ecological communities on the The site is not prime agricultural land and the development will not unduly prejudice future agricultural production The development will not unduly prejudice the future use of the site Cut and fill is a suitable development option for the site

Comment

No issues have been identified as part of the assessment of this application.

Any submissions made in accordance with this Act of the regulations

Primary Matters	Specific Consideration	
Public Submissions	Community consultation was undertaken in accordance with Council's Community Engagement Strategy. Where submissions have been received, the issues raised have been considered and are summarised in the comments below.	
Refer to the Coun	cil report.	
Submissions from Public Authorities	Where relevant submissions received from Government or Public Authorities have been considered with any issues raised being resolved, addressed by conditions of consent/general terms of approval or are considered not relevant to the development	
Comment		
N/A		

The public interest

Primary Matters	Specific Consideration
--------------------	------------------------

Government and community interests have been considered and are satisfied as:

Government (Federal, State and Local) and Community Interests

- The proposed development complies with the Council Policies identified as applicable in the <u>schedule below</u>. Where a variation to this policy has been supported details have been included in the comments.
- The proposed development is generally consistent with any relevant planning studies and strategies
- Covenants not imposed by council have been set aside for the purpose of this assessment
- The proposal generally complies with all other covenants, easements, restrictions and agreements that have an bearing on the proposal
- Issues raised in public meetings and inquiries have been considered.
 Where relevant more detail has been provided under the heading public submissions.
- It is unlikely that the development will have a detrimental effect on the health and safety of the public

Comment

The application achieves general compliance as shown below:

	Policy	Code	Applicable	
	Building Line – Rural and Residential Land	DA-POL-8	No	
	Building Line – Urban	DA-POL-4	N/A	
	Building Over Sewer Mains	SEW-POL-1	N/A	
	Development Assessment and Decision Making	DA-POL-18	Yes	
	Filling Policy	DA-CP-22	N/A	
Council Policies	Holiday Cabins – Micalong Creek Subdivision	DA-POL-3	N/A	
	Kerb and Gutter Construction	ENG-POL-4	N/A	
	Non-Urban Fencing	DA-POL-12	N/A	
	Off-Street Car Parking	ENG-POL-8	N/A	
	Provision of Electricity Supply and Telecommunications Service for Subdivisions	DA-POL-17	N/A	
	Road Naming	RD-POL-6	N/A	
	Road Standards	RD-POL-9	Yes	
	Temporary Accommodation	DA-POL-2	N/A	

Truck and Transport Depots in Rural Areas	DA-POL-11	N/A
Water Supply in Rural Areas and Villages	WS-POL-2	N/A

Comment

Building Line – Rural and Residential Land

Refer to comments in the Council report.

Development Assessment and Decision Making

Application is referred to Council due to the number of submissions received. Refer to the Council report regarding the issues raised in the submissions.

Road Standards

Refer to comments in the Council report.



Hunter. North Coast. South Coast. Sydney. Canberra.

Yass Valley Shire Council

22nd December 2022

ADDRESS: Lot 5 (24) Broughton Circuit Murrumbateman NSW 2582

OUR REFERENCE: 301091/Frost

RE: Variation to the DCP - Non-Compliant Front Setback

To Whom it may concern,

I write to you in relation to our recently submitted Development application for Lot 5 (24) Broughton Circuit, Murrumbateman, NSW 2582 and in relation to the non-compliance of the front setback with the Yass Valley Shire Development Control Plan. We provide justification for the non-compliance of the front setback below.

The control being varied

The proposal includes a front setback that seek departure from Yass Valley Council's Development Control Plan in relation to the minimum front setback for this block size & type being 30m – (Rural Residential Between 1ha-5ha)

The extent of the proposed variation and the unique circumstances as to why the variation is requested:

Whilst the proposed garage does not strictly comply with the requirement to have the *front setback to the dwelling be 30m for blocks between 1ha and 5ha* it is noted that it has still been sited in a way that will not inhibit on the surrounding character of the community whilst also meeting the requirements of the land owner and providing an attractive, architecturally designed home.

Demonstrate how the objectives are met with the proposed variations

The 21.145m setback will remain as part of the proposal to maintain the minimum setbacks and buffer distances to the septic tank, disposal systems and water tank. As per the Onsite Wastewater management assessment completed by 5QS Consulting Group, it is recommended that the effluent disposal area is set a minimum of 15.0m away from dwellings and structures, including water tanks. This dimension sets the requirement for the distance of the disposal area away from the water tank, which also is required to be a minimum of 10.0m away from the dwelling so as to not have any effect on the structural integrity of the footings of the proposed house slab as well as achieving adequate fall to the water tank. The water tank has been setback behind the building so as to not provide a visually un-appealing view of the water tank from the street which would inhibit on the character of the local area.

Positioning the tank behind the dwelling to obstruct its view, as well as the required minimum buffer distances to the effluent disposal area has resulted in the minimum front setback being reduced by 8.855m from the minimum set out in the DCP. Due to these reasons we are unable to position the dwelling at the required 30.0m setback, doing so may create health issues for the owner/tenant living in the property while also creating structural issues related to undermining and weakening of the footings of the proposed dwelling.

While this may not be strictly compliant with the Yass Valley DCP, we believe it provides the best outcome to provide an attractive, architecturally designed home that fits within and does not detract from of the character of the surrounding

We hope that this variation will be considered favourably and look forward to the determination of this DA.

Yours Sincerely,

Mcdonald Jones Homes

142 Lake Entrance Road, Oak Flats NSW 2529 PO Box 275, Oak Flats NSW 2529 *t* 02 4230 6800 *f* 02 4257 9652 1300 555 382 mcdonaldjoneshomes.com.au

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NSW: Newcastle Quality Constructions Pty Ltd ABN 82 003 687 232

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CONDITIONS OF CONSENT

Part A General Conditions

- Consent is granted generally in accordance with the plans and details submitted to Yass Valley Council (Council) with the Development Application. The plans and details have been stamped and attached to this consent. The development must be carried out in accordance with the stamped plans or as modified by these conditions.
- 2. Work must not commence until a Construction Certificate has been issued.

The conditions in Part B of this consent must be satisfied before a Construction Certificate can be issued.

If Council is the Principal Certifier the Construction Certificate application must be lodged on the NSW Planning Portal.

The Construction Certificate certifies that work completed in accordance with approved plans, specifications and/or standards will comply with the relevant requirements of the following:

- Environmental Planning and Assessment Act 1979 (EP&A Act)
- Environmental Planning and Regulation 2000 (EP&A Regulation)
- National Construction Code/Building Code of Australia (NCC/BCA)
- Council policies
- This approval relates only to the development referred to in the Development Application and does not approve or accept any works or buildings already erected on the land, whether or not those works or buildings are the subject of a prior approval.
- The capacity and effectiveness of runoff and erosion control measures, including techniques to suppress dust and the tracking of sediment onto existing sealed roads, must be maintained at all times to the satisfaction of Council.
- **5.** All adjustments to existing utility services, whether caused directly or indirectly by the approved development, must be undertaken at no cost to Council.
- **6.** The removal of trees from the site is restricted to the area occupied by the building and paved surfaces only, unless specific approval is obtained from Council.
- **7.** Colours and external materials must be compatible with those of existing development in the locality.

Zincalume is not permitted to be used for roof or wall panels.

- **8.** All engineering design and construction work must be undertaken in accordance with the following, current at the time of the Construction Certificate being issued:
 - Council's Road Standards Policy RD-POL-09
 - Council's Design and Construction Specification AUS-SPEC #1
 - Australian Standards.

Part B Before the issue of a Construction Certificate

9. An <u>Application for a Construction Certificate</u> must be lodged with the Principal Certifier.

If Council is the Principal Certifier the application must be lodged on the NSW Planning Portal.

10. In accordance with <u>s.7.12 EP&A Act</u> and the <u>Yass Valley Development Contributions Plan</u> <u>2018</u>, a monetary contribution must be paid to Council if the proposed cost of carrying out the development exceeds \$100,000.

The cost of carrying out development is to be determined by adding up all the costs and expenses that have been or are to be incurred by the applicant in carrying out the development, including the following (as applicable to the development):

- Materials and labour required for the erection of building/s
- Materials and labour for the internal fit out of all buildings
- Demolition works
- Excavation and site preparation including earthworks for access construction
- Driveway construction/upgrade
- Water, sewer and stormwater infrastructure

The contribution rate is determined in accordance with the table below:

Proposed cost of carrying out the development	Contribution Rate			
Up to and including \$100,000	Nil			
More than \$100,000 and up to and including \$200,000	0.5% of that cost			
More than \$200,000	1% of that cost			

The contribution plan may be viewed on Council's <u>website</u> or at the Council Office, located at 209 Comur Street, Yass.

A quote or invoice, prepared by a suitably qualified builder or quantity surveyor, detailing the total cost of labour and materials involved in the approved development must be submitted to Council.

The cost of carrying out development is to be determined by adding up all the costs and expenses that have been or are to be incurred by the applicant in carrying out the development, including the following (as applicable to the development):

- Materials and labour required for the erection of building/s
- Materials and labour for the internal fit out of all buildings
- Demolition works
- Excavation and site preparation including earthworks for access construction
- Driveway construction/upgrade
- Water, sewer and stormwater infrastructure

If the total cost of works exceeds the amount specified in the Development Application, additional fees must be paid to Council.

12. The following information is required to be submitted to the Principal Certifier:

Cost of works	Required information					
Up to and including \$10,000	Licensed contractor's details or Owner builder declaration					
More than \$10,000	Licensed contractor's details or Owner builder permit					
More than \$20,000	Certificate of Insurance under the Home Building Compensation Fund (organised with licensed contractor) or Owner Builder Permit					

- 13. A report prepared by a suitably qualified professional, stating the soil classification of the site as required by AS 2870 Residential Slabs and Footings must be submitted to the Principal Certifier.
- **14.** Structural drawings, prepared by a suitably qualified and experienced structural engineer, must be submitted to the Principal Certifier.

The plans must detail (as applicable to the development):

- (a) All reinforced concrete floor slabs and/or beams or raft slab, having regard to the possible differential settlement of the cut and fill areas
- (b) Footings of the proposed structure/s
- (c) Structural steel wall frames, roof framing members, beams, columns, bearers, joists and wall/roof bracing and
- (d) Retaining walls greater than 600mm in height
- (e) If footings are located adjacent to an existing sewer main
- **15.** Plans which include all BASIX commitments must be submitted to the Principal Certifier.
- 16. A revised site plan must be submitted to Council that indicates minimum buffer distances from the On Site Sewage Management Facility are achieved, in accordance with the following:
 - (a) System refer condition in 'On Site Sewage Management Facility' section of this consent.
 - (b) **Disposal Area** refer approved on-site effluent disposal report.
- 17. Plans and details must be submitted to the Principal Certifier demonstrating compliance with construction requirements specified in *AS 3959:2018 Construction of Buildings in Bushfire Prone Areas,* for Bushfire Attack Level (BAL):
 - Roof and sub floor = BAL 19
 - Southern, western and northern elevations = BAL 19
 - Eastern elevation = BAL 12.5
- **18.** Plans and details demonstrating compliance with the NCC/BCA must be submitted to the Principal Certifier.

Part C Before the commencement of building works

- **19.** Council must be informed of the following, no later than two days prior to works commencing:
 - Name and details of the Principal Certifier (<u>Form 214</u> to be submitted if Council is the Principal Certifier) and
 - Date construction work is proposed to commence (<u>Form 131</u> to be submitted). If Council is the Principal Certifier the above forms must be lodged with your Construction Certificate application on the NSW Planning Portal.
- **20.** A garbage receptacle must be provided at the work site before works commence and must be maintained until the works are completed.

The garbage receptacle must have a tight fitting lid and be suitable for the reception of food scraps and papers.

- **21.** Run-off and erosion control measures must be implemented to prevent soil erosion, water pollution or the discharge of loose sediment on surrounding land by:
 - (a) diverting uncontaminated run-off around cleared or disturbed areas and
 - (b) erecting a silt fence and providing any other necessary sediment control measures that will prevent debris escaping into drainage systems, waterways or adjoining properties and
 - (c) preventing the tracking of sediment by vehicles onto roads and
 - (d) stockpiling top soil, excavated materials, construction and landscaping supplies and debris within the lot.
- **22.** A sign must be erected in a prominent position on the site which indicates:
 - (a) the name, address and telephone number of the Principal Certifier for the work, and
 - (b) the name and after-hours contact phone number of the principal contractor (if any) for any building work, and
 - (c) unauthorised entry to the site is prohibited.

This sign must be maintained while work is being carried out and must be removed upon completion of the work.

- **23.** Hoarding or temporary construction site fence must be erected between the site and adjoining properties, if the works:
 - (a) could cause a danger, obstruction or inconvenience to the public, pedestrian and/or vehicular traffic, or
 - (b) could cause damage to adjoining lands by falling objects, or
 - (c) involve the enclosure of a public place or part of a public place.

The hoarding or temporary construction site fence must be erected before works commence and be removed immediately after the work in relation to which it was erected has finished, if no safety issue will arise from its removal.

Toilet facilities must be available or provided at the work site before works commence and must be maintained until the works are completed.

The toilets must be provided in accordance with the following:

- (a) at a ratio of one toilet plus one additional toilet for every 20 persons employed at the site and
- (b) be a standard flushing toilet connected to a public sewer or
- (c) be connected to an on-site effluent disposal system approved under the *Local Government Act 1993* or
- (d) be a temporary chemical closet approved under the *Local Government Act 1993*.
- **25.** The building/s must be set out by a registered surveyor to verify the correct position of each structure in relation to property boundaries.

Evidence that the building/s were set-out and have been located in accordance with the approved plans must be submitted to the Principal Certifier or Council upon request.

- Any contractor undertaking works in an existing Council road reserve must submit the following details to Council, no later than three days prior to work commencing:
 - A current public liability certificate with a minimum cover of \$20 million
 - Current plant / vehicle insurances
 - A certified traffic control plan for the proposed works
- 27. In accordance with the *Plumbing and Drainage Act 2011*, each plumber and drainer that works on the development must submit to Council a <u>Notice of Work</u> (Form 11) notifying Council of their intention to carry out works.

The minimum amount of notice under this Act is two business days.

Tree Protection Measures

- **28.** The trunk of each of the following trees must be provided with a tree guard, as detailed below:
 - (a) each tree that is within 6m of a dwelling house or any ancillary development that is to be constructed and
 - (b) each protected tree that is within 10m of a dwelling house or any ancillary development that is to be constructed.

Tree guards must be constructed of hardwood timber panels that are:

- (a) minimum length of 2m
- (b) minimum width of 75mm
- (c) minimum thickness of 25mm
- (d) secured (not permanently fixed or nailed) to the tree
- (e) spaced a maximum of 80mm apart.
- **29.** Each protected tree that is within 6m of a dwelling house, outbuilding or swimming pool must have a fence or barrier that is erected:
 - (a) around its tree protection zone, as defined by section 3.2 of AS 4970:2009 Protection of trees on development sites, and
 - (b) in accordance with section 4 of AS 4970:2009 Protection of trees on development sites.

- **30.** The applicant must ensure that:
 - (a) the activities listed in s.4.2 of AS 4970:2009 Protection of trees on development sites do not occur within the tree protection zone of any tree on the lot or any tree on an adjoining lot, and
 - (b) any temporary access to, or location of scaffolding within the tree protection zone of a protected tree or any other tree to be retained on the lot during construction, is undertaken using the protection measures specified in sections 4.5.3 and 4.5.6 of AS 4970:2009 Protection of trees on development sites.
- **31.** The tree protection measures specified in this consent must:
 - (a) be in place before work commences on the lot
 - (b) be maintained in good condition during the construction period and
 - (c) remain in place for the duration of the construction works.
- **32.** A separate permit or development consent may be required if the branches or roots of a protected tree on the lot or on an adjoining lot are required to be pruned or removed.

Part D While building works are being carried out

Environmental Heritage

- **33.** If an Archaeology object is discovered during the course of work:
 - (a) All work must stop immediately and
 - (b) The *Department of Planning, Industry and Environment* must be advised of the discovery.

Depending on the significance of the object, an archaeological assessment and excavation permit issued under the *Heritage Act 1997*, may be required before work can continue.

- **34.** If an Aboriginal object (including evidence of habitation or remains) is discovered during the course of work:
 - (a) All must stop immediately and
 - (b) The Department of Planning, Industry and Environment must be advised of the discovery in accordance with s.89A National Parks and Wildlife Act 1974.

Depending on the nature of the discovery, an Aboriginal Heritage Impact Permit issued under the *National Parks and Wildlife Act 1974*, may be required before work can continue.

- **35.** The development must comply with s.7 of <u>Planning for Bushfire Protection 2019</u>, as applicable to the development.
- 36. New construction is to comply with s.7 of Planning for Bushfire Protection 2019. In this regard the following design standards for construction are to be incorporated into the development:
 - (a) New construction shall comply with AS 3959:2018 Construction of Buildings in Bushfire Prone Area:
 - Roof and sub floor = BAL 19
 - Southern, western and northern elevations = BAL 19

Eastern elevation = BAL 12.5

Roofing shall have leafless guttering (gutter guard) to prevent the build-up of flammable material. Any materials used shall have a Flammability Index no greater than 5.

37. At the commencement of building works and in perpetuity, the property around the asset shall be managed as an Asset Protection Zone in accordance with the Bush Protection Assessment Report prepared by Ecological Australia dated 27 June 2022 as outlined within Planning for Bushfire Protection 2019.

Earthworks, Internal Driveways and Importation of Material

- **38.** Earthworks, internal driveways and the importation of associated material is restricted to that which can be undertaken as exempt development under the provisions of *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008*, unless otherwise approved by a condition of this consent or the stamped approved plans.
- **39.** Any earthworks, including any structural support or other related structure for the purposes of the development:
 - (a) must not cause danger to life or property or damage to any adjoining building or structure on the lot or to any building or structure on any adjoining lot and
 - (b) must not redirect the flow of any surface or ground water or cause sediment to be transported onto an adjoining property and
 - (c) that is fill brought to the site must contain only virgin excavated natural material (VENM) as defined in <u>Part 3 of Schedule 1</u> to the *Protection of the Environment Operations Act 1997* and
 - (d) that is excavated soil to be removed from the site must be disposed of in accordance with any requirements under the *Protection of the Environment Operations (Waste) Regulation 2005.*
- **40.** Any excavation must be carried out in accordance with Safe Work Australia's <u>Excavation</u> <u>Work: Code of Practice</u>, published 26 October 2018.
- **41.** The internal driveway must be constructed as follows, unless otherwise approved by Council in writing:
 - (a) Minimum pavement width 3 metres
 - (b) Maximum pavement width 4.5 metres
 - (c) Maximum height 300mm above existing ground levels.
- **42.** Material imported to the site must be suitable for the proposed application and be:
 - (a) Sourced from a suitably licensed facility (i.e. landscaping supplies or quarry operation) or
 - (b) <u>VENM</u> as defined in the *Protection of the Environment Operations Act 1997*.

Documentation demonstrating compliance with this condition must be provided to Council upon request.

- **43.** Heavy vehicle movements associated with the delivery of material to the site are restricted as follows:
 - (a) A maximum of 6 movements per day (1 movement = in and out of the site)

- (b) No movements on weekends or public holidays
- (c) Movements must occur between 7am and 6pm.

Inspections

To arrange a building or plumbing inspection with Council please use the on-line booking system on Council's website: yassvalley.nsw.gov.au Our Services > Planning and Building > Certification and lnspections > Inspections.

44. Critical stage inspections must be carried out by the Principal Certifier, as required by s.162A of the EP&A Regulation.

If Council is nominated as the Principal Certifier, inspections <u>must</u> be undertaken at the following stages of construction (as applicable to the development):

	Inspection	Hold Point				
(a)	After excavation of footings	Prior to pouring concrete, after placement of erosion and sediment control measures, on-site toilet and signage				
(b)	Floor slab	Prior to pouring concrete				
(c)	Frame/Pre-sheet	Prior to placing internal sheeting, after all internal services including water plumbing and electrical are installed and external cladding has been fixed				
(d)	Waterproofing of wet areas	Prior to the placement of tiling and/or covering				
(e)	Stormwater	Prior to backfilling or covering pipes and connections to services				
(f)	Final	All works relating to the proposed development are complete and all conditions of development consent are complied with.				

45. As the local plumbing and drainage regulator Council must undertake inspections at the following stages of construction:

Inspection	Hold Point
(a) All internal sanitary drainage	Prior to backfill
(b) All external sanitary drainage	Prior to backfill
(c) Subsurface land application area and/o surface drip line	r Prior to backfill or covering
(d) Inspection prior to use of the system	At point of commissioning of the system
(e) At the completion of all plumbing and drainage works	Prior to occupation of the structure

46. As the local road authority Council must undertake inspections at the following stages of construction:

Inspection	Hold Point
(a) Vehicular access	Upon completion of the vehicular access and prior to the occupation or use of the development.

- 47. Upon inspection of each stage of construction, the Principal Certifier is required to ensure that adequate provisions are made for the following measures (as applicable):
 - (a) Run-off and erosion control
 - (b) Provision of perimeter fence, hoarding or temporary construction site fence for public safety and restricted access to building sites
 - (c) Maintenance of the public place free from any unauthorised materials, waste containers or other obstructions.
- **48.** Roof truss and wall bracing details are to be supplied to the Principal Certifier prior to frame inspection.

Construction

- **49.** Work must be carried out in accordance with the plans and specifications to which the consent relates.
- **50.** All building work must be carried out in accordance with the provisions of the NCC/BCA and all relevant Australian Standards.
- Construction may only be carried out between 7.00 am and 5.00 pm on Monday to Saturday. No construction is to be carried out at any time on a Sunday or a public holiday.
- **52.** All materials and equipment must be stored wholly within the work site unless an approval to store them elsewhere is held.
- Waste materials (including excavation, demolition and construction waste materials) must be managed on the site and disposed of at a waste management facility.
 - Copies of receipts relating to the disposal of waste at a licensed waste management facility must be submitted to Council upon request.
- Any run-off and erosion control measures required must be maintained within their operating capacity until the completion of the works to prevent debris escaping from the site into drainage systems, waterways, adjoining properties and roads.
- **55.** During construction:
 - (a) all vehicles entering or leaving the site must have their loads covered, and
 - (b) all vehicles, before leaving the site, must be cleaned of dirt, sand and other materials, to avoid tracking these materials onto public roads.
- **56.** At the completion of the works, the work site must be left clear of waste and debris.

Plumbing and Drainage

- 57. All plumbing and drainage work must comply with the provisions of the following:
 - Plumbing and Drainage Act 2011
 - Plumbing and Drainage Regulation 2012
 - Plumbing Code of Australia
 - AS/NZS 3500:2018 Plumbing and Drainage
- **58.** The *Plumbing and Drainage Act 2011* requires each plumber and drainer that works on the development to submit the following information to Council:
 - Notice of Work (NoW)
 - Sewer Service Diagram (SSD)
 - Certificate of Compliance (CoC).

Stormwater Drainage

- **59.** Stormwater drainage work must comply with AS/NZS 3500.3:2018 Plumbing and Drainage Stormwater Drainage.
- **60.** Stormwater collected from the development must not cause nuisance to adjoining landowners.
- Where up-stream surface water flows through the lot the development must not redirect or divert this water in such a manner that would intensify flows onto adjoining properties.

On-Site Sewage Management Facility - Aerated Waste Treatment System

- The Aerated Wastewater Treatment System (AWTS) and effluent irrigation area/s must be installed and maintained in strict accordance with the following:
 - On-Site Effluent Disposal report prepared by 5QS Consulting Group 9 December 2022
 - NSW Health Certificate of Accreditation
- **63.** The system must be located in accordance with the following minimum distances:
 - 3 metres from any building
 - 3 metres from any property boundary
 - 10 metres downstream from any in-ground rainwater storage tank
 - 3 metres downstream from any above-ground rainwater storage tank
- **64.** Effluent irrigation area/s must be located in accordance with the approved on-site effluent disposal report.
- **65.** There must be no irrigation water runoff from the site to adjoining properties.
- **66.** The first land application line outlet must be a minimum of 15 metres from any building or rainwater storage tank.
- 67. All irrigation pipe work and fittings must comply with AS 2698 Plastic pipes and fittings for irrigation and rural applications. Standard household hose fittings must not be used and the irrigation system must not be capable of connection to the mains water supply.

- **68.** Main irrigation lines must be 100mm below ground and mulched. Feeder lines can be above ground.
- 69. Spray irrigation must only use low pressure, low volume spray heads which are not capable of producing aerosols. The spray must have a plume height of less than 400mm and a plume radius of not more than 2 metres.
- **70.** The AWTS and effluent irrigation area/s must be protected from vehicle and stock damage.
- **71.** Two warning signs must be erected within the effluent irrigation area which contain the words: *Reclaimed Effluent, Not for Drinking, Avoid Contact,* on a green background.
- 72. The owner/occupier must enter into an annual service contract with an appropriately qualified service technician, requiring quarterly servicing of the AWTS. A report must be submitted to Council detailing results of each service.
- **73.** Pipes, taps and valves used for the distribution of reclaimed or recycled water must comply with the following:
 - (a) Pipes must be permanently and clearly marked with six longitudinal stripes, not less than 2mm in width and equally spaced around the periphery. The stripes must be P23 lilac In accordance with AS 2700 Colour standards for general purposes.
 - Alternatively, the whole external surface of the pipe and/or fitting must be permanently coloured P23 lilac. The colour may be integral or achieved by sleeving or coating at the time of installation.
 - (b) Pipes must be clearly marked, at intervals not exceeding 1m, with contrasting coloured wording, which states: RECLAIMED/RECYCLED WATER CAUTION. NOT FOR DRINKING.
 - (c) All underground and aboveground water valves and hose taps must be P23 lilac in colour and clearly marked with a metallic sign which states: WATER NOT SUITABLE FOR DRINKING.

Bushfire Protection

- **74.** The development must comply with s.7 of <u>Planning for Bushfire Protection 2019</u>, as applicable to the development.
- **75.** New construction is to comply with s.7 of Planning for Bushfire Protection 2019. In this regard the following design standards for construction are to be incorporated into the development:
 - (b) New construction shall comply with AS 3959:2018 Construction of Buildings in Bushfire Prone Area:
 - Roof and sub floor = BAL 19
 - Southern, western and northern elevations = BAL 19
 - Eastern elevation = BAL 12.5

Roofing shall have leafless guttering (gutter guard) to prevent the build-up of flammable material. Any materials used shall have a Flammability Index no greater than 5.

76. At the commencement of building works and in perpetuity, the property around the asset shall be managed as an Asset Protection Zone in accordance with the Bush Protection Assessment Report prepared by Ecological Australia dated 27 June 2022 as outlined within Planning for Bushfire Protection 2019.

Part E Before the issue of an Occupation Certificate

77. An Application for an Occupation Certificate must be lodged with the Principal Certifier.

If Council is the Principal Certifier the application must be lodged on the NSW Planning Portal.

- **78.** The relevant parts of <u>s. 6.10</u> of the EP&A Act must be satisfied, including:
 - (a) a Construction Certificate has been issued for this development
 - (b) all conditions in this part of the consent have been complied with
 - (c) the completed building is suitable for occupation or use in accordance with its classification under the NCC/BCA.
- 79. In accordance with <u>s.154</u> of the EP&A Regulation, an Occupation Certificate authorising a person to commence occupation or use of <u>part</u> of a building, must not be issued unless the building will not constitute a hazard to the health or safety of the occupants of the building.
- **80.** Certificates of Compliance for contractor's work must be submitted to the Principal Certifier.

Where Council is nominated as the Principal Certifier, certificates are required for the following work, as applicable to the development:

- Air conditioning
- Electrical
- Framing (timber or metal)
- Gas fitting
- Glazing (windows, doors, shower screens)
- Insulation
- Photovoltaic electricity generating system
- Plumbing/drainage
- Refrigeration systems
- Smoke alarms
- Solid fuel heater
- Stormwater
- Structural adequacy
- Swimming pool, pump and filtration system
- Termite protection system
- Waterproofing
- Other work as relevant to the development.

Certificates must contain the following information:

- (a) name, address, licence/registration number, qualifications, professional memberships and insurance details of the individual issuing the certificate
- (b) development consent number to which the work relates
- (c) address of the land on which the development is being carried out
- (d) date of issue of the certificate

- (e) date and time of inspection of work
- (f) description of the inspection of work
- (g) Australian Standards or codes to which the certificate relates.
- **81.** Any damage caused to Council owned infrastructure or property must be repaired or replaced at no cost to Council.
- **82.** An identification survey, prepared by a registered surveyor must be submitted to the Principal Certifier indicating the location of the constructed development in relation to property boundaries, easements and building envelopes.
- **83.** The applicant must certify that the development has been constructed in accordance with all commitments of the relevant BASIX certificate.

The certification must make reference the following:

- (a) Address of the development site
- (b) Development consent number
- (c) BASIX certificate number
- **84.** A commissioning/installation certificate must be submitted to the Principal Certifier verifying that the installed Onsite Sewage Management System has been installed in accordance with the manufacturer's specifications and the relevant approved On-Site Effluent Disposal report.
- **85.** Potable water supply storage must be provided on site to the following minimum standard:
 - 45,000 litres for houses less than 150m²
 - 90,000 litres for houses in excess of 150m².

Above ground tanks must provide for the refilling of fire tankers by the installation of a "Storz" fitting with a gate valve, at the base of the tank. The house service may branch off this outlet.

Underground tanks must include an access hole at least 150mm diameter.

- **86.** All conditions relating to bushfire protection must be complied with.
- **87.** The new and existing property vehicular access from the road to the property boundary must be constructed/upgraded in accordance with Council's <u>Road Standards Policy RD-POL-09</u>.



Terms of Reference Murrumbateman Playground Project Committee

		<u></u>				
1	Name of Committee	Murrumbateman Playground Project Committee				
2	Terms of Reference	To provide advice to Council on the location and development of the Murrumbateman Category 1 Playground from establishment phase until completion of a concept design To assist in drafting recommendations and actions for the implementation of the project To act as champions for the project within the broader community				
3	Policies and legislation the committee is required to comply with in addition to those set out in clause 5.3 of the standard constitution	Local Government Act 1993 Crown Land Management Act 2016 NSW Everyone Can Play Guidelines Yass Valley Local Environmental Plan 2013 Draft Yass Valley Open Space Strategy Yass Valley Park and Playground Strategy 2017				
4	Maximum number and make-up of Committee members	3 x Councillors 3 x community members, to be comprised of: Youth representative (Murrumbateman resident between ages of 15-24 years) Murrumbateman Progress Association representative Murrumbateman community member				
5	Council employees	Director Infrastructure & Assets Director Planning & Environment Manager Strategic Planning Manager Recreational Assets				
6	Area assigned to committee and/or map	Murrumbateman				
7	Additional clauses or amendments to Standard Constitution or Schedule. To be listed in full – body of constitution not to be altered	N/A				
8	Minimum number of meetings per annum	As required				

Version 1

Section Continued Contin								•			
Accordance	_	Asset	Seg	Damage Details	Department	Hierarchy	Priority	Timeline		Work	Claim
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DM01314 Glenrock Road 1 1 Log in culvert Inlet					·						not yet submitted
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	OM01029		1	washout	Roads Delivery	n/a			internal	completed	not yet submitted
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Damage	Asset	Seg	Damage Details	Department	Hierarchy	Priority	Timeline	Internal	Work	Claim
Number								External	Status	Status
OM01190	Bushs Lane	2	table drain erosion	Roads Delivery	3	medium	2023-Q3	internal	not yet started	not yet submitted
DM01272	Shingle Hill Way	1	Pavement failure	Roads Delivery	n/a			contractor	completed	not yet submitted
OM01273 OM01191	Shingle Hill Way Bushs Lane	2	Pavement failure table drain erosion	Roads Delivery Roads Delivery	n/a 3	medium	2023-Q3	contractor internal	not yet started	not yet submitted not yet submitted
OM01048	Tangmangaroo Road	1	Washout	Roads Delivery	4	mediam	2023 Q3	internal	completed	not yet submitted
OM01192	Bushs Lane	2	table drain erosion	Roads Delivery	3	medium	2023-Q3	internal	not yet started	not yet submitted
OM01193	Bushs Lane	2	Pavement washout	Roads Delivery	3	medium	2023-Q3	internal	not yet started	not yet submitted
OM01194	Bushs Lane	2	table drain erosion	Roads Delivery	3	medium	2023-Q3	internal	not yet started	not yet submitted
OM01195	Bushs Lane	2	table drain erosion	Roads Delivery	3	medium	2023-Q3	internal	not yet started	not yet submitted
OM01196	Bushs Lane	2	table drain erosion	Roads Delivery	3	medium	2023-Q3	internal	not yet started	not yet submitted
OM01214	Gums Lane	10	table drain erosion	Roads Delivery	3			contractor	completed	not yet submitted
DM01215	Gums Lane	10	table drain erosion	Roads Delivery	3			contractor	completed	not yet submitted
DM01216	Gums Lane	10	table drain erosion	Roads Delivery	3			contractor	completed	not yet submitted
OM01300 OM01301	Nanima Road Nanima Road	10	table drain erosion Silt at culvert inlet	Roads Delivery	n/a n/a			internal	completed	not yet submitted
DM01301	Spring Range Road	10	bog across road	Roads Delivery Roads Delivery	1			internal internal	completed completed	not yet submitted not yet submitted
OM01197	Bushs Lane	3	table drain erosion	Roads Delivery	3	medium	2023-Q3	internal	not yet started	not yet submitted
OM01019	Childowla Road	11	table drain erosion	Roads Delivery	3	meanam	2025 45	contractor	completed	not yet submitted
OM01198	Bushs Lane	3	table drain erosion	Roads Delivery	3	medium	2023-Q3	internal	not yet started	not yet submitted
OM01131	Dicks Creek Road	11	Washout of LHS (downstream)	Roads Delivery	3			internal	completed	not yet submitted
			shoulder	•						
OM01199	Bushs Lane	3	table drain erosion	Roads Delivery	3	medium	2023-Q3	internal	not yet started	not yet submitted
OM01200	Bushs Lane	3	table drain erosion	Roads Delivery	3	medium	2023-Q3	internal	not yet started	not yet submitted
OM01201	Bushs Lane	3	table drain erosion	Roads Delivery	3	medium	2023-Q3	internal	not yet started	not yet submitted
OM01202	Bushs Lane	3	table drain erosion	Roads Delivery	3	medium	2023-Q3	internal	not yet started	not yet submitted
OM01203	Bushs Lane	3	table drain erosion	Roads Delivery	3	medium	2023-Q3	internal	not yet started	not yet submitted
DM01204	Bushs Lane	3	table drain erosion	Roads Delivery	3	medium	2023-Q3	internal	not yet started	not yet submitted
OM01326	Cavan Road	10	Undermined large gabion wingwall to	Engineering Services	4	high	other	contractor	not yet started	not yet submitted
OM01342	Doctors Flat Road	12	1700 dia RCP	Danda Dalimani	4					and the state of
DM01342 DM01343	Doctors Flat Road Doctors Flat Road	12 12	Bog in road Bog in road	Roads Delivery Roads Delivery	4			internal internal	completed completed	not yet submitted not yet submitted
DM01343	Cavan Road	4	Washout of road embankment	Roads Delivery	4	high	2023-Q3	contractor	not yet started	not yet submitted
314101317	cavan noda	7	adjacent to culvert	Rodus Belivery	7	III gii	2023 Q3	contractor	not yet started	not yet submitted
OM01318	Cavan Road	4	Collapsed culvert at outlet	Roads Delivery	4	high	2023-Q2	contractor	not yet started	not yet submitted
OM01316	Cavan Road	5	Washout	Roads Delivery	4	high	2023-Q2	contractor	not yet started	not yet submitted
OM01327	Cavan Road	8	Erosion undermining structure at	Engineering Services	4	high	other	contractor	not yet started	not yet submitted
			outlet; inlet blocked with silt debris			-				
OM01328	Cavan Road	8	Outlet scour, inlet debris, u/s	Engineering Services	4	high	other	contractor	not yet started	not yet submitted
			embankment erosion/landslip							
OM01325	Nottingham Road	13	Abutment erosion	Roads Delivery	4			internal	completed	not yet submitted
OM01341	Doctors Flat Road	14	Bog in road	Roads Delivery	4			internal	completed	not yet submitted
OM01319	Cavan Road	3	Bogs in road	Roads Delivery	4				not yet started	not floods
DM00988	Black Range Road	15	table drain erosion	Roads Delivery	2			contractor	completed	not yet submitted
DM01064	Laverstock Road	15 15	Washout	Roads Delivery	4			internal internal	completed	not yet submitted
OM01065 OM01066	Laverstock Road Laverstock Road	15	table drain erosion table drain erosion	Roads Delivery Roads Delivery	4			internal	completed completed	not yet submitted not yet submitted
OM01320	Cavan Road	3	Bogs in road	Roads Delivery	4			internal	not yet started	not floods
OM00989	Black Range Road	16	Road washout 100 x 5 has been	Roads Delivery	2			contractor	completed	not yet submitted
			repaired	,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	_					,
OM01234	Dog Trap Road	16	Repaired scours	Roads Delivery	2			contractor	completed	not yet submitted
OM01061	Laverstock Road	16	Washout	Roads Delivery	4			internal	completed	not yet submitted
OM01063	Laverstock Road	16	Washout	Roads Delivery	4			internal	completed	not yet submitted
OM01315	Cavan Road	7	Road bogs over 150m	Roads Delivery	4				not yet started	not floods
OM01323	Caves Road	6	Debris at culvert inlet plus erosion of	Roads Delivery	n/a	high	2023-Q2	internal	not yet started	not yet submitted
			downstream embankment							
OM01017	Childowla Road	23	Debris build up at culvert inlet	Roads Delivery	3	medium	2023-Q3	contractor	not yet started	not yet submitted
OM01014	Childowla Road	8	Washout	Roads Delivery	3	medium	2023-Q3	contractor	not yet started	not yet submitted
OM01237 OM01062	Dog Trap Road	17 17	table drain erosion	Roads Delivery Roads Delivery	2			contractor	completed	not yet submitted
OM01062	Laverstock Road Comur Street	17	Washout RIVERBANK PARK- Weir walkway	Roads Delivery	#N/A	high	2023-Q3	internal contractor	not yet started	not yet submitted not yet submitted
DIVIOTIOI	Comui street		safety handrails destroyed	Roads Delivery	#IN/A	iligii	2023-Q3	CONTRACTOR	not yet started	not yet submitted
OM01099	Cooks Hill Road	4	Scour and debris	Roads Delivery	n/a	medium	2023-Q3	internal	not yet started	not yet submitted
OM01095	Cooks Hill Road	9	Erosion	Roads Delivery	n/a	meanam	2025 45	cc.ma.	not yet started	not floods
OM01236	Dog Trap Road	18	table drain erosion	Roads Delivery	2			contractor	completed	not yet submitted
OM01096	Cooks Hill Road	9	Erosion	Roads Delivery	n/a				not yet started	not floods
OM01097	Cooks Hill Road	9	Shoulder Erosion	Roads Delivery	n/a				not yet started	not floods
OM01098	Cooks Hill Road	9	Erosion	Roads Delivery	n/a				not yet started	not floods
OM01263	Crisps Lane	1	Loss of sealed shoulder	Roads Delivery	n/a				not yet started	not floods
OM00954	Dairy Creek Road	2	gravel washed off road way	Roads Delivery	4	high	2023-Q2	contractor	not yet started	not yet submitted
OM00955	Dairy Creek Road	2	Scour in table drains , Road surface	Roads Delivery	4	high	2023-Q2	contractor	not yet started	not yet submitted
			washed away							
OM00956	Dairy Creek Road	4	washed out	Roads Delivery	4	high	2023-Q2	contractor	not yet started	not yet submitted
OM00957	Dairy Creek Road	4	Five scours across road in the 150m	Roads Delivery	4	high	2023-Q2	contractor	not yet started	not yet submitted
OM00958 OM00959	Dairy Creek Road Dairy Creek Road	5 5	washout table drain erosion	Roads Delivery Roads Delivery	4	high high	2023-Q2 2023-Q2	contractor contractor	not yet started	not yet submitted not yet submitted
OM00969	Dairy Creek Road Dairy Creek Road	6	washout across road	Roads Delivery	4	nign high	2023-Q2 2023-Q2	contractor	not yet started not yet started	not yet submitted
DM01130	Dicks Creek Road	11	Scour and silt at floodway	Roads Delivery	3	· iigii	2023-QZ	contractor	not yet started	not floods
	J. CCN NOUG			, Jen.e. y					21, 20 Started	

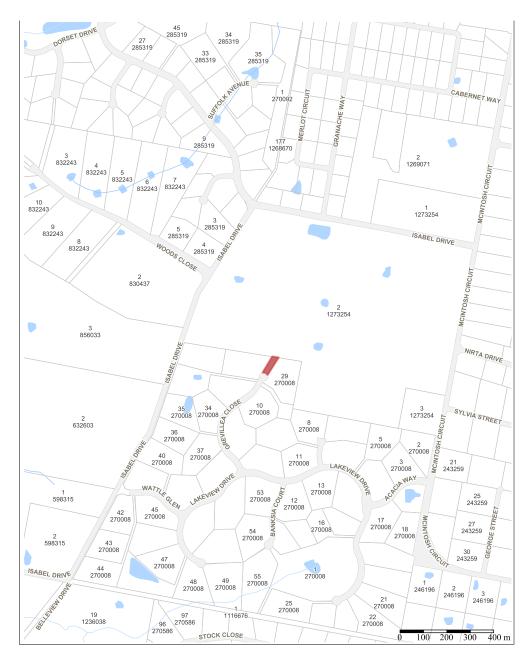
Damage	Asset	Seg	Damage Details	Department	Hierarchy	Priority	Timeline	Internal	Work	Claim
Number OM01132	Dicks Creek Road	2	Shoulder and embankment washout	Engineering Services	3	high	other	External contractor	not yet started	not yet submitted
OM01133	Dicks Creek Road	2	Shoulder erosion	Roads Delivery	3				not yet started	not floods
DM01134	Dicks Creek Road	3	table drain erosion	Roads Delivery	3				not yet started	not floods
OM01135	Dicks Creek Road	3	table drain erosion	Roads Delivery	3				not yet started	not floods
OM01345	Doctors Flat Road	1	Loss of material over culvert and damaged pipe	Roads Delivery	4	high	2023-Q2	contractor	not yet started	not yet submitted
OM01235	Dog Trap Road	17	Scouring, bogs , washouts	Roads Delivery	2	high	2023-Q2	contractor	not yet started	not yet submitted
OM00951	Dog Trap Road	21	table drain erosion	Roads Delivery	2	medium	2023-Q3	internal	not yet started	not yet submitted
DM00948	Dog Trap Road	23	gravel washed off road way	Roads Delivery	2	medium	2023-Q3	internal	not yet started	not yet submitted
DM01034	Common Road	2	Washout	Roads Delivery	4			internal	completed	not yet submitted
OM01040	Crossleys Road	2	Washout	Roads Delivery	5	modium	2022 02	internal	completed	not yet submitted
OM00949 OM00944	Dog Trap Road	23 24	table drain erosion	Roads Delivery	2	medium medium	2023-Q3 2023-Q3	internal internal	not yet started	not yet submitted
OM00945	Dog Trap Road Dog Trap Road	24	Loss of road surface bog across road	Roads Delivery Roads Delivery	2	medium	2023-Q3 2023-Q3	contractor	not yet started not yet started	not yet submitted not yet submitted
OM00942	Dog Trap Road	25	Scour on outlet of culvert	Roads Delivery	2	high	2023-Q2	contractor	not yet started	not yet submitted
OM01330	Glenrock Road	2	2 washouts 30m and 50m long	Roads Delivery	5	8	2025 Q2	internal	completed	not yet submitted
OM01331	Glenrock Road	2	Restore scour with local gravel	Roads Delivery	5			internal	completed	not yet submitted
OM01332	Glenrock Road	2	Scours down road	Roads Delivery	5			internal	completed	not yet submitted
OM00943	Dog Trap Road	25	table drain erosion	Roads Delivery	2	high	2023-Q2	contractor	not yet started	not yet submitted
OM01109	Good Hope Road	2	table drain erosion	Roads Delivery	n/a			internal	completed	not floods
OM00940	Dog Trap Road	26	table drain erosion	Roads Delivery	2	medium	2023-Q3	internal	not yet started	not yet submitted
OM00941	Dog Trap Road	26	Washout repaired with rock under emergency	Roads Delivery	2	medium	2023-Q3	internal	not yet started	not yet submitted
OM01238	Dog Trap Road	9	Washout/ Bog	Roads Delivery	2	high	2023-Q2	contractor	not yet started	not yet submitted
OM01036	Graces Flat Road	2	table drain erosion	Roads Delivery	4			contractor	completed	not yet submitted
DM01112	Fifeshire Road	3	Landslip , loss of culvert plus concrete protection	Engineering Services	4	high	other	contractor	not yet started	not yet submitted
OM01115	Fifeshire Road	4	Erosion	Roads Delivery	4	medium	2023-Q3	internal	not yet started	not yet submitted
OM01116	Fifeshire Road	4	table drain erosion	Roads Delivery	4	medium	2023-Q3	internal	not yet started	not yet submitted
OM01117	Fifeshire Road	4	erosion	Roads Delivery	4	medium	2023-Q3	internal	not yet started	not yet submitted
OM01118	Fifeshire Road	4	Loss of material	Roads Delivery	4	medium	2023-Q3	internal	not yet started	not yet submitted
OM01119	Fifeshire Road	4	Wash	Roads Delivery	4	medium	2023-Q3	internal	not yet started	not yet submitted
DM01113	Fifeshire Road	5	Erosion	Roads Delivery	4	medium	2023-Q3	internal	not yet started	not yet submitted
DM01114	Fifeshire Road	5	table drain erosion	Roads Delivery	4	medium	2023-Q3	internal	not yet started	not yet submitted
OM01027	Glengarry Road	5	Gravel washed away, scour along and across road	Roads Delivery	4	medium 	2023-Q2	internal	not yet started	not yet submitted
DM01028	Glengarry Road	5	washout	Roads Delivery	4	medium	2023-Q2	internal	not yet started	not yet submitted
DM01070 DM01071	Laverstock Road Laverstock Road	2	Washout Washout	Roads Delivery	4			internal	completed	not yet submitted
OM01071		6		Roads Delivery	4	high	2023-Q2	internal internal	completed	not yet submitted
OM01026	Glengarry Road Glengarry Road	6	washout table drain erosion	Roads Delivery Roads Delivery	4	medium	2023-Q2 2023-Q2	internal	not yet started not yet started	not yet submitted not yet submitted
OM01240	Long Rail Gully Road	2	table drain erosion	Roads Delivery	4	mediam	2023 Q2	contractor	completed	not yet submitted
OM01241	Long Rail Gully Road	2	table drain erosion	Roads Delivery	4			contractor	completed	not yet submitted
OM01110	Glenroy Road	1	Washout	Roads Delivery	4	low	2024-Q3	internal	not yet started	not yet submitted
OM01111	Glenroy Road	2	Scouring loss of materials	Roads Delivery	4	medium	2023-Q3	internal	not yet started	not yet submitted
OM01166	Goldfields Lane	1	Undermining of concrete slabs plus debris in inlet	Roads Delivery	n/a	low	2024-Q4	contractor	not yet started	not yet submitted
OM01274	Shingle Hill Way	2	Pavement failure	Roads Delivery	n/a			contractor	completed	not yet submitted
OM01108	Good Hope Road	4	Embankment Scour 15m3, loss of concrete scour protection 20m2, loss	Roads Delivery	n/a	medium	2023-Q4	contractor	not yet started	not yet submitted
OM01165	Gooda Creek Road	1	of bitumen 10m2 Culvert collapse	Roads Delivery	3	high	2023-Q2	internal	not yet started	not yet submitted
DM01248	Gounyan Road	2	Crossing Approaches washed out; debris blocking 2 culverts	Roads Delivery	4	medium	2024-Q2	contractor	not yet started	not yet submitted
OM01249	Gounyan Road	2	Bog in road	Roads Delivery	4	medium	2023-Q4	internal	not yet started	not yet submitted
OM01250	Gounyan Road	2	Bogs emergency repairs	Roads Delivery	4	medium	2023-Q4	internal	not yet started	not yet submitted
OM01251	Gounyan Road	3	Washout	Roads Delivery	4	medium	2023-Q4	internal	not yet started	not yet submitted
OM01253	Gounyan Road	3	Table and road scour	Roads Delivery	4	medium	2023-Q4	internal	not yet started	not yet submitted
OM01015	Childowla Road	20	Washout	Roads Delivery	3			internal	completed	not yet submitted
OM01252	Gounyan Road	4	table drain erosion	Roads Delivery	4	medium	2023-Q4	internal	not yet started	not yet submitted
OM01258	Greenwood Road	2	Shoulder erosion	Roads Delivery	n/a				not yet started	not floods
OM01185	Greenwood Road	6	Bitumen Stripping and embankment erosion	Roads Delivery	n/a	medium	2023-Q3	internal	not yet started	not yet submitted
OM01217	Gums Lane	11	table drain erosion	Roads Delivery	3	medium	2023-Q2	internal	not yet started	not yet submitted
OM01205	Gums Lane	2	Washout	Roads Delivery	3	medium	2023-Q2	internal	not yet started	not yet submitted
DM01206	Gums Lane	2	Washout	Roads Delivery	3	medium	2023-Q2	internal	not yet started	not yet submitted
OM01207	Gums Lane	3	Washout half road and deposition of silt	Roads Delivery	3	medium	2023-Q2	internal	not yet started	not yet submitted
OM01016 OM00950	Childowla Road Dog Trap Road	22	Scour gravel washed off road way and debris	Roads Delivery Roads Delivery	2			internal internal	completed completed	not yet submitted not yet submitted
OM00975	Murrumbateman Roa	22	Bitumen seal removed and right hand shoulder washed out	Roads Delivery	n/a			contractor	completed	not yet submitted
OM01142	Yass River Road	22	Washout	Roads Delivery	2			internal	completed	not yet submitted
OM01143	Yass River Road	22	Washout	Roads Delivery	2			internal	completed	not yet submitted
OM01208	Gums Lane	4	Shoulder Washout	Roads Delivery	3	medium	2023-Q2	internal	not yet started	not yet submitted
OM01210	Gums Lane	6	Shoulder table drain scour	Roads Delivery	3	medium	2023-Q2	internal	not yet started	not yet submitted

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Damage	Asset	Seg	Damage Details	Department	Hierarchy	Priority	Timeline		Work	Claim
Number OM01211	Cumalana		Chaulden table durin accoun	Danda Dalissans	3		2023-Q2	External internal	Status	Status not yet submitted
OM01090	Gums Lane Hardwick Lane	7	Shoulder table drain scour table drain erosion	Roads Delivery Roads Delivery	#N/A	medium medium	2023-Q2 2023-Q4	contractor	not yet started not yet started	not yet submitted
OM01030	Childowla Road	23	table drain erosion	Roads Delivery	3	medium	2023-Q4	internal	completed	not yet submitted
OM00947	Dog Trap Road	23	table drain erosion	Roads Delivery	2			internal	completed	not yet submitted
OM01091	Hardwick Lane	2	Gravel washed off road	Roads Delivery	#N/A	medium	2023-Q4	contractor	not yet started	not yet submitted
OM01092	Hardwick Lane	2	Washout	Roads Delivery	#N/A	medium	2023-Q4	contractor	not yet started	not yet submitted
OM01093	Hardwick Lane	2	table drain erosion	Roads Delivery	#N/A	medium	2023-Q4	contractor	not yet started	not yet submitted
OM01089	Hardwick Lane	3	table drain erosion	Roads Delivery	#N/A	medium	2023-Q4	contractor	not yet started	not yet submitted
OM01088	Hardwick Lane	4	Washout	Roads Delivery	#N/A	medium	2023-Q4	contractor	not yet started	not yet submitted
OM01078	Hardwick Lane	6	Eastern upstream washout	Roads Delivery	#N/A	medium	2023-Q4	contractor	not yet started	not yet submitted
OM01010	Burrinjuck Road	24	Clear rock debris seg 20 to 27, main	Roads Delivery	n/a			internal	completed	not yet submitted
			debris at culvert inlet seg 24							
OM01079	Hardwick Lane	6	Downstream eastern approach	Roads Delivery	#N/A	medium	2023-Q4	contractor	not yet started	not yet submitted
			shoulder/ batter/ guardrail washed-							
OM01080	Hardwick Lane	6	out Washout	Roads Delivery	#N/A	medium	2023-Q4	contractor	not yet started	not yet submitted
OM00946	Dog Trap Road	24	table drain erosion	Roads Delivery	2	medium	2023-Q4	internal	completed	not yet submitted
OM00977	Murrumbateman Roa	24	Pavement collapse	Roads Delivery	n/a			contractor	completed	not yet submitted
OM01358	Henderson Lane	1	r arement compac	Engineering Services	n/a	high	other	contractor	not yet started	not yet submitted
OM01262	Hercules Street		Washout/Bog on crossing approach	Parks & Reserves	n/a	medium	other	contractor	not yet started	not yet submitted
			, , , , , , , , , , , , , , , , , , , ,		,				,	,
OM01255	Hillview Drive	2	Shoulder scour	Roads Delivery	n/a				not yet started	not floods
OM00978	Murrumbateman Roa	25	Collapsed pavement Patch No. 241	Roads Delivery	n/a			contractor	completed	not yet submitted
OM00979	Murrumbateman Roa	25	Failed pavement Patch 242	Roads Delivery	n/a			contractor	completed	not yet submitted
OM01256	Hillview Drive	4	-	Roads Delivery	n/a	high	2023-Q2	internal	not yet started	not yet submitted
			shoulder							
OM01257	Hillview Drive	4	Bog in road	Roads Delivery	n/a	high	2023-Q2	internal	not yet started	not yet submitted
OM01039 OM01022	Hughstonia Road Illalong Road	7	Debris	Roads Delivery	n/a	medium	2023-Q3	internal	not yet started	not yet submitted
JIVIU1U22	illalong Koad	1	Northern Bridge approach undermined	Engineering Services	n/a	high	other	contractor	not yet started	not yet submitted
OM01023	Illalong Road	5	washed out	Engineering Services	n/a	high	other	contractor	not yet started	not yet submitted
OM01023	Illalong Road	6	washed out	Roads Delivery	n/a	low	2023-Q4	internal	not yet started	not yet submitted
OM01247	Isabel Drive	1	Scour and debris	Roads Delivery	1		2025 Q1		not yet started	not floods
OM01233	Isabel Drive	4	Shoulder erosion	Roads Delivery	1				not yet started	not floods
OM01160	Yass River Road	28	Embankment erosion	Roads Delivery	2			internal	completed	not yet submitted
OM01161	Yass River Road	28	table drain erosion	Roads Delivery	2			internal	completed	not yet submitted
OM01148	Berrebangalo Road	3	table drain erosion	Roads Delivery	4			internal	completed	not yet submitted
OM01163	Kaveneys Road	5	Pavement collapse	Roads Delivery	n/a	high	2023-Q2	internal	not yet started	not yet submitted
OM01261	Keirs Road	2	Shoulder erosion	Roads Delivery	2				not yet started	not floods
OM01260	Keirs Road	2	Scour shoulding from Nanima k	Roads Delivery	2	medium	2023-Q3	internal	not yet started	not yet submitted
20404250	Kaina Danad	2	flooding	Danda Daliwani	2					
OM01259 OM01074	Keirs Road Kittys Creek Road	3	Erosion and siltation table drain erosion	Roads Delivery Roads Delivery	2 #N/A			contractor	not yet started not yet started	not floods not floods
OM01074	Kittys Creek Road	1	table drain erosion	Roads Delivery	#N/A	medium	2024-Q1	contractor contractor	not yet started	not yet submitted
OM01078	Lagoons Road	1	table drain erosion	Roads Delivery	5	low	2025-Q1	internal	not yet started	not yet submitted
OM01037	Lagoons Road	3	Washout	Roads Delivery	5	low	2025-Q1	internal	not yet started	not yet submitted
OM01339	Ledgers Creek Road	2	Undermined causeway	Roads Delivery	5				not yet started	not floods
OM01336	Ledgers Creek Road	2	Washout over culvert	Roads Delivery	5	medium	2024-Q3	contractor	not yet started	not yet submitted
OM01337	Ledgers Creek Road	5	Washout	Roads Delivery	5	medium	2024-Q3	contractor	not yet started	not yet submitted
OM01012	Childowla Road	3	Approaches to crossing washed out	Roads Delivery	3			internal	completed	not yet submitted
			Debris							
			Stripping of bitumen							
NA01022	Common Road	2	Washout	Poads Poliver	4			intornal	completed	not yet submitted
OM01033 OM01040B	Crossleys Road	3	Washout	Roads Delivery Roads Delivery	5			internal	completed completed	not yet submitted not yet submitted
OM01040B	Ledgers Creek Road	5	Scour down road	Roads Delivery	5	medium	2024-Q3	contractor	not yet started	not yet submitted
OM01336	Longleys Road	3	Washout plus broken culvert	Roads Delivery	4	medium	2024-Q3 2024-Q1	contractor	not yet started	not yet submitted
OM01347	Longleys Road	4	Loss of material over culvert area	Roads Delivery	4	medium	2024-Q2	contractor	not yet started	not yet submitted
OM01081	Lucernvale Road	1	table drain erosion	Roads Delivery	4	low	2023-Q3	internal	not yet started	not yet submitted
OM01082	Lucernvale Road	1	table drain erosion	Roads Delivery	4	low	2023-Q3	internal	not yet started	not yet submitted
OM01083	Lucernvale Road	3	table drain erosion	Roads Delivery	4	medium	2023-Q3	internal	not yet started	not yet submitted
OM01084	Lucernvale Road	3	table drain erosion	Roads Delivery	4	medium	2023-Q3	internal	not yet started	not yet submitted
OM01085	Lucernvale Road	4	Scour and bog	Roads Delivery	4	medium	2023-Q3	internal	not yet started	not yet submitted
OM01086	Lucernvale Road	4	table drain erosion	Roads Delivery	4	medium	2023-Q3	internal	not yet started	not yet submitted
DM01242	Long Rail Gully Road	3	Erosion of shoulder	Roads Delivery	4			contractor	completed	not yet submitted
OM01243 OM01244	Long Rail Gully Road Long Rail Gully Road	3	table drain erosion Erosion of pavement material over 3	Roads Delivery Roads Delivery	4			contractor contractor	completed completed	not yet submitted not yet submitted
JIVIU1244	Long Kan Guny Koau	3	washouts	Roads Delivery	4			COITHACLOI	completed	not yet submitted
OM01245	Long Rail Gully Road	3	bog across road	Roads Delivery	4			contractor	completed	not yet submitted
OM01122	Majura Lane	5	bog in roadway	Roads Delivery	3	medium	2023-Q3	internal	not yet started	not yet submitted
OM01123	Majura Lane	5	Embankment washout from	Roads Delivery	3	medium	2023-Q3	internal	not yet started	not yet submitted
			overtopping							
OM00961	Marked Tree Road	13	Scour across road ; loss of materials	Roads Delivery	2	medium	2023-Q2	contractor	not yet started	not yet submitted
OM01271	Mulligans Flat Road	3	Shoulder erosion	Roads Delivery	1			contractor	completed	not floods
OM00962	Marked Tree Road	13	washout across road	Roads Delivery	2	medium	2023-Q2	contractor	not yet started	not yet submitted
OM00963	Marked Tree Road	13	washout across road	Roads Delivery	2	medium	2023-Q2	contractor	not yet started	not yet submitted

Damage	Asset	Seg	Damage Details	Department	Hierarchy	Priority	Timeline	Internal	Work	Claim
Number OM00964	Marked Tree Road	10	Scour across road 10m2 loss of	Poads Dolivon	2	modium	2022 02	External	Status not yet started	Status not yet submitted
JIVIUU964	Marked Tree Road	18	Scour across road 10m3 loss of material plus scour at 450 dia culvert	Roads Delivery	2	medium	2023-Q2	contractor	not yet started	not yet submitted
			outlet 1m3 Rock spalls							
OM00965	Marked Tree Road	18	washout	Roads Delivery	2	medium	2023-Q2	contractor	not yet started	not yet submitted
OM00983	Paynes Road	3	Culvert washout, Headwall damaged	Roads Delivery	5		,	internal	completed	not yet submitted
				·						
OM00966	Marked Tree Road	18	Scour at culvert outlet and adjacent to	Roads Delivery	2	medium	2023-Q2	contractor	not yet started	not yet submitted
			culvert outlet		_					
OM00967	Marked Tree Road	18	RHS table washout, deep scour 70m	Roads Delivery	2	medium	2023-Q2	contractor	not yet started	not yet submitted
			long; half width of road washed away; loss of all fine gravel down near							
			culvert							
OM00968	Marked Tree Road	19	table drain erosion	Roads Delivery	2	medium	2023-Q2	contractor	not yet started	not yet submitted
OM01276	Tallagandra Lane	3	Washout	Roads Delivery	1			internal	completed	not yet submitted
OM00969	Marked Tree Road	19	table drain erosion	Roads Delivery	2	medium	2023-Q2	contractor	not yet started	not yet submitted
OM00970	Marked Tree Road	21	table drain erosion	Roads Delivery	2	medium	2023-Q2	contractor	not yet started	not yet submitted
OM01168	Yass River Road	3	Pavement failures - bogs in road	Roads Delivery	2			internal	completed	not yet submitted
OM00971	Marked Tree Road	21	Scour across road, surface washed	Roads Delivery	2	medium	2023-Q2	contractor	not yet started	not yet submitted
OM01162	Yass River Road	30	away table drain erosion	Roads Delivery	2			internal	completed	not yet submitted
DM01348	Mountain Creek Road	33	Bog in road	Roads Delivery	2			internal	completed	not yet submitted
OM01349	Mountain Creek Road	33	Bog in road	Roads Delivery	2			internal	completed	not yet submitted
OM00972	Marked Tree Road	4	Scour across road	Roads Delivery	2	medium	2023-Q2	contractor	not yet started	not yet submitted
OM01127	Yass River Road	35	table drain erosion	Roads Delivery	2			internal	completed	not yet submitted
OM01128	Yass River Road	35	Bog on eastern approach 30mx5m,	Roads Delivery	2			internal	completed	not yet submitted
			table drain scour 40m							
DM01149 DM01150	Berrebangalo Road	4	road surface washed off	Roads Delivery	4			internal	completed	not yet submitted not yet submitted
OM00980	Berrebangalo Road McCarthy Road	2	table drain erosion land slip	Roads Delivery Engineering Services	n/a	high	other	internal contractor	not yet started	not yet submitted
OM01227	Merryville Drive	6	Silt build up from storm event	Roads Delivery	n/a	medium	2023-Q4	internal	not yet started	not yet submitted
OM01228	Merryville Drive		Severe erosion of RH shoulder and	Roads Delivery	n/a	high	2023-Q3	contractor	not yet started	not yet submitted
	,		table drain			-				·
OM01229	Merryville Drive		Loss of shoulder , Silting of drain	Roads Delivery	n/a	high	2023-Q3	contractor	not yet started	not yet submitted
OM01230	Merryville Drive		Scour of shoulder and drain	Roads Delivery	n/a	high	2023-Q3	contractor	not yet started	not yet submitted
OM01231	Merryville Drive		Scour of shoulder and drain	Roads Delivery	n/a	high	2023-Q3	contractor	not yet started	not yet submitted
OM01100	Fairy Hole Road	4	table drain erosion	Roads Delivery	3	L:-L	2022 02	internal	completed	not yet submitted
OM01232	Merryville Drive		Shoulder table drain scouring and silting	Roads Delivery	n/a	high	2023-Q3	contractor	not yet started	not yet submitted
OM01059	Moorbys Lane	1	Washout	Roads Delivery	5	low	2023-Q2	internal	completed	not yet submitted
OM01060	Moorbys Lane	1	Scour plus loss of material	Roads Delivery	5	low	2023-Q2	internal	completed	not yet submitted
OM01076	Morton Avenue	All	table drain erosion	Roads Delivery	n/a	medium	2023-Q4	contractor	not yet started	not yet submitted
OM01077	Morton Avenue	All	Partial approach to crossing washed	Roads Delivery	n/a	low	2023-Q2	internal	not yet started	not yet submitted
			out Stripping of bitumen							
OM01329	Glenrock Road	4	Embankment Scour 40m3	Roads Delivery	5			internal	completed	not yet submitted
DM01075 DM01307	Morton Avenue Mountain Creek Road	1 14	table drain erosion Tree uprooted	Roads Delivery Roads Delivery	n/a 2	medium	2023-Q4	contractor	not yet started	not yet submitted not floods
OM01307	Mountain Creek Road	18	8.76m long 450 dia culvert destroyed	Roads Delivery	2	high	2023-Q2	contractor	not yet started not yet started	not yet submitted
311101300	mountain creek noda		on our long 150 and current destroyed	nodus senvery	_		2025 Q2	contractor	not yet started	not yet sabinited
OM01087	Hardwick Lane	4	Washout	Roads Delivery	#N/A			internal	completed	not yet submitted
OM01164	Mundays Lane	2	130m LHS Table drain scour plus 3	Roads Delivery	4	medium	2023-Q4	internal	not yet started	not yet submitted
			washout sections 40mx 3m each							
-	Murrumbateman Roa	23	bog across road	Roads Delivery		high	2023-Q2	contractor		not yet submitted
DM01288	Nanima Road	2	Shoulder erosion	Roads Delivery	n/a				not yet started	not floods
DM01289 DM01246	Nanima Road Long Rail Gully Road	3	table drain erosion Washout	Roads Delivery Roads Delivery	n/a 4			contractor	not yet started completed	not floods not yet submitted
OM01246	Nanima Road	5	table drain erosion	Roads Delivery	n/a			contract01	not yet started	not floods
OM01291	Nanima Road	5	Shoulder erosion	Roads Delivery	n/a				not yet started	not floods
OM01292	Nanima Road	5	Shoulder erosion	Roads Delivery	n/a				not yet started	not floods
DM01352	Nottingham Road	4	Washout and severe potholing	Roads Delivery	4				not yet started	not floods
OM01269	Mulligans Flat Road	4	Scour	Roads Delivery	1			contractor	completed	not floods
OM01270	Mulligans Flat Road	4	table drain / shoulder erosion	Roads Delivery	1	ar a d'	2022.02	contractor	completed	not floods
OM01355	Nottingham Road	11	Scouring and loss of surface material	Roads Delivery	4	medium	2023-Q2	internal	not yet started	not yet submitted
OM01350	Nottingham Road	3	Table drain scour	Roads Delivery	4	medium	2023-Q2	internal	not yet started	not yet submitted
OM01351	Nottingham Road	3	Table drain scour	Roads Delivery	4	medium	2023-Q2 2023-Q2	internal	not yet started	not yet submitted
OM01351	Nottingham Road	4	Table drain scour	Roads Delivery	4	medium	2023-Q2	internal	not yet started	not yet submitted
OM01354	Nottingham Road	7	Washout and scouring	Roads Delivery	4	medium	2023-Q2	internal	not yet started	not yet submitted
OM00935	Old Gap Road	2	table drain erosion	Roads Delivery	4			internal	not yet started	not floods
DM01322	Wee Jasper Road	47	Erosion from flooding of Mountain	Roads Delivery	3			internal	completed	not yet submitted
24.400000	OLL C D		Creek	Dec de De la			2022 22			
DM00939	Old Gap Road	3	table drain erosion	Roads Delivery	4	high	2023-Q2	internal	in progress	not yet submitted
DM01151 DM01152	Berrebangalo Road Berrebangalo Road	5 5	table drain erosion Washout	Roads Delivery Roads Delivery	4			internal internal	completed completed	not yet submitted not yet submitted
DM01152	Berrebangalo Road	5	table drain erosion and bog	Roads Delivery	4			internal	completed	not yet submitted
OM00952	Old Gap Road	21	table drain erosion	Roads Delivery	4	high	2023-Q2	internal	in progress	not yet submitted
OM01013	Childowla Road	5	Silt build up from storm event	Roads Delivery	3			internal	completed	not yet submitted
OM01170	Old Gap Road	3	Loss of road surface	Roads Delivery	4	high	2023-Q2	internal	in progress	not yet submitted
OM01167	Murrumbateman Roa	7	Culvert washout	Engineering Services	n/a			contractor	in progress	not yet submitted

Damage	Asset	Seg	Damage Details	Department	Hierarchy	Priority	Timeline	Internal	Work	Claim
Number								External	Status	Status
OM01340 OM00938	Sawyers Gully Road Scanes Road	3	Scour table drain culvert washed out 3x1200 dia pipe culvert	Roads Delivery Roads Delivery	4	medium high	2023-Q3 2023-Q2	internal internal	not yet started in progress	not yet submitted not yet submitted
OM01226	Southdown Avenue	1	Silt build up from storm event	Roads Delivery	n/a			contractor	not yet started	not floods
OM01277	Spring Range Road	3	Pavement failure	Roads Delivery	1				not yet started	not floods
OM01209	Gums Lane	5	Washout and bog	Roads Delivery	3			internal	completed	not yet submitted
OM01278	Spring Range Road	4	Pavement failure	Roads Delivery	1				not yet started	not floods
OM01357	Old Gap Road	2	bog across road	Roads Delivery	4	high	2023-Q2	internal	in progress	not yet submitted
OM01068 OM01069	Laverstock Road Laverstock Road	5 5	Washout table drain erosion	Roads Delivery Roads Delivery	4			internal internal	completed completed	not yet submitted
OM01009	Spring Range Road	5	Pavement failure	Roads Delivery	1			internal	not yet started	not yet submitted not floods
OM01280	Spring Range Road	5	Pavement failure	Roads Delivery	1				not yet started	not floods
OM01224	Long Rail Gully Road	5	table drain erosion	Roads Delivery	4			contractor	completed	not yet submitted
OM01225	Long Rail Gully Road	5	Washout	Roads Delivery	4			contractor	completed	not yet submitted
OM01285	Spring Range Road	9	bog across road	Roads Delivery	1	medium	2023-Q2	internal	not yet started	not yet submitted
DM01281	Spring Range Road	7	Accumulation of silt in pipe and at	Roads Delivery	1				not yet started	not floods
OM01304	Mountain Creek Road	5	outlet Washout	Roads Delivery	2			internal	completed	not yet submitted
OM01282	Spring Range Road	9	table drain erosion	Roads Delivery	1			c.mai	not yet started	not floods
OM01283	Spring Range Road	9	Washout	Roads Delivery	1				not yet started	not floods
OM01284	Spring Range Road	9	table drain erosion	Roads Delivery	1				not yet started	not floods
OM00984	Sutton Grange Road	2	table drain erosion	Roads Delivery	4	medium	2023-Q3	internal	not yet started	not yet submitted
OM00985	Sutton Grange Road	3	table drain erosion	Roads Delivery	4	medium	2023-Q3	internal	not yet started	not yet submitted
OM01058 OM01359	Tangmangaroo Road	10	Scour	Roads Delivery	1	medium	2023-Q2	internal internal	not yet started	not yet submitted
OM01287	Spring Range Road Spring Range Road	10	bog across road Washout/ Bog	Roads Delivery Roads Delivery	1	medium medium	2023-Q2 2023-Q2	internal	in progress in progress	not yet submitted not yet submitted
OM01049	Tangmangaroo Road	2	Silt Debris Erosion	Roads Delivery	4	medium	2023-Q2	internal	not yet started	not yet submitted
OM01056	Tangmangaroo Road	4	Washout	Roads Delivery	4	medium	2023-Q2	internal	not yet started	not yet submitted
OM01057	Tangmangaroo Road	4	Washout	Roads Delivery	4	medium	2023-Q2	internal	not yet started	not yet submitted
OM01053	Tangmangaroo Road	7	table drain erosion	Roads Delivery	4	medium	2023-Q2	internal	not yet started	not yet submitted
OM01136	Dicks Creek Road	6	table drain erosion	Roads Delivery	3			internal	completed	not yet submitted
OM01137	Dicks Creek Road	6	Bog in road surface. Emergency repairs effected	·	3			internal	completed	not yet submitted
DM01054	Tangmangaroo Road	7	Tree debris	Roads Delivery	4	medium	2023-Q2	internal	not yet started	not yet submitted
OM01055	Tangmangaroo Road	7	Washout	Roads Delivery	4	medium	2023-Q2	internal	not yet started	not yet submitted
OM01052 OM01050	Tangmangaroo Road Tangmangaroo Road	9	table drain erosion Washout	Roads Delivery Roads Delivery	4	medium medium	2023-Q2 2023-Q2	internal internal	not yet started not yet started	not yet submitted not yet submitted
OM01051	Tangmangaroo Road	9	Washout	Roads Delivery	4	medium	2023-Q2 2023-Q2	internal	not yet started	not yet submitted
OM01011	Tomago Street	1	table drain erosion	Roads Delivery	n/a	high	2023-Q2	internal	not yet started	not yet submitted
OM00981	Wallaroo Road	6	Culvert inlet structure damaged	Roads Delivery	n/a	high	2023-Q2	internal	not yet started	not yet submitted
OM01030	Walls Junction Road	3		Roads Delivery	3	high	2023-Q2	contractor	not yet started	not yet submitted
DM01067	Laverstock Road	6	Washout	Roads Delivery	4			internal	completed	not yet submitted
OM01219 OM01220	Long Rail Gully Road Long Rail Gully Road	6	table drain erosion Washout	Roads Delivery Roads Delivery	4			contractor contractor	completed	not yet submitted not yet submitted
OM01221	Long Rail Gully Road	6	table drain erosion	Roads Delivery	4			contractor	completed completed	not yet submitted
OM01222	Long Rail Gully Road	6	Washout	Roads Delivery	4			contractor	completed	not yet submitted
OM01223	Long Rail Gully Road	6	Table Drain scours	Roads Delivery	4			contractor	completed	not yet submitted
OM01031	Walls Junction Road	3	tree fallen into road coridor	Roads Delivery	3	medium	2023-Q3	contractor	not yet started	not yet submitted
OM01305	Mountain Creek Road	6	Scour Table Drain LHS	Roads Delivery	2			internal	completed	not yet submitted
DM01306	Mountain Creek Road	6	Washout	Roads Delivery	2			internal	completed	not yet submitted
OM01293	Nanima Road	6 11	Bog in road	Roads Delivery	n/a 3			internal	not vet started	not yet submitted
OM01105 OM01104	Wargeila Road Wargeila Road	17	damage to pavement table drain erosion	Roads Delivery Roads Delivery	3				not yet started	not floods
OM01103	Wargeila Road	18	table drain erosion	Roads Delivery	3				not yet started	not floods
OM01102	Wargeila Road	19	table drain erosion	Roads Delivery	3				not yet started	not floods
OM01107	Wargeila Road	8	Debris build up at culvert inlet	Roads Delivery	3	high	2023-Q2	internal	not yet started	not yet submitted
OM01356	Black Range Road	7	Culvert pipe destroyed	Roads Delivery	2			contractor	completed	not yet submitted
OM01309	Boambolo Road	7	Bog in road	Roads Delivery	4			internal	completed	not yet submitted
OM01310 OM01106	Boambolo Road Wargeila Road	7 9	Bog in road Debris , road damage, abutment scour	Roads Delivery Roads Delivery	3	high	2023-Q2	internal internal	not yet started	not yet submitted not yet submitted
	-							contractor		
OM00982	Warrambalulah Street	All	Approaches to crossing washed out Debris	Roads Delivery	n/a	high	2023-Q2	contractor	not yet started	not yet submitted
			Stripping of bitumen							
204244	D			D I. D. I'						and the second second
DM01344	Doctors Flat Road	7	Bog in road	Roads Delivery	4	modium	2022 04	internal	completed	not yet submitted
OM01002 OM01003	Waterview Road Waterview Road	1	table drain erosion gravel washed off road surface	Roads Delivery Roads Delivery	5 5	medium medium	2023-Q4 2023-Q4	internal internal	not yet started not yet started	not yet submitted not yet submitted
OM01218	Long Rail Gully Road	7	RH table drain scour	Roads Delivery	4	culum	2020 Q4	contractor	completed	not yet submitted
OM01267	Mulligans Flat Road	7	Pavement failure	Roads Delivery	1			contractor	completed	not floods
OM01268	Mulligans Flat Road	7	Pavement failure	Roads Delivery	1			contractor	completed	not floods
OM01324	Wee Jasper Road	11	Landslip	Engineering Services	3	high	other	contractor	not yet started	not yet submitted
OM01321	Wee Jasper Road	49	Bog in road	Roads Delivery	3	high	2023-Q3	contractor	not yet started	not yet submitted
OM01275	Shingle Hill Way	7	table drain erosion	Roads Delivery	n/a	high	oth	internal	completed	not yet submitted
OM01313 OM01314	Wee Jasper Road Wee Jasper Road	51 51	Landslip Bog in Road	Engineering Services Roads Delivery	3	high high	other 2023-Q3	contractor contractor	not yet started not yet started	not yet submitted not yet submitted
OM01314	Wee Jasper Road Wee Jasper Road	53	Erosion of batter	Engineering Services	3	nign high	other	contractor	not yet started	not yet submitted
OM01020	Whitefields Road	2	table drain erosion	Roads Delivery	5	medium	2025-Q2	internal	not yet started	not yet submitted
DIVIOTOZO										







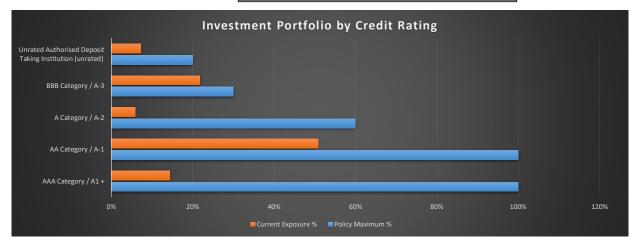
A) Council Investments as at 28 February 2023

Investment Type	Market Value \$	Credit rating	Date Lodged	Maturity date	Term (Days)	Rate
Cash Working Accounts						
NAB Working Account ¹	5,005,070.08	AA-	n/a	n/a	at call	3.35%
Tcorp Strategic Cash Facility ²	4,948,155.55	AAA	n/a	n/a	3 day call	4.18%
	9,953,225.63					
CBA	1,500,000.00	AA-	28/02/23	29/11/23	274	4.85%
CBA	1,000,000.00	A+	28/02/23	30/08/23	183	4.64%
BOQ	1,000,000.00	BBB+	08/02/23	09/08/23	182	4.40%
Great Southern Bank	1,000,000.00	NR	31/01/23	02/08/23	183	4.45%
AMP	1,000,000.00	BBB	11/01/23	12/07/23	182	4.50%
AMP	500,000.00	BBB	14/12/22	21/06/23	189	4.30%
AMP	1,500,000.00	BBB	12/12/22	14/06/23	184	4.30%
AMP	1,500,000.00	BBB	14/12/22	14/06/23	182	4.30%
NAB	1,500,000.00	AA-	25/01/23	24/05/23	119	4.05%
NAB	1,500,000.00	AA-	25/01/23	10/05/23	105	4.00%
AMP	2,000,000.00	BBB	31/10/22	03/05/23	184	4.40%
NAB	1,500,000.00	AA-	31/01/23	03/05/23	92	4.01%
NAB	1,500,000.00	AA-	23/11/22	26/04/23	154	3.97%
CBA	1,000,000.00	AA-	12/12/22	12/04/23	121	3.92%
NAB	1,500,000.00	AA-	04/01/23	05/04/23	91	3.96%
NAB	1,500,000.00	AA-	30/11/22	29/03/23	119	3.82%
Macquarie	1,000,000.00	A+	13/09/22	15/03/23	183	3.74%
Macquarie	1,000,000.00	A+	14/12/22	15/03/23	91	3.91%
MyState	1,500,000.00	Not rated	10/03/22	10/03/23	365	1.05%
Term Deposits < 12 Months						
	24,500,000.00					
Total Short Term	34,453,225.63					3.93%
Investment Property						
Hawthorn - Current Fair Value	6,688,000.00	Revalued 30 Jun	e 2022 as part of f	inancial Statemen	ts	

^{1.} The NAB account balance shown above includes deposits at month end not processed to Council's financial system and excludes cheques that have not ben presented.

b) Investment Exposure by Credit Rating Type

S&P Long Term / Short Term			
Credit Rating	Policy Maximum %	Current Exposure %	Current Investment \$
AAA Category / A1 +	100%	14.4%	4,948,155.55
AA Category / A-1	100%	50.8%	17,505,070.08
A Category / A-2	60%	5.8%	2,000,000.00
BBB Category / A-3	30%	21.8%	7,500,000.00
Unrated Authorised Deposit			
Taking Institution (unrated)	20%	7.3%	2,500,000.00
	•	100%	34,453,225.63



^{2.} Tcorp Strategic Cash Facility is an allowable investment under Ministerial Order. The % interest rate is an annualised rate. It changed from a monthly rate to an annualised rate Oct 2022

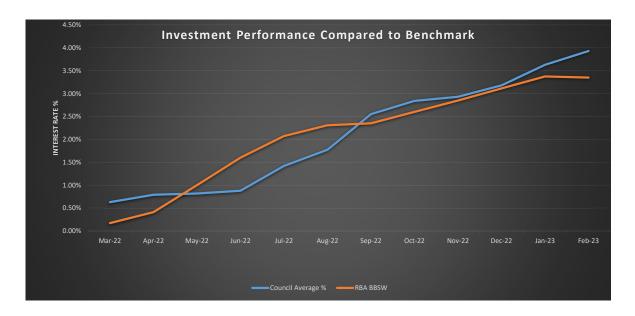
c) Exposure to a Single Institution

Institution	S&P Rating	Policy Maximum %	Current Exposure %	Current Investment \$
NAB	AA-	50%	40.65%	14,005,070.0
CBA	AA-	50%	10.16%	3,500,000.0
Macquarie	A+	30%	5.80%	2,000,000.0
BOQ	BBB+	30%	2.90%	1,000,000.0
MyState	Not rated	10%	4.35%	1,500,000.0
AMP	BBB	30%	18.87%	6,500,000.0
Great Southern Bank	Unrated	10%	2.90%	1,000,000.0
TCorp	Unrated	30%	14.36%	4,948,155.5
			100.00%	34,453,225.

d) Investment Portfolio Performance

Investment Performance vs Benchmark

	Investment Portfolio return (%pa)	Benchmark: RBA Cash Rate target
	return (%pa)	RDA Casii Rate target
1 month average	3.93%	3.35%
3 month average	3.53%	3.28%
6 month average	3.15%	2.94%
12 month average	2.10%	2.10%



Yass Valley Council

Quarterly Budget Review Statement

For the period 1/7/2022 to 31/12/2022

Report by Responsible Accounting Officer

The following statement is made in accordance with Clause 203(2) of the Local Government (General) Regulations 2005:

It is my opinion that the Quarterly Budget Review Statement for Yass Valley Council for the quarter ended 31/12/2022 indicates that Council's projected financial position at 30/6/2023 will be satisfactory at year end, having regard to the projected estimates of income and expenditure and the original budgeted income and expenditure.

Date:

Signed:

Francesco Rombola

Responsible Accounting Officer

Quarterly Budget Review Statement for the period 01/07/2022 to 31/12/2022

Yass Valley Council

Income and Expenses Budget Review Statement

Budget review for the quarter ended 31 December 2022 Income and Expenses - Council Consolidated

	Original		V	Appropriate Appropriate	200							Dec-22
(%)000\$)	10000	Other than	2000	Dioved Cilair	953			Devised	recommend		Projected	Actual
(s none)	pager	Other than by QBRS	oy WBKS	Carry	Sept	Dec	Mar	Budget	changes for	Notes	Year End	YTD
	2022/23	Amended	Balance	Forwards	QBRS	QBRS	QBRS	2022/23	Dec Qtr		Result	figures
Income												
Rates and Annual Charges	19,275	-89	19,186			90		19,276	150		19.426	19,407
User Charges and Fees	6,071	111	6,182			-111		6,071	120		6.191	2,586
Other Revenues	300	-87	213			71		284			284	95
Grants and Contributions - Operating	5,092	228	5,320			-530		4,790	00	07	4.798	1.779
Grants and Contributions - Capital	11,578	1,100	12,678		2,978	-798		14,858	-176	4	14,682	5,887
Interest and Investment Revenues	139	0	139			_		140	100		240	128
Other Income	394	0	394			0		394			394	209
Fair Value increment on Investment Property	113	-113	0			0		0			0	0
Net Gains from Disposal of Assets	1,896	-736	1,160			1,150		2,310	-2,000		310	124
Total Income from Continuing Operations	44,858	414	45,272	0	2,978	-128	0	48,122	-1,798		46,324	30,215
Expenses												
Employee Costs	15,085	440	15,525			-425		15,100	-82	1	15,018	6,768
Materials & Services	11,133	-573	10,560	620	421	759		12,360	100		12,460	6,576
Borrowing Costs	1,097	-5	1,092			-255		837			837	551
Depreciation	2,997	3,697	9,694			0		9,694			9,694	4,847
Other Expenses	880	339	1,219			-80		1,140			1,140	250
Total Expenses from Continuing Operations	34,192	3,898	38,090	620	421	0	0	39,131	18		39,149	18,992
Net Operating Result from Continuing Operations	10,666	-3,484	7,182	-620	2,557	-127	0	8,992	-1,816	1	7,176	11,223
Net Operating Result before Capital Items	(912)	(4,584)	(5,496)	(620)	(421)	671	,	(5,866)	(1,640)		(7,506)	5,336

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Quarterly Budget Review Statement for the period 01/07/2022 to 31/12/2022

Yass Valley Council

Income and Expenses Budget Review Statement

Budget review for the quarter ended 31 December 2022 Income and Expenses - Council Consolidated

30,218 18,995 Dec-22 12,372 634 497 16,233 3,258 1,067 801 1,301 12,568 11,223 Actual YTD 482 figures 2,415 7,176 1,242 5,698 2,556 Projected 46,453 39,277 Year End 27,101 Result 120 -1,816 Dec Qtr -82 100 2 Recommend changes for 250 5,780 1,507 2,415 2,556 1,242 770 8,992 Revised 336 39,259 48,251 Budget 2022/23 0 0 QBRS QBRS 0 0 Dec 2,978 2,978 548 2,430 OBRS 421 127 Approved Changes 0 -620 158 10 19 84 49 Carry 620 Amended Balance Forwards 13,950 336 1,242 770 28,975 45,273 4,901 1,497 2,396 2,472 26,825 7,182 38,091 Other than by QBRS 415 3,899 3,899 -3,484Budget 2022/23 4,901 1,497 2,396 2,472 22,926 10,666 Original 13,950 336. 1,242 770 28,560 44,858 34,192 Net Operating Result from Continuing Operations Total Expenses from Continuing Operations Total Income from Continuing Operations Our Civic Leadership Our Civic Leadership Our Infrastructure Our Infrastructure Our Environment Our Environment Our Community Our Community Our Economy Our Economy (\$,000\$)

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Yass Valley Council

Quarterly Budget Review Statement for the period 01/07/2022 to 31/12/2022

Income & Expenses Budget Review Statement Recommended changes to revised budget

Budget Variations being recommended include the following material items:

Notes	Details
	To increase the 2023 budget estimate for Rates and Annual charges so that align to the actual year to date result.
2	A \$120k increase in User Charges due to income from DA assessments. Due to the issuing of sub- division work certificates.
3	Receipt of an addition \$8K Operating Grant for the Road Safety Officer, council to supply equal funding
4	A combination of a \$320k reduction in the Commonwealth Bridging grant to reflect it inclusion in the 2021-22 financial year, added to increases in the state Regional Roads RP Grant of \$120K and an addition \$24K in State Black Grant, giving a total reduction of \$176K.
5	To increase the investment interest income by \$100k attributable to the RBA move up the cash rates in the year
6	To adjust the original budget of asset disposal's from sale proceeds to the estimated result of net gain or loss.
7	The reduction in Employee Costs is due to a transfer of \$100K from Employee costs to Materials and Services to cover contractors costs due to staff vacancies. This is reduced by the addition of \$16k for an extra days work for the safety office, this is a like for like grant with \$8K mentioned above. An additional \$1.5K was added for overtime
8	The increase in Materials and Services is due to \$100k being funded by a reduction in Employee costs. This is included in item 7 above.

Quarterly Budget Review Statement for the period 01/07/2022 to 31/12/2022

Yass Valley Council

Capital Budget Review Statement

Budget review for the quarter ended 31 December 2022 Capital Budget - Council Consolidated

	Original		App	Approved Changes	des		***************************************	Revised	Recommend	Projected	Dec-22 Actual
(\$,000\$)	Budget	Other than by QBRS	QBRS	Carry	Sept	Dec	Mar	Budget	changes for		YTD
	2022/23	Amended	Balance	Forwards	QBRS	QBRS	QBRS	2022/23	Dec Otr	Result	figures
Capital Expenditure											
New Assets											
- Plant & Equipment	3,606							3,606		3,606	
- Land & Buildings	0			57				57		22 :	
- Roads, Bridges, Footpaths	0							0	490	490	
- Stormwater	0							0		0	
- Water Supply Network	0							0		0	
- Sewerage Network	0							0		0	
- Waste	0							0		0	
Renewal Assets (Replacement)	0							0			
- Plant & Equipment	0							0		0	213
- Land & Buildings	1,205				798			2,003		2,003	54
- Roads, Bridges, Footpaths	9,407			1,329	3,356			14,092		14,092	2,520
- Stormwater	0							0		0	
- Water Supply Network	4,312			869	128			5,309		5,309	760
- Sewerage Network	1,350			412	-280			1,482		1,482	219
- Other Open Space/Recreational Assets	3,021			152	825			3,998		3,998	962
- Waste	415			471	18			904		904	143
Loan Repayments (Principal)	682							682		682	362
Total Capital Expenditure	23,998	0	0	3,290	4,845	0	0	32,133	490	32,623	5,067
Capital Funding											
Rates & Other Unfied Funding	1,952			107	629			2,718		2,718	2,067
Capital Grants & Contributions	11,955			658	4,271			16,884	80	16,964	
Reserves:											
 External Restrictions/Reserves 	6,077			2,377	-85			8,369	410	8,779	
 Internal Restrictions/Reserves 	4,014			148				4,162		4,162	
New Loans	0							0		0	
Receipts from Sale of Assets										m² - mm -	
- Plant & Equipment	0							0		0	
Total Capital Funding	23,998	0	0	3,290	4,845	0	0	32,133	490	32,623	5,067
Net Capital Funding - Surplus/(Deficit)	•	1						r	-	*	-
	NATURAL DESCRIPTION OF THE PROPERTY OF THE PRO					тителители	TO THE PARTY AND	WARRIED TO THE THE PROPERTY OF THE PROPERTY OF	THE TOTAL OF THE TAXABLE PROPERTY OF TAXAB		and the second s

This statement forms part of Council's Quarterly Budget Review Statement (QBRS) for the quarter ended 30/09/2020 and should be read in conjunction with the total QBRS report

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Yass Valley Council

Quarterly Budget Review Statement

for the period 01/07/2022 to 31/12/2022

Capital Budget Review Statement Recommended changes to revised budget

Budget Variations being recommended include the following material items:

	Ph. 4 11
Notes	Details

	The Increase of \$490K for infrastructure projects is made up of a combination of new projects and additional fundings to existing projects. These include:
7	A) A change in the funding source for the Jeir Creek Nanima Low Level replacement project. \$410k of previously identified Funding from Bridge Renewal Grant round 5 has been replaced by \$711 funds ha a zero affect on this line, but is included for completeness.
	B) A combination of changes to funding on various projects including some new projects: > Back Creek Road low level replacement an additional \$75K, plus two increase of \$25K each to both Murrumbateman Creek Bridge - Greenwood road, and Yass River Bridge, Greenwood Road. Totalling \$125K funded form the Bridge Renewal Round 5.
	> Back Creek Road Rehabilitation \$250K funded from FLR Round 4.
	> A reduction of \$5K on the Yass Rail Trail Design.
	Giving a total of \$370K (75+25+25+250-5 = 370)
	And additional \$120K in RRRP funding.
	Making a grand movement of (370+120 = 490)
	The \$80K movement is made up of a combination of changes to funding on various projects including some new projects:
	> Back Creek Road low level replacement an additional \$75K, plus two increase of \$25K each to both Murrumbateman Creek Bridge - Greenwood road, and Yass River Bridge, Greenwood Road. Totalling
2	\$125K funded form the Bridge Renewal Round 5.
	> Back Creek Road Rehabilitation \$250K funded from FLR Round 4. > A reduction of \$5K on the Yass Rail Trail Design.
	Giving a total of \$370K (75+25+25+250-5 = 370)
	And additional \$120K in RRRP funding.
	Making a grand movement of (370+120-410 = 80)
***************************************	The Reduction in external restrictions/Reserves relates to the Jeir Creek Nanima Low level
3	Ireplacement project and it now being partially funded to the amount of \$410K from the \$7.11 reserve.

Quarterly Budget Review Statemen for the period 01/07/2022 to 31/12/202

Yass Valley Council

Cash & Investments Budget Review Statement

Budget review for the quarter ended 31 December 2022 Cash & Investments - Council Consolidated

	Opening	AF	Approved Changes	iges			Revised	Recommend		Projected	Dec-2
(\$000,s)	Balance 2022/23	Other than by QBRS	Carry	Sept	Dec	Mar	Balance		Notes	Year End	YTD
Externally Restricted (1)			- Olwald	CADA	CDUS	CDKS	2022123	Dec Qtr		Result	figures
Unexpended Grants	4,873						4 873	490		5 363	2003
Water Supplies	3,738						3 738	2		3,200	2,200
Sewerage Services	4,222						4 222			0,730	7,730
Waste Management	2,993						2,22,			7,222	2,727
Stormwater Management	250						250			250	250
S64 Water	3,040						3.040			3 040	3 040
S64 Sewer	1,026						1.026			1,026	2,040
S7.11 Yass Valley Council Area	6,656						6.656	-410		6 246	6.246
Total Externally Restricted	26,798	0	0	0	0	0	26,798	80	1	26,878	26.878
(1) Funds that must be spent for a specific purpose											
Internally Restricted (2)											
Plant & Vehicle Renlacement	1 006										
Employed Logo Entitlement	1,906						1,906			1,906	1,906
Employee Leave Emmement	919						919			919	919
Binalong Pool	22						22			22	22
Comur Street Rehabilitation	20						20			20	20
Infrastructure-land and assets	1,453						1,453			1.453	1 453
Local Government Elections	135						135			135	135
Murrumbateman S355	123						123			123	123
Quarry Rehabilitation	106						106			106	106
Roads	44						44			77	00-
Victoria Park	578						578			44 4	444
Electricity Savings Reserve	97						070			0.00	27.0
General Revenue Carry Forward	691		-691				5			00	9.
Financial assistance grant (advance)	2.756		-2 756				00		n •	0 0	O
Total Internally Restricted	8,850	0	-3,447	0	0	0	5,403	0	7	5.403	5.403
(2) Funds that Council has earmarked for a specific purpose											
Unrestricted (i.e., available after the above Restrict	27	0	3,447	0	0	0	3,474	-80		3,394	2,695
Total Cash & Investments	35,675						35.675	0		35 675	37 076
								,		20,00	04,010

This statement forms part of Council's Quarterly Budget Review Statement (QBRS) for the quarter ended 30/09/2021 and should be read in conjunction with the total QBRS report

Yass Valley Council

Quarterly Budget Review Statement

for the period 01/07/2022 to 31/12/2022

Cash & Investments Budget Review Statement

Comment on Cash & Investments Position

Investments

Investments have been invested in accordance with Council's Investment Policy.

Cash

The Cash at Bank figure included in the Cash & Investment Statement totals \$34,082,711

This Cash at Bank amount has been reconciled to Council's physical Bank Statements. The date of completion of this bank reconciliation is 31/12/2022

The YTD Cash & Investment figure reconciles to the actual balances held as follows:

Reconciliation Status

	3	·
	Bank (as per bank statements) ents on Hand	4,476 30,500
Recond	iled Cash at Bank & Investments	34,976
Balance	e as per Review Statement:	34,976
Differen	ce:	-
1	The Increase of \$490K is made up of a combination of new projects and additional projects. These include: A) A change in the funding source for the Jeir Creek Nanin replacement project. \$410k of previously identified Funding from Bridge Renewal G been replaced by \$711 funds has a zero affect on this line, but is included for comp B) A combination of changes to funding on various projects including some new pro > Back Creek Road low level replacement an additional \$75K, plus two increase of Murrumbateman Creek Bridge - Greenwood road, and Yass River Bridge, Greenwo \$125K funded form the Bridge Renewal Round 5. > Back Creek Road Rehabilitation from FLR Round 4. > A reduction of \$5K on the Yass Rail Trail Design. Giving a total of \$370K (75+25+25+250-5 = 370) And additional \$120K in RRRP funding. Making a grand movement of (370+120 = 490)	na Low Level Grant round 5 has bleteness. ojects: f \$25K each to both bood Road. Totalling
2	A change in the funding source for the Jeir Creek Nanima Low Level replacement previously identified as being Funded from Bridge Renewal Grant round 5 has been The use of S7.11 funds is reflected here.	
3	In the previously reported and adopted Carry forward and Revote report, Monies fo Reserve where released from the reserve as a budgeted amount. This had no cash	
4	In the previously reported and adopted Carry forward and Revote report, Monies fo Assistance Grant Reserve where released from the reserve as a budgeted amount affect.	

\$ 000's

12.1 % (1 digit)

1. Operating Performance

Graph Number Format

Extra Ratio 19/20

ь	1	2

Quarterly Budget Review Statement for the period 01/10/22 to 31/12/22

Key Performance Indicators Budget Review Statement - Industry KPI's (OLG)

Yass Valley Council

Budget review for the quarter ended 31 December 2022

	Current Pro	jection	Original	Actuals
(\$000,8)		Indicator	Budget	Prior Period
	22/23	22/23	22/23	21/22 20/2

(\$,000	Amounts Indicator	Indicator	Budget	Prior Period	eriod
	22/23	22/23	22/23	21/22 20/	20/
SW Local Government Industry Key Performance Indicators (OLG):	ors (OLG):				
Operating Performance					
perating Revenue (excl. Capital) - Operating Expenses	7,900	26 3 0/	7 67 0/	10 TO N	1 26
perating Revenue (excl. Capital Grants & Contributions)	31,249	-25.5 /0	31,249 -23.3 % 1.07 % 4.01 %	10.4	5

obtained. These are one off grants that the State and Federal Governments have offered to stimulate the economy due to the impacts of COVID-19. These funds will be used to fast track Councils capital works program. It is important to note that the value of Capital Grants in 2020/21 is double the amount received in 2019/20. This ratio has decreased to be under the benchmark primanly due to the volume of Capital Grants the council has

In the 2020/21 Financial year, Council has been able to secure approximately \$20M in grant funding to fund the Capital Works program. This funding has been provided by the State and Federal Government as part of their

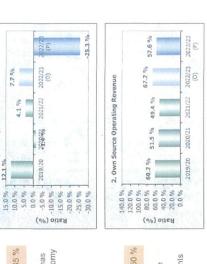
67.15%

% 9.75

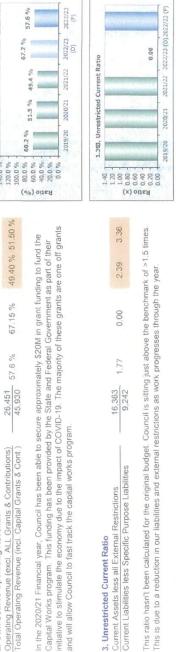
26,451

Operating Revenue (excl. ALL Grants & Contributions)
Total Operating Revenue (incl. Capital Grants & Cont.)

2. Own Source Operating Revenue



60.2 % (1 digit)



1.39 #.## (2 digit)

(x)	0000
3.36	mes.
2.39	ark of >1.5 te year.
0.00	s sitting just above the benchmark of >1.5 to sa work progresses through the year.
1.77	just abov
16,363	incil is sitting

This ratio hasn't been calculated for the original budget. Cour This is due to a reduction in our liabilities and external restric

Current Assets less all External Restrictions

3. Unrestricted Current Ratio

Quarterly Budget Review Statement for the period 01/10/22 to 31/12/22

Yass Valley Council

Contracts Budget Review Statement

Budget review for the quarter ended 31 December 2022

Part A - Contracts Listing - contracts entered into during the financial Year to date.

				***************************************	***************************************		regulation de contraction de contrac	
Duration of Contract	one off	12-Sep-22	one off	5 Months	One off	30/06/2023	30/06/2023	5-Dec-22
Start or Awarded Date	1-Jul-22	29-Aug-22	23-Sep-22	1-Nov-22	7-Nov-22	28-Oct-22	28-Oct-22	5-0cl-22
Confract Value	\$160,325	\$130,820	\$48,900	\$514,914	\$124,667	\$1,328,351	\$2,889,297	\$22,000
Contractor	Clark Equipment Sales Pty Ltd, 36-38 Barrier St Fyshwick ACT 2609	Southern Cross Ag and Trucking Pty Ltd	Rogers-Willex, 3 Antimony Street Carole Park, QLD, 4300	Interflow Pty Ltd	TORO Australia Group Sales PTY LTD, 53 Howards Road BEVERLY SA 5009	Complete Civil Pty Ltd PO Box 161 Yass NSW 2582	Allan Casey Lentro Earthworks Pty Ltd 342 Walfaroo Road Wallaroo, NSW 2618	Southern Commercial Divers PO Box 174 Albion Park NSW 2527
Contract detail & purpose	Supply and Delivery of Skid steer loader and attachments	Yass Sewerage Treatment Plant Sludge Dewatering	Supply and Delivery of 1 x Skid Steer Trailer with attachment rack	Yass Sewer Relining Project	Supply and Delivery a Large Area Rotary Mower	Jeir Creek Bridge - Nanima Road	Back Creek Road Upgrade - Stage 1	Cleaning of drinking water supply reservoirs

10

Yass Valley Council

6.12

Quarterly Budget Review Statement

for the period 01/07/2022 to 31/12/2022

Consultancy & Legal Expenses Budget Review Statement

Consultancy & Legal Expenses Overview

Expense	YTD Expenditure (Actual Dollars)	Budgeted (Y/N)
Consultancies	140,912	Υ
Legal Fees	25,556	Y

Definition of a consultant:

A consultant is a person or organisation engaged under contract on a temporary basis to provide recommendations or high level specialist or professional advice to assist decision making by management. Generally it is the advisory nature of the work that differentiates a consultant from other contractors.

The year to date consultancy expenses and legal fees are falling within budget estimates.
Details
Expenditure included in the above YTD figure but not budgeted includes:
Comments





Building Consultants
~
Building Investigations
~
Expert Advice
~
Scopes of Work

SPECIAL PURPOSE INSPECTION DILAPIDATION REPORT

Inspector's Name:

George Pudja

ADDRESS:	Yass Memorial Hall 82-94 Comur Street YASS NSW 2582
REPORT PREPARED FOR:	Yass Valley Council 209 Comur Street YASS NSW 2582
PHONE:	(02) 6226 1477
EMAIL:	Seamus.McGurk@yass.nsw.gov.au
DATE ATTENDED:	27 – 29 April 2021

128 Gilmore Road

Queanbeyan NSW 2620

ABN: 13 620 282 439

P: 02 6297 7716

E: george@peakconsulting.com.au

Site Inspection

In accordance with your request, the consultant inspected the subject property.

The purpose of this inspection was to inspect the condition and compile a report listing areas that display visible dilapidation observed at the time.

The terms of reference are as follows:

Conduct a non-invasive, non-forensic, visual inspection and determine/identify the condition and dilapidation status, documenting each area / item assessed including recording digital photographs to demonstrate the inspection findings and report on:

- 1. Roof condition.
- Subfloor and first floor condition. Provide additional separate report for the kitchen area if deemed warrantable based on the findings, opinions and any urgent recommendations that would be forthcoming based on the assessment of this kitchen area.
- 3. Condition of the exterior and interior wall surfaces.
- 4. Compliancy of access and egress points throughout the building.
- 5. Compliancy of the steps and stairs throughout the building.
- 6. Compliancy of electrical reticulation and installation throughout the building.
- 7. Compliancy of fire safety compliance installed throughout the building.
- 8. Presence and management of asbestos throughout the building.
- 9. Dilapidation status of paint application both internally and externally throughout the building.
- 10. Status of plumbing and drainage throughout the building.
- 11. Serviceability condition of exterior doors and windows of the building.
- 12. Condition and compliancy of balconies both internally and externally of the building.
- 13. Investigate the source of dampness emanating from areas presenting with evidence of mould throughout the building.
- 14. Assess and provide priority order of above items that require addressing in order to achieve safety and compliance and protect the amenity of the building.
- 15. Provide cost estimates for the above items assessed and reported on.

Google Maps Image of Property (for reference):





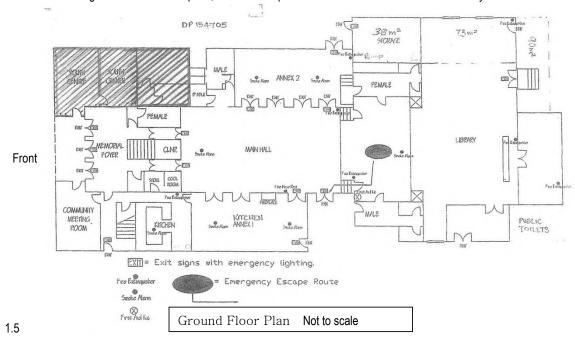


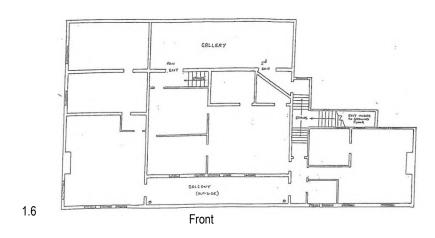
Peak Consulting

128 Gilmore Road Queanbeyan NSW 2620 ABN: 13 620 282 439 1 September 2021

1. Overview / Acceptance Criteria

- 1.1 The building is located at 82-94 Comur Street, Yass NSW.
- 1.2 The building was established in the period 1922 to 1923 as a WWI memorial hall and is a two-storey building that forms a combination of Class 5 Office spaces and Class 9b Assembly building.
- 1.3 There have been additions to the building over the years and now the building is used as a WWI memorial, assembly building, historical archive store, a public library and public toilet facilities at the rear of the building.
- 1.4 The building construction is complete, and the floor plan sketches below illustrate the current layout.





First Floor Plan Not to scale



2. Executive Summary

- 2.1 The following table summarises the issues identified, assigns a priority of repairs and provides a cost estimate to carry out such remediation.
- 2.2 The priority designations are as follows;
 - 2.2.1 Priority #1 This designation means that the defect should be addressed 'ASAP', and it affects the following aspects of the building (1) the 'structural integrity of the building' or (2) it affects the 'health and safety of the occupants', or (3) it is 'work needs to be carried out in order for other remediation to be allowed to proceed'.
 - 2.2.2 <u>Priority #2 –</u> This designation means that the defect should be addressed 'within the next 12 months', and while the remediation is considered important, it is not considered urgent.
 - 2.2.3 Priority #3 This designation means that the defect should be addressed 'within the next 24 months' and is considered part of normal, regular maintenance.
- 2.3 The cost estimate is based on current square metre rates for the various trades and materials, which also includes 20% Builders Margin and 10% GST. Please Note: These are estimates and allowances and are a guide only.
- 2.4 Special note: these cost estimates are that compiled by the author and are based on the skills and experience of the author and in some cases, enquiries made from the market place. These estimated costings should not be relied upon as firm prices for the rectification. Actual tenders from suitably qualified contractors should be sought in order to properly test the market in obtaining market dictated costs to upgrade and reinstate the items noted in this report herein.
- 2.5 The cost estimates in the tables below are based the consultant's opinion and experience gained through building industry related practice spanning 26 years. The costs are based on the non-invasive inspection. Some rectification work may require removal and disassembly of components which may reveal further defects and latent damage. Additional rectification and subsequent cost may apply.

Issue.	Description.	Priority.	Scope of works.	Cost estimate.
Roof Defects	All roof sheeting to Memorial Hall, Annexes and Library. All water ingress is considered a 'Structural defect'.	#1	 Include all traffic and pedestrian controls. Site establishment costs, waste disposal skip bins, Scaffolding. Removal and disposal of all current roofing. Modifications to roof framing and pitch to accommodate deeper box gutters and new overflows. Supply and install of new sheeting, flashing, capping and guttering throughout. Please Note: This work must be coordinated with any masonry wall repairs that require partial demolition and rebuilding. 	\$416,000.00



Peak Consulting

128 Gilmore Road Queanbeyan NSW 2620 ABN: 13 620 282 439 1 September 2021

Issue.	Description.	Priority.	Scope of works.	Cost estimate.
Window defects	 All timber windows and doors that show exterior deterioration to paint or framing require repairs and repainting. This also applies to exterior doors. 	#3	Once roof repairs have been carried out, provide adequate scaffolding and safe work platforms around all windows. In accordance with Keane Environmental Lead Paint Register report, and in strict accordance with relevant codes, remove existing paint and repaint all windows and doors where required.	\$130,416.00
Brick cracking	Areas of significant cracking that require partial demolition and rebuilding. Areas where cracking	#1 #2	Support roof structure and deconstruct masonry walls that require partial rebuilding; rear corner of library and around right side entry to Memorial Hall. Where vertical cracking has	\$59,136.00
	requires formation of an articulation joint.	"2	occurred, cut 10mm wide articulation joints along line of cracks, insert foam backing rod and seal with colour matched polyurethane.	
	Areas where cracks can be sealed with a colour matched caulking or missing bricks can be inserted and repointed.	#3	Seal small cracks 4mm or less with colour matched polyurethane.	
Balcony waterproofing	Front balcony waterproofing and extension rail to balustrade to achieve compliance of 1000mm high.	#1	 Remove existing sheet membrane and screed. Improve size of drains to 90mmø. Supply and install new screed and trafficable sheet membrane with adequate falls and upturn, with all details in accordance with AS 4654.2 	\$13,860.00



Peak Consulting 128 Gilmore Road

128 Gilmore Road Queanbeyan NSW 2620 ABN: 13 620 282 439 1 September 2021

Issue.	Description.	Priority.	Scope of works.	Cost estimate.
Floor repairs	Repair damage to kitchen floor and male toilet floor.	#1	 Remove existing floor covering. Replace damage flooring timbers and supply and fit new flooring to match existing finishes in strict accordance with relevant Australian Standards. 	\$27,256.00
Electrical	All electrical items listed in Austin Electrical report that are considered urgent. All ethes items listed in	#1	Replace recalled Eaton RCDs, tidy cabling that has bare cabling showing. Make safe all redundant cabling inside and outside. Remove lighting that is unsafe e.g. stage floor lighting, and any hanging lighting that is not properly fixed to structures. Remove lighting in water damaged areas. All redundant publics has	\$145,860.00
	All other items listed in Austin Electrical report.	#2	All redundant cabling be removed. Cabling to be replaced if any works are carried out. Light fitting to be replaced with suitable LED replacements. Extra GPO's in library due to power boards being currently used. Switchboards to be replaced and installed at heights that comply with AS3000.	
Plumbing, Drainage and sewerage.	 The plumbing, drainage and sewerage services throughout the complex. Execute recommended maintenance and repairs as noted in the Beyond Plumbing report. 	#3	Conduct maintenance and repairs as noted in the report, although there is not much significant repairs to be done and the work is mostly maintenance, cleaning and repairs to stormwater lines and sewer lines.	\$16,262.00



Issue.	Description.	Priority.	Scope of works.	Cost estimate.
Asbestos	The Asbestos register report and the Asbestos management plan prepared by Keane Environmental identified mostly Low to Very Low risk of exposure. However, the asbestos materials will be disturbed by other during remediation works and therefore, should be removed prior to commencement of all other works.	#1	The recommended actions are detailed in the asbestos register, however the asbestos material noted in the register must be removed prior to any refurbishment or demolition work commencing at the property. Remove and dispose of all asbestos materials in accordance with local government requirements and the Keane Asbestos Management Plan.	\$65,049.00
Fire Safety	Refer to Item #5. Fire safety design assessment in the Warrington Fire – Fire Safety Design Advice report.	#1	 Since these recommendations affect the health and safety of the occupants and users of the Memorial Hall, they should be considered a priority. Conduct all recommended upgrades to fire exist doors, fire stairs, handrails and balustrades, door latch mechanisms, street fire hydrant reach issues for library, fire hose reel locations, fire extinguisher locations, exit and direction signage improvements, improvements to gallery seating spacing and balustrade height, and isle lighting requirements. Some of these items my require additional input from a fire engineer. 	\$114,048.00



Peak Consulting 128 Gilmore Road

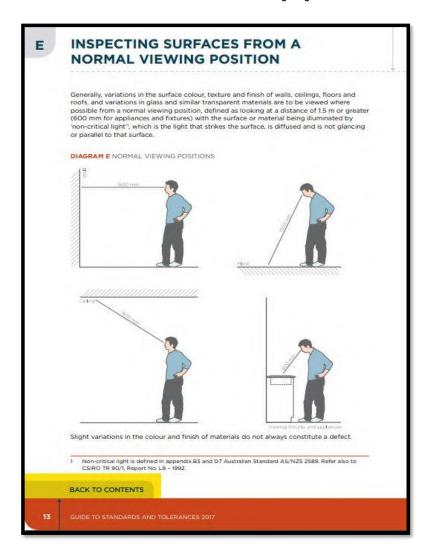
128 Gilmore Road Queanbeyan NSW 2620 ABN: 13 620 282 439 1 September 2021

Issue.	Description.	Priority.	Scope of works.	Cost estimate.	
Plastering and Painting.	All walls, ceilings, cornice trims etc., that have suffered water damage throughout the complex.	#2	 Supply floor cover protection and dust covers as needed. Supply scaffolding for high ceiling areas. Ensure all archive items are covered and protected. Remove and replace damaged ceiling linings and cornice trims where required. Patch, sand and prepare all areas for painting. Supply and apply minimum two (2) coats of Interior wash and wear paint to all interior surfaces. Exterior painting, where required, to be coordinated with other exterior works. Clean all areas and dispose of debris. 	\$44,370.00	
Timber flooring	Main memorial Hall	#3	 Replace any damaged timber floorboards with matching boards, as close as practicable. Sand and refinish all floorboard in Memorial Hall. 	\$29,568.00	
TOTAL COST	g .	cluding 20% Builder's margin and 10% GST. Please Note: These are support the state of the stat			



3. Assessment (Methodology)

- 3.1 A digital camera was used to record images.
- 3.2 A measuring tool was used to measure the size and severity of cracks.
- 3.3 The assessment of items is based on careful visual examination of the Readily Accessible Areas of the property. The visual inspection was conducted in accordance with AS 4349.0 (Inspection of Buildings) and the Guide to Standards and Tolerances 2017 as shown in the following diagram:

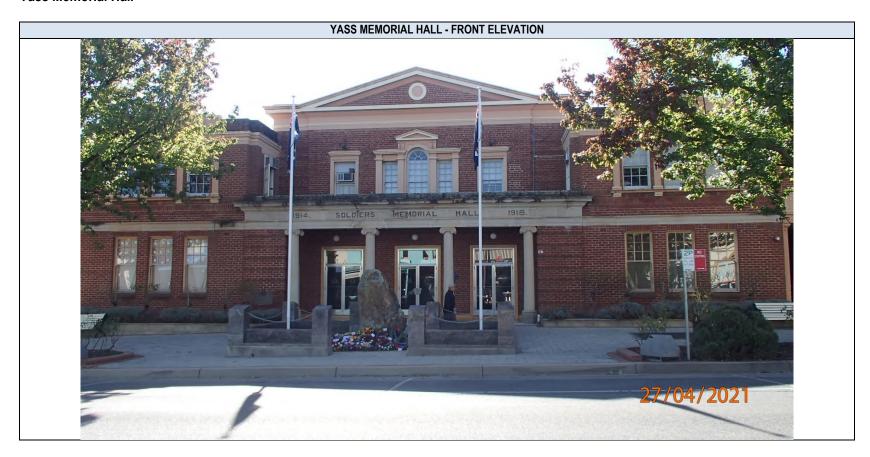


4. Inspection Findings

- 4.1 The following table defines items which were noted as defective or displaying cracking or any other form of damage at the time of the conducted inspection.
- 4.2 Areas of concern are underlined for easy reference, and generally require some remediation.



Yass Memorial Hall





128 Gilmore Road Queanbeyan NSW 2620 ABN: 13 620 282 439 1 September 2021



YASS MEMORIAL HALL - LEFT SIDE ELEVATION – VIEW TOWARDS LIBRARY AT REAR



YASS MEMORIAL HALL - RIGHT SIDE ELEVATION WITH COVERED WALKWAY – VIEW TOWARDS LIBRARY AT REAR











128 Gilmore Road Queanbeyan NSW 2620 ABN: 13 620 282 439 1 September 2021

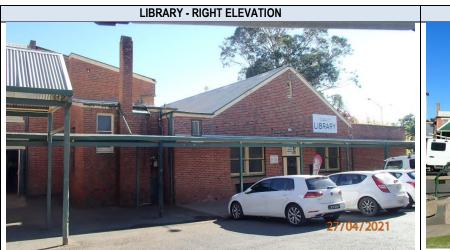
Library





i can consuming

128 Gilmore Road Queanbeyan NSW 2620 ABN: 13 620 282 439 1 September 2021





LIBRARY - LEFT REAR ELEVATION





Table 1: List of Findings

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
1	First floor balcony above main entry to the Memorial Hall.	The first-floor balcony above the main entry to the Memorial Hall measures 12.372m x 2.386m = 29.521m². The balcony consists of bituminous torch-on waterproof membrane burned up against the walls and the parapet approximately 150mm above balcony level which is reduced at doorways at either end to approximately 100mm and the doorway into the archive area has a step where the membrane upturn is approximately 20mm. There are sections of the balcony where sediment collects, which suggests inadequate falls in those areas. The balcony is serviced by two floor wastes with openings of approximately 60mm, which feed into ground PVC spigots, 90mm in diameter which then feeds into rectangular downpipes. A metal pressure flashing is fitted around the perimeter of the waterproofing upturn with nylon anchor fixings at approximately 320mm intervals. A digital level was used to measure gradient falls on the balcony which revealed slopes away from the doors and building envelope of approximately 23mm per metre, while areas where sediment watermarks can be seen have falls of 3mm or less, which is consistent with the areas of ponding water.	B 12372 1237



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
2	First floor balcony above main entry to the Memorial Hall.	The sandstone balustrade measures at 850mm in height from the finished balcony level. The minimum required balustrade height is 1000mm and consideration should be given to fitting a sympathetic value straight extension rail in order to achieve compliance with current building code requirements.	27/04/2021



i can consuming 128 Gilmore Road Queanbeyan NSW 2620 ABN: 13 620 282 439

1 September 2021

Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE			
FRONT	RONT EXTERIOR FAÇADE – BALCONY LEVEL					
3	Ends of first floor balcony.	There are redundant embedded steel fixtures projecting from the brick façade at either end of the first floor balcony which appear to be remnants from previous roof access ladders. Consideration should be given to removal of these items which currently present as a potential safety hazard to anyone trafficking or working on the balcony.				



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
4	Front façade, first floor balcony.	Old, galvanised iron conduits/water pipes are surface mounted and not secured on the façade, and consideration should be given to removal. The electrical conduits that are surface mounted can also be seen which provide power for external power points and floodlights and consideration should be given to rerouting these, so they are not visible on the front elevation.	27/04/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
5	Front façade, first floor balcony.	The original light fixtures on the front façade show evidence of deterioration to the original timber mounting blocks and consideration should be given to salvaging the fixtures while sealing and upgrading the electrical wiring and mounting blocks.	
			27/04/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
6	Windows and doors facing first floor balcony.	The external timber windows and doors facing the first-floor balcony present with weathering and deterioration to the paint finish and glazing party. These external timber elements could be treated holistically by stripping back old paint, conducting repairs and/or replacement of damaged timber elements and repainting for long-term protection.	27/04/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
7	Right side wall at balcony level.	The right-side wall projection at balcony level presents with movement cracks between perpendicular walls, which was measured at approximately 12mm at the top of the wall (parapet level). The left side wall projection also displays some movement and cracking, along with previous patching, although it is not as significant as that observed on the right side. The crack width indicates the cracking is classified as Category 3. The NSW Guide to Standards and Tolerances, Part 3.2 Damage to masonry walls (Refer to Table 3.02 on Page 24).states the following; "Category 3 or greater damage to walls is defective and requires investigation, stabilisation, monitoring and rectification work, which may include breaking out and replacing sections of the wall." Smaller cracks can be sealed with a colour matched polyurethane to prevent moisture entry and accommodate future movement.	7/04:2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
ROOF			
8	Roof, front left corner over the meeting room on the first-floor level of the archive area.	These images are an overview of the roof over the meeting room on the first-floor level of the archive area at the front left comer of the building. The corrugated roof sheet, capping and flashing presents with gaps in multiple areas and the shallow gutters lack depth and overflow provisions.	23/04/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
9	Roof over the meeting room on the first-floor level of the archive area, front left corner of the building.	The roof sheeting is corrugated iron, which presents with indentations, gaps at joints and around strip lead flashings. The box gutter design does not comply with current stormwater box gutter design requirements as it lacks depth and falls, along with non-compliant change of direction to main drainage points and a lack of any overflow provisions. There are also extensive loose or missing screws, some which have been replaced with new roofing screws. There are four makeshift roof safety anchor points visible on this section of roof which would not meet current roof safety standard requirements. Removal and replacement of the roof sheeting, flashing, capping and gutters is recommended, along with overflow improvements.	27 104 72031 27 104 72031



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
10	Masonry parapet walls either side of valley gutter of the corrugated roofs at the front left corner of the building.	There is evidence of cracking to the masonry parapet walls at either end of the valley gutter. This cracking extends the full height of the wall on the left side elevation and consideration should be given to providing an articulation joint in these areas. The crack width indicates the cracking is classified as Category 3. The NSW Guide to Standards and Tolerances, Part 3.2 Damage to masonry walls (Refer to Table 3.02 0n Page 24).states the following; "Category 3 or greater damage to walls is defective and requires investigation, stabilisation, monitoring and rectification work, which may include breaking out and replacing sections of the wall."	27/04/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
11	Original cement into the parapet walls either side of valley gutter at the front left corner of the building.	in most areas leaving previously embedded flashings exposed and now	27/04/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
12	Small roof, left side of building.	The small roof on the left side of the building behind the meeting room also presents with similar defects are noted to the roof sheeting and flashing, with gaps, indentation and loose screws.	27/04/2021



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Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
13	Corrugated roof over the archives and Memorial Hall mezzanine seating level.	These images are an overview of the corrugated roof over the archive and Memorial Hall mezzanine seating level. This roof also presents with roofing screw issues and sagging in the roof due to damaged roof batten below and flashing issues around the roof and box gutter. See below for further images.	77-104/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
14	Box guttering, corrugated roof over the archives and Memorial Hall mezzanine seating level.	The box gutter servicing this roof has been replaced in the past, although there are still visible defects, gaps and fixing issues with the adjoining parapet flashing near the box gutter and around the perimeter of the roof.	27/04/2021
			227 ON 1 2021
		27/04/2021	27/04/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
15	Corrugated roof over the archives and Memorial Hall mezzanine seating level.	A section of the roof presents with movement underfoot, suggesting there may be cracking to the structure below. This area requires maintenance, repairs and stiffening.	27/04/2027



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
16	Box gutter, corrugated roof over the archives and Memorial Hall mezzanine seating level.	The box gutter is serviced by two main drainage points at either end of the roof which flow into rainwater heads on the other side of the parapet which then discharge onto roof valleys and roofs below. Every downstream overflow, rainwater head and downpipe is accepting more and more capacity from a larger roof area. Accordingly, these items need to increase in size in order to accept more consolidated roof areas, gutters and overall total water catchment.	27/04/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
I I LIVI	LOCATION	BESCHI TION / OVERVIEW / TINDINGS	INFACE REFERENCE
17	Adjoining roof parapet over the main Memorial Hall.	This image illustrates timber louvres built into the adjoining roof parapet which provides roof ventilation over the main Memorial Hall. The timber louvres presents with weathering and deterioration which requires maintenance, repairs and repainting for long-term protection.	27/04/2021
18	Pitched corrugated roof over the archive offices below, front right corner of the building.	This image is an overview of the pitched corrugated roof over the archive offices below, front right corner of the building. This roof area suffers from significant leakage into the offices below and replacement of the roof sheeting, capping, flashing and guttering should be considered.	27/04/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
19	Pitched corrugated roof over the archive offices below, front right corner of the building.		27/04/2021
		27/04/2021	



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
19	Pitched corrugated roof, covered link, right-hand side of Memorial Hall building.	This image is an overview of the pitched corrugated roof and covered link roof on the right-hand side of the building. This section of roof also presents with loose roof sheets fixing, indentation to roof sheeting, gaps between roof sheets, joints, visible gaps and defects to the apron flashing.	
20	Pitched corrugated roof, covered link, right-hand side of building, Memorial Hall under discharge joint for the roof gutter.	and secured with screws, which are not proper roofing screws and have	27/04/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
21	Pitched corrugated roof, covered link, right-hand side of Memorial Hall building.	This image illustrates loose roof sheeting over the same section of roof as shown in the images above.	227/04/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
22	Annex 1 - Pitched roofs right side of the main Memorial Hall.		27/04/2021
			27/08/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
23	Upper level windows, main Memorial Hall.	The upper level windows of the main Memorial Hall present with significant weathering and deterioration which requires significant maintenance and repairs, and painting for long-term protection.	27/04/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
24	Timber fascia and gutters, main Memorial Hall.	The timber fascia on the edge of the main Memorial Hall roof presents with significant weathering and deterioration from numerous gutter leakage points. Consideration should be given to replacement of this section of fascia with a more durable colorbond fascia trim. The roof gutters themselves present with leakage sagging and consideration should be given to replacement.	
		27/04/2021	2/10472021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
25	Small skillion roof over male toilets right of the stage in the memorial hall.	The small skillion roof over the male toilets on the right-hand side of the Memorial Hall building, presents with loose screw fixing, indentation to sheeting and gaps between sheeting. (See also Item # 32, page 45 of this report).	27/04/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
26	Main Memorial Hall, pitched roof.	These are overview images of the main Memorial Hall pitched roof, which presents with the same defects as other corrugated pitched roofs. One of the roof vents is not secured properly and tends to lean over creating gaps around the surrounding flashing, creating potential bypass leakage points. The area below this exhaust shows water marks to the ceiling lining and staining to the floorboards within the Memorial hall.	27/04/2011



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
27	Roof over the archive and mezzanine floor level of Memorial Hall.	The roof gutter discharge into the rainwater head from the roof over the archive and mezzanine floor level of Memorial hall does not have adequate fall and allows moisture to build up creating a leak past the underside of the gutter via capillary action. This, along with most other box gutters require reconfiguration to improve falls, provide additional overflows and improve the main discharge points along with the receiving rainwater heads.	27/04/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
28	Main Memorial Hall roof.	The main Memorial Hall roof is pitched towards an adjoining brick wall, which is serviced by a box gutter that presents with cracking to the joining apron flashing, along with gaps to the adjoining sheeting which corresponds with the leakage evidenced to the ceiling below.	
			27
			27/04/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
29	Annex 2 - Pitched corrugated roof, left-hand side of main Memorial Hall roof.	The pitched corrugated roof on the left-hand side of the Memorial Hall	



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
11 - 141	LOOKHON	DECOMI HON / OVERVIEW / I INDINOC	IMAGE REI ERENGE
30	Flat metal deck roof over storage facility left rear of		
	memorial hall.	and gaps between sheet joints which are all potential bypass leakage	
		points which require additional maintenance and repairs.	2/84/2021
			277 (a) 2021
			14-1-2x2



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
31	Junction between flat metal deck roof and pitched corrugated roof over library. Left rear of memorial hall.	The junction between the flat metal deck roof and the pitched corrugated roof over the library presents with loose roofing sheets and	27/04/2021 27/04/2021



Table 1: List of Findings cont'd ...

	Ligarian		
ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
32	Small skillion roof over the male toilets right of the hall stage.	· · · · · · · · · · · · · · · · · · ·	27/04/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
33	Skillion roof between Memorial Hall roof and library.	The timber fascia for the skillion roof between the main Memorial Hall roof and the library roof presents with weathering and deterioration.	
	Tiali 1001 and library.		
		This has exposed roof framing, suffering weathering and has created	
		holes for entry by birds, possums and rodents.	
			27/10472-02-1



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DECODIDATION / OVERVIEW / FINDINGS	IMAGE DEFEDENCE
ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
34	Right rear corner joining metal deck roof running between library and brick structure at end of Memorial Hall.	structure at the end of the main Memorial Hall, presents with gaps and	



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
35	Library roof , entry at rear of building.	These images illustrate the condition of the library roof in the pitched and skillion areas over the library entry at the rear of the building. The roof itself is generally in reasonable condition, although there is evidence of loose screw fixings, gaps between roof sheets, gaps between joints in the ridge capping and a cowl is missing to one of the vent pipes as well as inadequate penetration flashing. The overall condition appears to be reasonable, although maintenance is required. If roof replacement is carried out to the Memorial Hall, I would also	3.508/2021
		recommend replacement of the library roof sheeting and associated cappings and flashings as well.	THE PARTY OF THE P
		AVA 2004	



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Table 1: List of Findings cont'd ...

27/04/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
37	Skillion roof, rear end of main Memorial Hall.	The cut-in lead apron reglet has been deliberately cut in some areas, which reduces the effective overlap and coverage from the flashing to the upturn of the metal deck roof against the adjoining brick wall. Removal and replacement of the lead reglet flashing is recommended along the entire length of the building.	27/04/2021



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Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
38	Skillion roof, rear end of main Memorial Hall.	The square penetrations in the metal deck roof are fitted with quad gutters around the perimeter which show evidence of debris buildup, absent joints and other minor alignment and sagging defects. Consideration should be given to removal and replacement of these gutters with new gutters with slotted overflow to the front to prevent potential overflowing of the gutter back into the building and roof areas. These penetrations extend down to subfloor level, where they are accessible through openings in the base brickwork. Moisture accumulating at the base of these shafts is affecting sections of masonry wall in the library.	27/04/2021
			27/00/202



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
I I LIVI	LOCATION	DESCRIPTION / OVERVIEW / I INDINGS	INVAGE REI ERENGE
39	Left rear corner of the main	The downpipe at the left rear corner of the main Memorial Hall roof	
	Memorial Hall roof.	shows evidence of deterioration to the downpipe timber fixing blocks	
		along with damage and deterioration to the timber fascia corner	
		allowing weathering of roof elements.	
		Maintanance is required to the roof fleshing timber feeds and	
		Maintenance is required to the roof flashing, timber fascia and	
		downpipe support in this area.	
			27/04/2021
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			The state of the s
			27/04/2021
			2//04/2021
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Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
40	Junction between pitched corrugated roof and left-hand side of the main Memorial Hall roof.	side of the main Memorial Hall roof serviced by a box gutter with	27/04/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE		
EXTERIO	XTERIOR FAÇADE				
41	Double doors servicing storage room for library.	The external double doors servicing the storage room for the library on the left rear corner of the building presents with weathering and deterioration of the overhead panel, doorjamb and bottom of the left-hand side door. Repairs and maintenance along with additional painting is required for long-term protection.			



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
42	Exterior double doors servicing Annex 2, left rear side of main Memorial Hall.		10 to 47 102 1
			26.41(202)



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
43	Steel staircase servicing double doors for Annex 2, left-hand side of Memorial Hall.	The steel staircase servicing the double doors for Annex 2 to the left side of the Memorial Hall present with some non-compliance issues. The bottom step measures at approximately 300mm above ground level, while the remaining steps are approximately 180mm. The height of the landing is 1250mm above ground level and the perimeter handrail is 910mm above the landing, which does not comply with current code requirements of 1000mm high and with no openings greater than 125mm in width. A removable section of handrail is poorly fitted and misaligned and presents as a potential hazard for hand injury.	
		The junction of the steel landing with the brickwork presents with several holes in the brickwork (3x) which should be sealed to prevent moisture and pest entry. The steel handrail requires modification to achieve compliance with current code requirements and the bottom step requires modification at ground level to include a concrete landing and ensuring the first step is the same height as the remaining steps on the stair.	



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
II LIVI	LOCATION	DESCRIPTION / OVERVIEW / I INDINGS	INFAGE REFERENCE
44	Timber windows servicing Annex 2, left-hand side of building Memorial Hall.		
			28/04/2821



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DECORIDEION / OVERVIEW / FINDINGS	IMAGE DEFENDE
ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
45	External wall, Youth Centre office, left-hand side of building Memorial Hall.	These images illustrate redundant electrical services conduits on the	
			26/01-402



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
46	Masonry wall, left-hand side of Youth Centre offices.	Cracking to masonry wall on the left-hand side of the Youth Centre offices (above used centre offices) which extends from the parapet to the full height of the first floor level in line with the rainwater head and downpipe. An articulation joints in this location is advisable, to be filled with a foam backing rod and colour matched caulking.	
47	Masonry wall, top left corner window servicing the Youth Centre offices.	The state of the s	28/04/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
48	Masonry wall, left-hand side of Youth Centre offices.	These images illustrate holes in the masonry wall on the left-hand side of the Youth Centre offices which should be sealed to prevent moisture entry and pest entry. There was also isolated evidence of brick fret observed which should be filled and patched.	28/04/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
49	Timber windows, left-hand side of Youth Centre offices.		
		18 (24/202)	



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
50	Front left corner of building Memorial Hall.	Cracking to the cement wall corbelling at the front left corner of the building, which requires patching and repair.	28/04/2021
51	Front left corner of building Memorial Hall.	Stepped cracking along mortar joints in the masonry wall at the front left corner of the building emanating from the brick windowsill servicing the Youth Centre office and stepping down 10 courses of brickwork to DPC level. This is not considered serious or unusual, though patching to the cracking with colour matched mortar is recommended.	



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
52	Masonry brickwork, window at front of Memorial Hall.	There is evidence of cracking to the masonry brickwork below the window at the front of the building, servicing the Youth Centre offices which extends from the windowsill down to DPC level. There is also evidence of gaps and deterioration to the mortar around the brick sill, both which requires patching with colour matched caulking and cement.	
			-No. 104/2021



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Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
53	Upper level windows, front left corner of Memorial Hall.	The upper-level windows at the front left corner of the building display evidence of weathering and deterioration, which requires patching and repairs along with painting for long-term protection.	28/04/2021
			28/04/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
54	Lower-level windows, left corner Memorial Hall.	The lower-level windows at the front left corner of the building servicing the Youth Centre offices are in reasonably good condition, although weathering can be seen to the timber elements. Additional protective painting is required for long-term protection.	
55	Left downpipe, first-floor balcony, Memorial Hall.	The downpipe servicing the first-floor balcony on the left-hand side of the building displays evidence of leakage. The joint of the downpipe and tapping of the downpipe itself reveals potential blockage to the downpipe in this area. Additional clearing may be required.	28/04/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION		DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
56	First-floor balcony Memorial Hall.	soffit,	The soffit to the underside of the first-floor balcony displays evidence of water damage to the third left panel of the soffit, which suggests failure of the waterproofing membrane in this area. A full refurbishment of the balcony waterproofing is recommended along with the required patching and repairs to the soffit lining, along with additional painting.	



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
57	First-floor balcony soff Memorial Hall.	The soffit lining around the right-hand side downpipe servicing the first-floor balcony displays evidence of water damage, suggesting failure of the waterproofing in this area. A full refurbishment of the balcony waterproofing along with necessary repairs and painting to the soffit is recommended.	28/04/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
58	First-floor balcony downpipe, Memorial Hall.	The downpipe servicing the balcony on the right-hand side has been modified and redirected to discharge onto the pavement at the front entry to the Memorial Hall. Consideration should be given to clearing of the original stormwater line and reconnection of the downpipe to the stormwater line to prevent potential winter slip hazards being created to the public common areas at the front of the building.	28,04/202
			28/04/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
59	Masonry wall above doorway, Memorial Hall.	There is visible cracking to the brick masonry above the doorway The crack emanates from the right-hand side of the main entry and then extends from the brick lintel diagonally towards the downpipe on the right-hand side. Cracking appears to be approximately 8mm or less and requires patching with colour matched mortar and caulking.	28/04/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
60	Front entry, Memorial Hall.	These images illustrate cracking to the Terrazzo pavement at the front entry to the Memorial Hall with cracks generally being 1mm or less. Replacement of the cracked Terrazzo panels is recommended.	
			28/04/2021
		28/04/2021	



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
61	Main entry, Memorial Hall.	The sandstone wall corbelling above the main entry to the Memorial Hall displays evidence of watermark staining, cracking and chipping across the full length of the main entry. Consideration should be given to cleaning, patching and sealing of the sandstone, which may require application of a unifying finish across the surface for a consistent presentation and long-term protection.	



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
62	Upper-level windows, right front façade, Memorial Hall.	The upper-level windows on the right-hand side of the front façade, servicing the archive area presents with weathering and deterioration, which requires patching, repair and painting for long-term protection. Visible cracking to the cement wall corbelling decorative columns between the windows also requires patching and repainting.	28/04/MOTOR
			28/04/2421



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
63	Front right façade, double hung windows.	The timber double hung windows at the bottom level right-hand side of the front façade appear to have been replaced, although additional refinishing or repainting is required for long-term protection and to provide a uniform appearance with other original windows.	



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
64	Base brickwork, front right, Memorial Hall.	The base brickwork at the front right corner of the building presents with deterioration to the mortar across the façade in this area. It is generally caused by moisture absorption along with the freeze and thaw effect of the molecules causing expansion of the water molecule and deterioration of the mortar. Repointing with colour matched mortar is recommended.	36.60/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
65	Front right façade, masonry wall.	This image illustrates cracking to the masonry walls between the upper and lower-level windows at the front right façade. Consideration should be given to patching and repair of the mortar along with sealing of cracked bricks with colour matched caulking to provide weathering protection.	28/04/2021
66	Soffit, public walkway.	The soffit lining of the public walkway link for at the front right side of the building, presents with damage and cracking. It should be understood this lining material is likely to be bonded asbestos . Consideration should be given to removal and replacement with fibre cement and matching timber trims, to be painted to match existing.	28/04/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
67	Masonry wall, right of Memorial Hall.	The masonry wall on the right-hand side of the building, adjoining the public walkway presents with deterioration to the mortar along with holes in the masonry. Repointing of the mortar and patching of the holes is recommended.	



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
68	Entry door, archive rooms, ground level.	There is evidence of cracking to the masonry wall arch around the entry door to the archive rooms at ground level. The cracking appears to be approximately 10mm or less, starting from the soffit lining extending around the brick arch then radiating through 14 courses of brickwork below the arch into a diminishing fashion. Engineering advice is required as to the best method of repair which may entail partial demolition and rebuilding of the brickwork in this area.	28/04/3071



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DECORIDATION / OVERVIEW / FINDINGS	IMAGE DEFENSE
ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
69	Right of Memorial Hall, adjoining public walkways and library.		28/04/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
70	Right of Memorial Hall, public walkways and library.	There is partial encroachment of the subfloor vents on the right-hand side of the Memorial Hall building, along the public walkway towards the library, however, since this area is covered, it is unlikely this section will be exposed to any direct rain or surface water. There appeared to be adequate subfloor vents in other areas, and I do not consider this a significant issue. The downpipe vent servicing the pitched corrugated roof along the walkway discharges onto the ground, which may create slippery conditions and consideration should be given to forming a spoon drain along the length of the wall to control surface water and stormwater being discharged from the roof.	NATURAL TIS 28/04/2021



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Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
71	Timber windows, right of Memorial Hall adjoining public walkway and library.	The timber windows along the right-hand side of the building, adjoining the public walkway towards the library, appear to be in reasonably good condition, as they are not exposed to significant weathering. These windows are covered with security screens, which makes access to periodic maintenance painting difficult.	



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
72	Masonry wall, rear right corner, Memorial Hall adjoining public walkway and library.	These images illustrate cracking to the masonry wall at the right rear	



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
73	Kitchen rear, right of Memorial Hall.	These images illustrate the brickwork of the wall at the rear of the kitchen on the right-hand side of the Memorial Hall. There is visible deterioration to the brickwork mortar in this area and repointing in colour matched mortar is recommended.	28/04/2021



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Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
74	Gable end fascia and soffit trim, kitchen annex.	The gable end fascia and soffit trims to the kitchen annex, adjoining the Memorial Hall on the right-hand side show evidence of weathering and water damage. Maintenance, repairs and repainting for long-term protection is required.	28/04/2021



Table 1: List of Findings cont'd ...

LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
		IMAGE REFERENCE
	Service doors, right Memorial	Service doors, right Memorial Hall. The service doors on the right-hand side of the Memorial Hall presents with water damage to the left-hand side door along with deterioration to the paint finish on the doorjamb. Replacement of the damaged door, along with additional maintenance, repairs and painting to the doorjamb's is recommended. Consideration should also be given to fitting a protective cover flashing trim at the head of the door and a weather strip at the base of the



Table 1: List of Findings cont'd ...

TION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
external door, male ight of Memorial Hall.	These images illustrate an original external door to the male toilets on the right-hand side of the Memorial Hall stage, which has had the landing removed, resulting in penetrations in the brickwork. Consideration should be given to patching all penetrations in the brickwork to prevent moisture, and pest entry. Since there is no landing on the outside of the door the door should be locked permanently or removal of the door and bricking up of the opening is recommended.	
		the right-hand side of the Memorial Hall stage, which has had the landing removed, resulting in penetrations in the brickwork. Consideration should be given to patching all penetrations in the brickwork to prevent moisture, and pest entry. Since there is no landing on the outside of the door the door should be locked permanently or removal of the door and bricking up of the



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
77	Above, male toilets, right of Memorial Hall.	These images illustrate water damage to the timber fascia with watermarks and staining to the adjoining brickwork resulting from leakage from the roof gutter over the male toilets facilities on the right-hand side of the Memorial Hall stage. The roof in this area was noted to have significant defects and consideration should be given to replacement of the entire roof sheeting along with timber fascia and new guttering. Additional cleaning to the brickwork is recommended.	28/04/2021
			28/04/201



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Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
78	Covered walkway, right of Memorial Hall leading to Library.	There is visible damage to the gable and lattice screening of the covered walkway linked to the right-hand side of the Memorial Hall leading to the library. There is also evidence that the roof gutter on the right-hand side of the covered link has sagged. Adjustment to the roof gutter and support brackets is required.	28/04/2021



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Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
79	Roof extending from Library to kitchen annex.	The roof guttering servicing the roof extending from the public library to the kitchen annex displays evidence of deformation and damage. Consideration should be given to replacement of that section of guttering, along with improvements to the support brackets.	



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
80	Roof guttering, front public toilet facilities.	The roof gutter at the front of the public toilet facility displays evidence of misalignment and leakage at the gutter joints, with excessive debris within the gutter itself. Consideration should be given to realignment of the gutter and support brackets along with periodic cleaning to remove debris and the potential for overflowing.	



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
81	Masonry wall of office area adjoining Library.	This image illustrates previous patching to the masonry wall of the office area adjoining the public library, which appears to be a result of previous vehicle impact damage. Consideration should be given to additional protective metal bollards and guard rail against the wall to prevent re-occurrence of vehicle impact.	28.04/2021
82	Timber fascia, junction Library office and wall junction.	The timber fascia at the junction of the public library office and public library wall junction presents with damage. Consideration should be given to replacement of a section of the fascia to conceal the existing hole along with securing any loose bricks in that area to prevent water and pest entry.	



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
83	Service doors, rear of Library.	The service doors at the rear of the public library present with weathering and deterioration and additional patching, and painting is required for long-term protection.	28/04/2021
84	PVC rainwater head, rear of Library.	The PVC rainwater head at the rear of the public library presents with damage and consideration should be given to replacement of the rainwater head.	28/04-917



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
85	Masonry wall above service door, rear of Library.	This image illustrates cracking to the masonry wall above the service door at the rear of the public library, with cracks presenting as approximately 6mm or less, and consideration should be given to patching with colour matched mortar or caulking as required.	



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
86	Steel steps and landing service second service door, rear left of Library.	The steel steps and landing servicing the second service door at the left rear corner of the public library displays some non-compliance issues with current building codes. The bottom step is approximately 325mm which is considered excessive, and consideration should be given to fitting an additional raised concrete step to make the riser heights even. The landing is approximately 1100mm above ground level and the handrail is 900mm above the landing and does not meet current handrail designed requirements of gaps of less than 125mm, or the minimum height requirement of 1m. The steel staircase and landings are used as emergency exits, which is another reason for the riser heights of the stairs to be corrected at the bottom step and the handrails to be upgraded.	ZB 16 06 88 88 88 88 88 88 88 88 88 88 88 88 88



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
87	Brickwork below steel landing, second service door, rear left of Library.	There are holes in the brickwork below the steel landing servicing the second service door at the left rear corner of the library. Additional patching to the brick wall is required to prevent moisture, and pest entry.	28/04/2021
			28/04/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATIO	ON			DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
88	Masonry Library.	wall,	rear	left o	There is visible cracking vertical stepping to the masonry wall at the left rear corner of the public library. These cracks present as approximately 12mm or less with vertical stepping of face alignment. The cracking can be seen on both sides of the corner which extends from the top right corner of the service door to the rainwater head at the rear of the library, and from the barge fascia to the top left corner of the window on the left-hand side of the library, which adjoins private property. Further investigation of the stormwater line in this area is recommended to determine if there are any cracks or breaks which may be discharging water into the soil around the corner of the building, which results in wetting and drying of the soil, and can result in seasonal settlement and cracking. Engineering advice is recommended as to the best method of repair.	2021 9 20



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
89	Masonry wall below window, rear left corner of Library.	These images illustrate cracking below the window of the library at the left rear corner of the building which emanates from the windowsill and radiates downwards through 17 courses of brickwork and presents with cracks of approximately 4mm or less in width. Additional patching of the mortar and sealing of the cracked bricks with colour matched caulking is recommended.	28/04/2023



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Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
90	Double hung windows, rear left corner of Library.	The timber double hung windows on the left-hand side of the library, with adjoining private property, presents with significant weathering and deterioration. Patching, repair and repainting is required for long-term protection.	



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
91	Masonry wall, left side façade.	This image illustrates cracking to the masonry wall radiating from the top corners of the library windows on the left-hand side façade. The cracks appear to be approximately 3 mm or less and additional patching of the mortar and sealing of the cracked bricks with colour matched caulking is recommended.	



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Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
92	Subfloor vents, rear of Library.	This image illustrates damaged subfloor vents and consideration should be given to removal and replacement with new matching vents.	28/04/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
INTERIO	R – MEMORIAL HALL		
93	Female toilet facilities.	The interior fixtures and finishes of the female toilet facilities on the left-hand side of the entry foyer to the Memorial Hall showed no obvious significant defects to the fixtures or finishes and no obvious leakage from the plumbing and drainage fixtures. The floor tiling showed no evidence of excessive cracking or lifting at the time of inspection. The small storeroom on the right-hand side of the main staircase was locked and not accessible at time of inspection.	
			28/04/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
94	Cleaner's storage room, beneath main foyer stairs.	The cleaner's storage room beneath the main foyer stairs had no obvious structural faults, although not all areas could be inspected due to restricted access and vision from stored materials. There are three fire extinguishers stored in this room, one of which has a service tag which indicated it was last inspected in March 2020.	2001233
		An electrical distribution board DB 6 is located within the cleaner's room, which showed no obvious faults. The switches were tested and found to be active.	20 M 2011
			A 188 WART WARE PLOYED TO THE



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
95	Male toilet facilities.	The interior fixtures and finishes of the male toilet facilities on the left-hand side of the entry foyer to the Memorial Hall showed no obvious significant defects to the fixtures or finishes and no obvious leakage from the plumbing and drainage fixtures, and also the electrical items were functioning at the time of inspection.	SACATORA T
		There was evidence of cracked tiling, with the cracking being in line which corresponds with the location of masonry walls adjacent, although the tiles did not appear to be loose or drummy at the time of inspection. A section of tiles adjacent to the urinal has been removed and the floor has been cut to provide a small access panel, although it is unclear why this was done. However, it does reveal that the tiling has been laid over the original timber floor, with fibro sheeting placed over the timber and then full notched trowel spread of adhesive, which is visible below the 150mm x 150mm tiles. There are minor cracking and peeling of the paint finish to the ceiling as well as minor cracking between the cornice trim and the ceiling lining, which require additional minor patching and painting. Repairs to the toilet floor are required and consideration should be given to replacement of the floor tiles throughout, along with new waterproofing.	37-4-120



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
96	Male toilet facilities.	The timber architrave trim has been removed around the doorframe which was intended as an airlock entry to the male toilet. A small section of skirting tile has also been removed and it is unclear why this was done, although patching and repair and replacement of architrave is required.	28/04/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
97	Disabled toilet facilities.	The disabled toilet facilities adjacent to the male toilets on the left-hand side of the main Memorial Hall showed no significant faults to the fixtures, or finishes. The plumbing and drainage fixtures were tested and found to be operable with no obvious signs of leakage. Electrical distribution board DB 2 is located in the cupboard within the disabled toilet, and the switches were tested with a voltage stick and found to be active. The light and fan function were both functioning at the time of inspection. The door closer has been removed, and a new door closer should be fitted.	
			200/04/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
98	Storage room, left-hand side of Memorial Hall.	The storage annex for tables and chairs on the left-hand side of the main Memorial Hall showed evidence of minor water damage and staining to plasterboard ceilings below the ridgeline and along the right-hand side, which runs underneath the valley box gutter. Repairs to roof and gutter areas are required prior to patching and painting of the ceilings. The storage room area at the left rear corner of the annex was not accessible at the time of inspection.	287042021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
99	Female dressing room and toilet facilities on the left-hand side of the Memorial Hall stage.	the Memorial Hall stage showed no significant faults to the fixtures, or finishes. The mosaic floor tiling did not present with any lifting or cracking at the time of inspection. The plumbing and drainage fixtures were tested and found to be operable.	28/04/2071
		The lights were tested and found to be operable. The exit signage above exit doors was operable. The vinyl floor tiles in the dressing room area showed minor defects to isolated tiles but were generally in reasonable condition. These damaged tiles should be replaced.	25//04/2021
		28/06/2021	28/64/5021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
100	Main stage, left side and adjacent to female dressing room and toilet facilities.		04/2021
			WATER TO BE USED FOR WOOD PAPER, RUBBISH FIRES NOT FOR ELECTRICAL OR FLAMMABLE LIQUID FIRES 27/04/2007
			AS 1851 MAINTENANCE RECORD EARL SAM FEB WAR APP WAY JUNE JULY AUG SEPT OCT NOV DEC 09 10 10 10 10 10 10 10



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Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
101	Main stage, left side and adjacent to female dressing room and toilet facilities.		28/04/2021
			28/04/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
102	Main stage left side adjacent to exit stairs.	The house lighting and stage lighting is located on the main distribution board located on the left-hand side of the stage, adjacent to the left-hand side exit stairs. The switches and lights were tested and found to be active.	28/04/2021
103	Stage.	The smoke detector mounted on the timber truss located centrally within the stage requires servicing or replacement.	28/04/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
104	Adjacent to right-hand side stage door exit.	The water-based fire extinguisher located adjacent to the right-hand side stage exit door has service tags which indicate it was last inspected in March 2021.	
			AS 1851 MAINTENANCE RECORD Main Add 248 400



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
105	Male change room and toilet facilities, right-hand side of main stage.	The male change room and toilet facilities on the right-hand side of the main stage showed evidence of deteriorated carpet floor finish in the change room area with watermarks adjacent to the fixed external door. The toilet facilities were tested and found to be operable, although both toilets have cracked rubber seals at the rear of the toilet suites which require replacement. The mosaic tiled floor finish showed no evidence of cracking or lifting at the time of inspection. The exit sign above the entry door to the change room was flickering at the time of inspection and requires a new lightbulb.	



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
106	Male toilet facilities, right-hand side of main stage.	The toilet doors are not fitted with privacy locks and new privacy locks should be supplied and fitted. The toilet facilities are not fitted with exhaust fans. The original louvre windows have been covered with small sliding aluminium windows.	



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Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
107	Annex 1.	These images illustrates Annex 1 adjoining the kitchen facilities on the right-hand side of the Memorial Hall. The ceiling linings show evidence of deterioration to the paint finish, along with watermarks which coincides with previously noted roof defects. The carpet floor finish in this area was generally in reasonable condition, although there were isolated areas of staining. The electrical fixtures were tested and found to be active.	
			15 phroon



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE		
INTERIO	INTERIOR - KITCHEN				
108	Kitchen, Servery.	The servery area of the kitchen facilities, presents with minor deterioration to the fixed joinery, although there was no obvious leakage from the plumbing or drainage fixtures or the electric hot water unit. The ceiling lining above the kitchen sink area showed evidence of watermarks and staining, which correspond with gaps in roof sheeting along the gutter line.			
			29/04/2021		
			70-0-12-02-1		



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Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
109	Kitchen, preparation and cooking area.	Images illustrating kitchen preparation and cooking area with dimensions and area of the kitchen cooking and servery area.	29/04/2021
			(E) SCH 2.8972 m 2.8973 m 2.8979 m 14.901 m ² Professional GLM 100 C (S) 29/04/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
110	Kitchen, preparation and cooking area.	The kitchen cooking and preparation area displays significant deterioration to the timber flooring which has suffered dry rot and wood decay. The kitchen floor appears to have two layers of vinyl flooring, with the original floor placed over Masonite sheeting and directly fixed to the hardwood timber flooring. The second layer of flooring has been placed over the original vinyl floor with 8 x 6mm sheets of medium density fibreboard covered with a sheet vinyl membrane. The deterioration to the floor seems to be as a result of years of mopping and cleaning where water has bypassed the vinyl floor and seeped into the timber flooring for an extended period of time. The covering of the original vinyl floor with new sheeting did not address the original damage caused to the solid timber flooring. Most of the observed damage seems to have occurred in the entry door to the kitchen preparation area, while other parts of the floor seem to be relatively stable and displayed no excessive movement. Recommend removal of all the vinyl flooring to allow for an inspection, and replacement and repair of the timber floor as needed.	25/04/2021 25/04/2021 25/04/2021 25/04/2021 25/04/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
111	Kitchen, floor framing and subfloor.	These images illustrate the sizes of the existing floor framing, being 100 x 50mmm hardwood joists spaced at approximately 450mm centres, sitting on a perimeter whaling plate of 100 x 25mm hardwood plate, with intermediate supports on timber bearers and brick piers, with bearers being approximately 100 x 75mm.	
		Other images illustrate the appearance of the subfloor below the kitchen cooking and servery area.	
			Service Service
			22/01/223



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
112	Kitchen, cool room facilities.	These images illustrate the cool room facilities adjacent to the kitchen facilities which show evidence of deterioration to the render finish on the concrete beam adjoining the timber ceiling, watermarks to the vinyl floor, along with deterioration to the paint finish on the base brickwork, which indicated elevated moisture levels of approximately 37% compared to brickwork higher on the wall which was 0%.	April 2000
		There is no evidence of similar moisture on the outside of the cool room.	waste waste
			29/04/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
113	Storeroom, adjacent to the cool room.	These images illustrate the storeroom adjacent to the cool room. This storage area displayed no significant faults to the walls and floor or timber lined ceiling, although not all areas could be inspected due to restricted access and vision from stored materials. There was evidence of exposed live wiring at a junction box for the light switch conduit which needs to be addressed and concealed by a licenced electrician.	29/04/2021



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Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
114	Community meeting room. (The office suite at the front right corner of the building is labelled as the community meeting room on the plans).	sign at the time of inspection.	
			2004.0000
			2000001



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
115	Community meeting room. (The office suite at the front right corner of the building is labelled as the community meeting room on the plans).	There was evidence of visible cracking to the masonry wall above the external entry door, which is also visible from the outside and watermarks to a section of ceiling which is below the first-floor balcony, as well as watermarks and staining to a brick column adjacent. The three windows for this area have been previously replaced, although installation of the new windows has resulted in some gaps visible around the windowsills, along with patching to the brickwork above the windows. Additional maintenance patching and repairs along with painting will be required.	25 (CA 1223) 25 (CA 1223)
			28/04/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
116	Front right office space.	The front office space at the front right corner of the building also presented with minor stepped cracking to the internal masonry walls above the fireplace and the wall separating the right side corridor. These cracks presented as 1mm or less and did not appear to be of significant structural concern.	



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
117	Front right office space.	The C02 fire extinguisher located within this office space has a service tag which indicates it was last checked in March 2021.	THE REAL TION FAIRT IN LILL TURNED I
			1851 MAINTENANCE RECORD 18



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
118	Corridor leading to right side stairs and exit.	The corridor leading to the right-side stairs and exit also presents with hairline cracking, which corresponds with the cracking previously mentioned in the front right office interior wall. These cracks are also approximately 1mm or less and radiate from the top right corner of the adjoining perpendicular wall and door. These are related to external cracking and movement and would be addressed as part of any external remediation.	29/04/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
119	Storage area under right side internal stairs.	The storage space under the right-side internal stairs showed no significant faults to the general structure or floor, although there was power to this space and the light switch was active; no lightbulb was fitted. The door to the storage space sticks at the threshold and requires adjustment for proper closure.	



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
120	Main hall, Memorial Hall.	These images illustrate the main Memorial Hall, which displays sagging to the ceiling lining, along with water damage where previous repairs have occurred. Repairs to the roof above this area are required prior to any repair or replacement of ceiling linings. The timber flooring (80mm wide) in the Memorial Hall shows evidence of previous extensive patching and repairs, along with areas where	
		additional patching and repairs are currently required. There is a section of bleached timber flooring below the area of previous leakage.	
			2004 200
		29/04/2021	i = if the i and if



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
121	Mezzanine level, Memorial Hall.	These images illustrate the mezzanine seating level, where water damage and sagging can be seen to the ceiling lining, as well as defects and damage to the timber flooring in this area.	35/04/2021 20:04:2021
			20/04/20
			2570A7 2021
		29/04/2021	29/64/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
122	Mezzanine level, Memorial Hall.	The front balustrade to the mezzanine seating area measures at 810mm high, which is not considered adequate today in relation to safety standards in the Building Code of Australia. Consideration should be given to modifying the balustrade to achieve compliance with current requirements and eliminate public liability.	29/04/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
123	Right of main hall, Memorial Hall, mezzanine level.	There is evidence of cracking to the render on the masonry engaged peers between the windows on the right side of the hall, which presents as cracks of 2mm or less, which are horizontal in nature and in line with the windowsill. The windows themselves at upper-level show evidence of significant weathering deterioration and require patching, repair repainting for long-term protection.	
			29/04/2021
			29/04/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
124	Internal front left facade, Youth centre, Memorial Hall.		



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
125	Internal front left facade, Youth centre, Memorial Hall.	The exterior walls, adjacent to the external entry door present with excessive moisture readings and deterioration to the render. Readings of between 81 and 87% were recorded at lower levels, with upper levels of the wall showing 0 percent. The areas of dampness to the wall corresponds with the external downpipe position which services the balcony above which was previously reported as showing evidence of leakage and blockage. Further investigation by a licenced plumber is required to alleviate the downpipe issues before patching and repairs to the walls can be carried out.	29/04/2021
		20004-2001	9 F. HE 107 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
126	Youth Centre.	There was no power to the Youth Centre at the time of inspection. The ceiling linings showed evidence of watermarks in isolated areas, which corresponds with roof sheeting defects above. The condition of the carpets and vinyl flooring in the Youth Centre is in poor condition and requires replacement.	29/04/2021
			2007000
		29/05/2021	



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
127	Main internal stairs, Memorial Hall central lobby.	These images illustrate the condition of the main internal stairs located centrally within the entry lobby. There is evidence of cracking to the marble capping on the right side baluster pillar, although the sections do not appear to be loose. The stair balustrade measures approximately 700mm from the nosing to the top of the timber railing, which is not considered adequate under	
		today's Building Code requirements. The timber handrail on the flight of stairs leading from the landing to the first-floor level measures approximately 750mm from the stair nosing to the top of the handrail which is also considered not adequate under today's standards. The first-floor ceiling above the entry stair and top landing presents with significant damage to the ceiling lining, which is located below the box gutter at roof level. While some improvements have been made to the box gutter, there are still defects in this area which need to be addressed before any internal ceiling repairs can be carried out.	
		addressed before any internal coming repairs can be daried edu.	20/04/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
128	Internal access stairs, right side Memorial Hall servicing the Archive room on the first-floor level and the Mezzanine viewing gallery.	These images illustrate the internal access stairs on the right-hand side of the building providing access to the archive rooms at first floor level and the mezzanine viewing gallery. The stair risers and goings appear to be compliant and within Building Code tolerances, while the timber handrails on the first flight of stairs measures 850mm from nosing to top of handrail, while the second flight of stairs leading to the archive area measures approximately 780mm from nosing to top of handrail. The second flight of stairs leading to the mezzanine viewing gallery above the main hall does not have any handrails. (A handrail on one side at least is required). The door between the stair landing and the gallery areas overlooking the main Hall swings the wrong way (inwards) and this should be corrected as it is an emergency exit point.	297047021 297047021 297047021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
128	Internal access stairs, right side	The soffit linings within the stairway display significant water damage,	
	Memorial Hall servicing the		
Cont'd	Archive room on the first-floor	flashing defects. This would be best addressed by removal and	
	level and the Mezzanine		
	viewing gallery		20:04:2021
		The going and riser heights for the 2nd flight leading to the mezzanine	
	Cont'd	viewing gallery shows bottom step and top step variation. After	
		checking the ratios, they still comply with the acceptable range, and	
		while they may well have been compliant when built, the tolerance for	
		variation in riser and going height has changed since then.	
		The window at the ten of the 2nd flight leading to the mazzenine	29/04/8021
		The window at the top of the 2nd flight leading to the mezzanine	
		viewing gallery displays significant deterioration and patching, repairs	2
		and repainting are required for long-term protection.	
			9 28 28 28 28 28 28 28 28 28 28 28 28 28
			29/04/2021
			29/04/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
129	Internal access stairs, right side Memorial Hall servicing the Archive room on the first floor level and the Mezzanine viewing gallery.	Cracking was also observed to the rendered masonry walls of the stairwell, with cracks located above the handrail level on the first flight of stairs and radiating around the corner and up to the second flight of stairs towards the window adjacent to the mezzanine viewing gallery doors.	
		These cracks present as approximately 1mm or less and follow the direction of handrails in a stepped fashion until they reached the top of the second landing to the mezzanine level where a horizontal crack extends along the length of the top landing to the window itself.	



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
130	First floor - Archive Room.	These images illustrate the main archive office space on the first floor level at the top right corner of Memorial Hall building. This office space presents with numerous areas of water damage to walls, ceilings and corner streams, which correspond with roof and gutter defects.	Tracks. Tracks. Tracks.
			MATERIA DE LA CASA DE
			Latin days
		39/04/2822	29/04/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
131	First floor - Common corridor outside of main office and archive room.	The powder based fire extinguisher in the common corridor outside the main office area and the archive rooms indicates on the service tag that it was inspected in March 2021.	



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
132	First floor - Main entry door, top of internal stair.	The exit signage above the main entry door at the top of the internal stair flight was functioning. This exit sign also acts as the exist sign for the adjoining archive room (room 3) as viewed from within the archive room. Additional directional signage is required.	29/04/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
133	First floor - Alternative exit within the archive room.	The alternative exit in the archive room leads to an adjoining office space that is fitted with a privacy latch and cannot be used as an emergency exit. This exit sign was not illuminated at the time of inspection.	EXIT 29/04/2021 29/04/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
134	First floor - Main Archive Room (Room 3).	These images illustrate the Main Archive Room (Room 3), which shows numerous points of water damage and leakage at ceiling level, which correspond with noted roof defects. There is also evidence of damage to the vinyl floor where exposed timber flooring can be seen.	20104 2021
			29/84/2021
			29/94/2021



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Table 1: List of Findings cont'd ...

ROOM 5 29/04/2021
1



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
136	First floor - Archive Room (Room 6).	These images illustrate the interior of Archive Room (Room 6), which houses works of art, portraits and other images and maps.	
		The ceiling within this area shows no significant damage, although the wall finish which adjoins the mezzanine viewing gallery shows evidence of significant deterioration to the paint finish, which is consistent with excessive moisture. These areas are located below sections of roof which showed evidence of gaps to roof sheeting and other defects.	
		The electrical light switches and power points were tested and found to be active, although there are isolated old switches which did not seem to have power. Any renovations to the building should include rationalization of the	
		electrical system with removal of all redundant electrical wiring.	25/04/2021
		74 2021	29/04/2023



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
137	First floor - Archive Storage Room (Room 4).	These images illustrate the condition of Archive Storage Room (Room 4), which presents with significant water damage to ceiling linings from roof leakage. These areas of leakage correspond with previously noted defects at roof level.	25/04/2021
			25/04/2021
		2007/202	29. 49.7.2521



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
138	First floor - Archive Storage Room (Room 4).	Archive Storage Room (Room 4) also lacks any exit signage above the two main doors within the space.	29/04/2021
			29.04/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
139	First floor - Meeting Room, first floor level, front left corner of Memorial Hall.		20,04,2237
		The electrical light switches and power points were tested and found to be active. The powder based fire extinguisher in this room was tagged as being inspected in March 2021.	25/04/2021
			20/04/2021
			22/54/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
140	First floor – Kitchen.	The kitchen facilities at first floor level servicing the archive areas show significant wear and tear to the joinery. The vinyl floor within this area shows evidence of damage and staining and the floor itself appears to be out of level in areas.	39/04/2021
		The plumbing and drainage facilities showed no obvious signs of leakage at the time of inspection. Ceilings within this area also show evidence of water damage from previous leakage.	
			25/104/2021
			22/04/2021 22/04/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
141	First floor - Room leading to male toilet facilities.	The room leading to the male toilet facilities on the first-floor level appears to have been an outdoor deck previously which was subsequently enclosed. The floorboards in this area are weathered and creaky with some unevenness in the floor around what appears to previously have been a hatch or opening in the floor.	
		39/04/2021	20,000,021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
142	First floor - Male toilet facilities.	The male toilet facilities located on the first-floor level do not appear to have been used in some time. There is evidence of previous attempts to patch the mosaic floor tiles, and while the plumbing and drainage fixtures have not been used in some time, they were tested and found to be operable with no obvious leakage at the time of inspection. The ceiling lining shows evidence of deterioration although this is mostly to the paint finish, there does not appear to be any significant water damage.	29/04/2021
		GENTS	



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
143	First floor - Ladies toilet facilities.	These images illustrate the condition of the ladies toilet facilities. The plumbing and drainage fixtures were tested and found to be operable, although the rubber seal at the rear of the toilet suite is cracked and should be replaced. The ceiling lining above the ladies toilet facilities and the adjoining room shows evidence of deterioration to the ceiling lining paint finish, along with some isolated evidence of water damage.	23/04/2021
		LADIES 29/04/2021	32.39/203



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
144	First floor - Room adjoining kitchen facilities.	The ceiling lining over the room adjoining the kitchen facilities has evidence of sagging and discolouration.	
		This is consistent with potential water leakage from the roof sheeting above, and as with other areas of roof leakage, these areas require repair.	
			29/04/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
145	First floor – Kitchen, male toilet	All the rooms comprising the kitchen area, male and female toilet	
	facilities and adjoining room.	facilities, and adjoining storage area are not serviced by any emergency	
		exit signage over the relevant doors. It should be addressed in order to	
		achieve compliance with current code requirements.	
			C TO SECURITION OF THE PARTY OF
			29/04/2021
			29/04/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
146	First floor – Kitchen, male toilet facilities and adjoining room.	The electrical switches, fuses, lights and power points were tested and found to be active.	29/04/2021
147	First floor - Kitchen.	The powder-based fire extinguisher located in the kitchen area has a service tag which indicate it was last inspected in March 2021.	29/04/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE				
INTERIO	NTERIOR - LIBRARY						
148	Library, interior.	The interior of the main library building shows no significant faults to the ceiling lining. However, the exterior wall which adjoins Memorial Hall stage presents with excessive moisture readings to the lower level of the masonry wall behind this wall which adjoins the previously mentioned shafts that penetrate the flat roof. The guttering, flashing and drainage provisions within this void is allowing moisture to saturate into the brickwork. Improvements to the overall roof and ground drainage are required to eliminate excessive moisture in the masonry wall before any patching and repainting of the wall is done.	29/04/2021 98.6				

Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
149	Rear of Library, storage annex.	These images illustrate the storage annex at the rear of the library which adjoins the storage annex on the left side of the Memorial Hall. This area is covered with the flat roof sheeting (metal deck roofing), and minor watermarks and damage can be seen to the ceiling, which corresponds with areas where there are loose roof sheets as identified previously in the roof section of this report.	



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
150	Rear of Library.	The rear section of the library shows evidence of watermarks to the ceiling lining, which roughly corresponds with the ridgeline of the main roof and is consistent with the gaps observed in the ridge capping at roof level.	29/04/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
151	Rear left corner of Library.	The left rear corner of the library presents with significant cracking to the masonry walls, which was previously observed to the exterior building envelope inspection. The internal cracks present as being approximately 12mm or less and diminish as they radiate downward towards the top right corner of the adjoining window. Further engineering advice is recommended for the best method of repair, which may entail partial demolition and rebuilding.	29/04/2021



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Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
152	Library.	Minor cracking to the rendered masonry wall can be seen radiating from the top right corner of the window adjacent to the library reception desk. This has been previously patched and does not appear to be of significant concern.	



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
153	Library administration office.	The library administration office was observed with no significant faults to the ceiling lining at the time of inspection, although a section of floor midway within the room, adjacent to the left rear exterior wall, shows evidence of unevenness of approximately 20mm within a short distance.	20 CM / 2021
			20 1.65 - 1.05
		29/04/2021	200 A. (a) 2



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
154	Library, toilet facilities.	These images illustrate the toilet facilities within the library, which show evidence of previous leakage around the skylight and some cracking to the wall lining adjacent to the vanity unit. Movement occurs along a sheet joint and while it is unclear what has caused the movement, it does not appear to be overly significant.	29/04/2021
			20104/2021
			23/104/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
155	Male public toilet facilities, side of Library.	The male public toilet facilities to the side of the library showed no significant faults to the fixtures and finishes. The plumbing and drainage fixtures were tested and found to be operable. The electrical light switches were tested and found to be active. The ceiling lining and floor tiling showed no significant faults at the time of inspection.	
		MALE 29,04/2021	29/04/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
156	Disabled public toilet facilities, side of Library.	The disabled toilet facilities were inspected and showed no significant faults of the fixtures and finishes. The plumbing and drainage fixtures were tested and found to be operable. The electrical light switches were tested and found to be active. There was no significant faults to the ceiling lining or floor tiling at the time of inspection, however, a small section of shaft lining around the skylight over the disabled toilet requires additional re-fixing.	29/04/2021
		TOILET	04/2021



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Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
157	Female public toilet facilities, side of Library.	The female public toilet facilities showed no significant faults to the fixtures and finishes and no obvious faults to the ceiling lining, floor and wall tiling.	FEMALE
			29/04/2021
			29/04/2021



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Table 1: List of Findings cont'd ...

ITEM	LOCATION			DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
SUBFLO	OR				
158	Memorial Ha subfloor.	l main	stage,	These images illustrate the subfloor void and storage area below the main stage in the Memorial Hall.	29/04/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATIO	N		DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
159	Memorial subfloor.	Hall ma	in stage,	The floor structure supporting the stage consists of deep joists supported on whaling plates resting on core brickwork at the perimeter, and a central 150 x 75 bearer mid span of the joists with 75 x 75 posts extending to the concrete floor. Water enters this subfloor void area from adjacent exposed voids and the bottom of the timber posts shows evidence of minor decay, although the majority of the post is still structurally stable.	29/04/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATIO	N			DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
160	Memorial subfloor.	Hall	main	stage,	Parts of the timber bearer posts supporting the mid span of the deep joists has a cracked edge, although the overall integrity of the joist is maintained.	29/04/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
161	External shaft void, between Memorial Hall and Library.	The external shaft voids between the Memorial Hall and the library building are serviced by drains. Some of these voids appear to be draining adequately, although there is debris such as tennis balls within this area which could block the drainage since the grate is missing. Consideration should be given to supplying and fitting a new grate and removing any potential blockages from loose debris.	



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
162	Service voids behind storage area, between Memorial Hall and Library.		20.03/2021
			29/04/2021
			2/04/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
163	Service shaft voids behind storage area, between Memorial Hall and Library.	The long void on the left side of the building collects water from the roof into a rainwater head, although the downpipe is now disconnected, and the subsequent storm water runs down the brickwork and into an area where the drain position is not obvious from the significant amount of silt build-up in that area.	25 (61 2021
		The service void correlates with the water damage and high moisture readings to the masonry wall in the library displays excessive silt buildup, which has blocked the drain provision and as a result at a time of significant rainfall, the water level rises to approximately two brick courses subsequently soaking into the brickwork.	33(64703)
		Improvements to the stormwater and surface water drainage in this area is critical in order to prevent further moisture absorption.	
			20 101 (2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
164	Access hatch to service shaft void.	The access hatch into the service void is missing a door, and it seems blockages occur regularly, resulting into water spilling into the subfloor area causing staining to the base brickwork and damage to the concrete floor finish within the subfloor void below the stage.	29/04/2021
			29/04/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
165	Drainage and plumbing void.	The drainage and plumbing void on the right-hand side shows no significant leakage to the plumbing and most drainage pipes, although dampness around the cast-iron drainage pipe servicing the male toilets may be leaking and some maintenance is required. Smoke detectors within the subfloor void appeared to be in good condition with no loose or damaged wiring.	30 /04/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
166	Underside of staircase, stage right side of Memorial Hall.	The underside of the staircase on the right of the Memorial Hall stage showed no obvious faults to the stair structure.	29/04/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
167	Underside of staircase, stage left side Memorial Hall.	There is what appears to be a significant amount of redundant electrical wiring and plumbing pipes which have been capped. Consideration should be given to rationalizing the plumbing and electrical services to eliminate any redundant services.	29/04/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
168	Underside of stage.	Image showing the deep joists under the stage floor structure supported on whaling plate and corporate brickwork.	29/04/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
169	Subfloor, below main Memorial Hall.	These images illustrate the subfloor void below the main Memorial Hall. Access to this void is via penetrations in the base brickwork where the ducted heating units are located and appeared to be in good condition.	29/04/3/23 29/04/3/23
			(5/04/2021
			29/04/2021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
170	Subfloor, below main Memorial Hall.	The subfloor void below the main hall showed no obvious faults to the supporting brick piers which are not fitted with ant capping. The timber floor structure generally appeared to be well supported, and although there are areas where watermarks can be seen, which correspond with leakage from above, the structural integrity of the floor framing appears to be intact. There are visible watermarks to the underside of the floorboards as well, although this does not appear to have caused any significant structural damage.	29/04/2011
			Daving



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
171	Subfloor, below main Memorial Hall.	The ducted heating ducts appear to be well supported and suspended from the floor in all areas.	



Table 1: List of Findings cont'd ...

ITEM	LOCATION		DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
ROOF V	OIDS			
172	Void over first-floor offices.	archive	The roof void over the archive areas shows evidence of birds nesting, and deterioration to the sarking paper, which allows condensation and other moisture penetrating past the gaps in the roof sheeting to enter the roof void, thus creating water damage to ceilings below. There is a roof rafter, which has cracked, which corresponds with previous observations at roof level where the roof exhibited movement and sagging over the archive room. While there is loose insulation over some office areas, there are significant portions of the roof or ceiling that are not insulated.	29/04/3021



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
173	Main roof void over Memorial Hall.	This section of roof void has limited access, with only partial views available from the stage end of the roof and a gable end hatch at roof level, which had difficultly opened. The limited view of the roof truss structure and ceiling joists showed no obvious faults however, sagging ceiling lining, water damaged areas and areas with paint defects will require repair and replacement of linings along with extensive painting. In general, all ceiling areas that display water damage from leakage, will require replacement of roof sheeting, addition of new anticon insulation blankets, modification of gutters, overflow provisions, flashing, capping and roof safety anchor provisions. There may well be unanticipated roof structure repairs that will only be revealed once roof sheets are removed, but that will require a witness point inspection prior to fitting of new sheeting.	



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END OF REPORT



6.14

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DISCLAIMER:

The opinions expressed in this report are that of the author and are to be taken into account in conjunction with the reports referred to herein.

We trust the above is sufficient to meet your request. Please do not hesitate to contact our office should you require any further information or assistance.

The author hereby makes himself available to provide verbal evidence, clarification or expansion of any information provided herein.

This report refers specifically to the matters requested for opinion of the author. Therefore, this report may not contain the full extent of our investigations, nor does it contain all information gathered during our investigations.

This report is intended for the use of the addressee only and might contain sensitive or legally privileged information. If you are NOT the intended recipient, you are notified that any use or dissemination of this information is strictly prohibited. If you receive this information in error, please notify the author immediately by telephone and delete all copies of this transmission together with any attachments.

If you have any queries with this report or require further information, please do not hesitate to contact Peak Consulting.

DISPUTE RESOLUTION PROCEDURE

Please note: Peak Consulting has a dispute resolution system available. For details of this please contact our office IN THE FIRST INSTANCE.

CERTIFICATION

This document certifies that the property described in this Inspection Report has been inspected by the Building Consultant in accordance with the level of service requested by the Client and the terms and conditions as set out in this Report, and in strict accordance with AS 4349.1 2007

TERMS AND CONDITIONS

A SCOPE OF INSPECTION AND REPORT

Pre-purchase Property Inspection Report only deals with the detection or non-detection of Structural Damage, Conditions Conducive to Structural Damage and any Significant Defect in the general condition of Secondary Elements and Finishing Elements of construction discernible at the time of inspection, with or without ancillary testing. All other reports are Special-Purpose Inspection Reports.

As requested by the Client, the inspection assessment was based solely on the following inspection carried out by a Building Consultant of the Readily Accessible Areas of the property:

Service Requested A visual examination of surface work, and the carrying out of Tests.

NOTE: In the case of strata and company title properties, the inspection is limited to the interior and immediate exterior of the particular unit being inspected. The complete inspection of other common property areas would be the subject of a Special-Purpose Inspection Report which is adequately specified.

LIMITATIONS

The Client acknowledges:

- This Inspection Report does not include the inspection and assessment of items or matters outside the scope of the requested inspection and report. Other items or matters may be the subject of a Special-Purpose Inspection Report which is adequately specified (see Exclusions below).
- 2. This Inspection Report does not include the inspection and assessment of items or matters that do not fall within the consultant's direct expertise.
- 3. The inspection only covered the Readily Accessible Areas of the property. The inspection did not include areas which were inaccessible, not readily accessible or obstructed at the time of inspection. Obstructions are defined as any condition or physical limitation which inhibits or prevents inspection and may include but are not limited to fixed ceilings, wall linings, floor coverings, fixtures, fittings, furniture, clothes, stored articles/materials, thermal insulation, sarking, pipe/duct work, builder's debris, vegetation, pavements or earth.
- 4. Australian Standard Inspection of Buildings. Part 1 Property Inspections Residential Buildings recognises that a standard property report is not a warranty or an insurance policy against problems developing with the building in the future.
- 5. This Inspection Report was produced for the use of the Client. The Building Consultant is not liable for any reliance placed on this report by any third party.



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EXCLUSIONS

The Client acknowledges:

A Standard Property Inspection Report does not cover or deal with:

- Any 'minor fault or defect', i.e., a matter, in view of the age, type and condition of the building being inspected, does not require substantial repairs or urgent attention and rectification:
- Solving or providing costs for any rectification or repair work;
- The structural design or adequacy of any element of construction;
- Detection of wood destroying insects such as termites and wood borers;
- The operation of fireplaces and chimneys;
- Any services including building, engineering (electronic), fire and smoke detection or mechanical;
- Any swimming pools and associated pool equipment or spa baths and spa equipment or the like;
- Any appliances such as dishwashers, waste disposal units, ovens, stoves and ducted vacuum systems;
- . A review of occupational, health or safety issues such as asbestos content, or the provision of safety glass or swimming pool fencing;
- Whether the building complies with the provisions of any building Act, code, regulation(s) or by-laws; and
- . Whether the ground on which the building rests has been filled, is liable to subside, is subject to landslip, earthquakes or tidal inundation, or if it is flood prone.
- Any of the above matters may be the subject of a Special-Purpose Inspection Report which is adequately specified and undertaken by an appropriately qualified inspector.

DEFINITIONS

Structural Damage means a significant impairment to the integrity of the whole or part of the Structure falling into one or more of the following categories:

Structural Cracking and Movement – major (full depth) cracking forming in primary elements resulting from differential movement between or within the elements of construction, such as foundations, footing, floors, walls and roofs.

Deformation – an abnormal change of shape of primary elements resulting from the application of load(s).

Dampness – the presence of moisture within the building, which is causing consequential damage to primary elements.

Structural Timber Pest Damage – structural failure, i.e., an obvious weak spot, deformation or even collapse of timber primary elements resulting from attack by one or more of the following woods destroying agents: chemical delignification; fungal decay (rot); wood borers (borers); and termites (white ants).

Conditions Conducive to Structural Damage means noticeable building deficiencies or environmental factors that may contribute to the occurrence of Structural Damage.

Structure means the load bearing part of the building, comprising the Primary Elements.

Primary Elements means those parts of the building providing the basic load bearing capacity to the Structure, such as foundations, footings, floor framing, load bearing walls, beams or columns. The term 'Primary Elements' also includes other structural building elements including: those that provide a level of personal protection such as handrails; floor-to-floor access such as stairways; and the structural flooring of the building such as floorboards.

Significant Defect means a matter, in view of the age and type of the building being inspected, requires substantial repairs or urgent attention and rectification.

Secondary Elements means those parts of the building not providing load bearing capacity to the Structure, or those non-essential elements which, in the main, perform a completion role around openings in Primary Elements and the building in general such as non-load bearing walls, partitions, wall linings, ceilings, chimneys, flashings, windows, glazing or doors.

Finishing Elements means the fixtures, fittings and finishes applied or affixed to Primary Elements and Secondary Elements such as baths, water closets, vanity basins, kitchen cupboards, door furniture, window hardware, render, floor and wall tiles, trim or paint. The term 'Finishing Elements' does not include furniture or soft floor coverings such as carpet and vinyl or the like.

Client means the person or persons, for whom the Inspection Report was carried out or their principal.

Principal means the person or persons for whom the report is being obtained.

Building Consultant means a person, business or company who is qualified and experienced to undertake a Standard Property Inspection Report in accordance with Australian Standard AS 4349. "Inspection of Buildings. Part 1: Property Inspections – Residential Buildings".



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Readily Accessible Areas means areas which can be easily and safely inspected without injury to person or property, are up to 3.6 metres above ground or floor levels, in roof spaces where the minimum area of accessibility is not less than 600 mm high by 600 mm wide and subfloor spaces where the minimum area of accessibility is not less than 400 mm high by 600 mm wide, providing the spaces or areas permit entry. Or where these clearances are not available, areas within the consultant's unobstructed line of sight and within arm's length.

Tests mean where appropriate the carrying out of tests using the following procedures and instruments:

Dampness Tests means additional attention to the visual examination was given to those accessible areas which the consultant's experience has shown to be particularly susceptible to damp problems. Instrument testing using an electronic moisture detecting meter of those areas and other visible accessible elements of construction showing evidence of dampness was performed.

Physical Tests means the following physical actions undertaken by the consultant: opening and shutting of doors, windows and draws; operation of taps; water testing of shower recesses; and the tapping of tiles and wall plaster.

ACCESSIBILITY

6.14

Unless specified in writing, the inspection only covered the Readily Accessible Areas of the Building and Site. The inspection did not include areas which were inaccessible, not readily accessible or obstructed at the time of inspection.

Building Interior. The Consultant did not move or remove any ceilings, wall coverings, floor coverings (including carpeting and wooden floorboards), furnishing, equipment, appliances, pictures or other household goods. In an occupied property, furnishings or household items may be concealing defects which may only be revealed when the items are moved or removed.

NOTE. In the case of strata and company title properties or other Class 2 buildings or equivalent, if the inspection was limited to assessing the interior of a particular unit or lot, the Client may have additional liability for defects or faults in the common property. This additional liability can only be addressed through the undertaking of a Special-Purpose Inspection Report which is adequately specified.

Building Exterior, Roof Exterior and Site. In inspecting the building exterior, roof exterior and site the Consultant did not move or remove any obstructions such as wall cladding, awnings, trellis, earth, plants, bushes, foliage, stored materials, debris or rubbish. Such items may be concealing defects that may only be revealed when the items are moved or removed.

Roof Space In inspecting the roof space of any pitched roof there was no inspection of areas where accessibility was less than 600 mm high by 600 mm wide (but includes areas at the eaves of accessible roof spaces, that are within the consultant's unobstructed line of sight and within arm's length from a point with conforming clearance, i.e., 600 mm high by 600 mm wide).

Bodily access should be provided to the interior of all accessible roof spaces. In accordance with Australian Standard AS 4349 the minimum requirement is a 450 mm by 400 mm access manhole

Obstructions such as roofing, stored articles, thermal insulation, sarking and pipe/duct work may be concealing evidence of defects which may only be revealed when the obstructions are moved or removed.

Subfloor Space Storage of materials in subfloor areas is not recommended as it reduces ventilation and makes inspection difficult. Obstructions may be concealing evidence of damage or faults which may only be revealed when the obstructions are moved or removed.

Bodily access should be provided to all accessible subfloor areas. In accordance with Australian Standard AS 4349 the minimum requirement is a 500 mm x 400 mm access manhole. In the case of suspended floors, if the clearance between the ground and structural components is less than 400 mm, Australian Standard 3660 recommends that the ground should be excavated to provide the required clearance, subject to maintaining adequate drainage and support to footings.

BUILDING STANDARDS

Building standards changed significantly in the 1970's when the Building Act was passed and again in 1990 when the Building Code of Australia was introduced. Materials and construction techniques are constantly changing and Building Legislation must change to address the latest developments.

Unless a dwelling has been constructed recently it may not comply with current standards. That does not necessarily mean that established dwellings are poorly constructed.

Generally, this assessment is based on the building standards that were current when the dwelling was constructed, which may be different from the current requirements of the Building Act.



The author is a licenced Builder (123582C NSW), (19957795 ACT).

The author is a licenced Building Consultant (BC737 NSW) (now obsolete). Copies of these licences are available upon request.

The opinions expressed in this report are that of the author and are based on the skills, training and experience gained throughout 26 years licenced practice.

Peak Consulting trust the information included in this report, being impartial to any party is of assistance.

This report should not be relied upon 180 days from the date hereon.

Should you need further information regarding this report please do not hesitate to contact the author.

Signed:

George Pudja

Wednesday, 1 September 2021

Crewye Quelz



Building Consultants

~
Building Investigations

~
Expert Advice

~
Scopes of Work

SPECIAL PURPOSE INSPECTION DILAPIDATION - OTHER EXPERTS REPORTS

ADDRESS:	Yass Memorial Hall 82-94 Comur Street YASS NSW 2582			
REPORT PREPARED FOR:	Yass Valley Council 209 Comur Street YASS NSW 2582			
PHONE:	(02) 6226 1477			
EMAIL:	Seamus.McGurk@yass.nsw.gov.au			
DATE ATTENDED:	27 – 29 April 2021			

128 Gilmore Road Queanbeyan NSW 2620 ABN: 13 620 282 439 P: 02 6297 7716

E: george@peakconsulting.com.au

Request for Service Details

As requested, Peak Consulting were requested to inspect the subject property.

The purpose of this inspection was to inspect the condition and compile a report listing areas that display visible dilapidation observed at the time.

The terms of reference are as follows:

Conduct a non-invasive, non-forensic, visual inspection and determine/identify the condition and dilapidation status, documenting each area / item assessed including recording digital photographs to demonstrate the inspection findings and report on:

- 1. Roof condition.
- 2. Subfloor and first floor condition. Provide additional separate report for the kitchen area if deemed warrantable based on the findings, opinions and any urgent recommendations that would be forthcoming based on the assessment of this kitchen area.
- 3. Condition of the exterior and interior wall surfaces.
- 4. Compliancy of access and egress points throughout the building.
- 5. Compliancy of the steps and stairs throughout the building.
- 6. Compliancy of electrical reticulation and installation throughout the building.
- 7. Compliancy of fire safety compliance installed throughout the building.
- 8. Presence and management of asbestos throughout the building.
- 9. Dilapidation status of paint application both internally and externally throughout the building.
- 10. Status of plumbing and drainage throughout the building.
- 11. Serviceability condition of exterior doors and windows of the building.
- 12. Condition and compliancy of balconies both internally and externally of the building.
- 13. Investigate the source of dampness emanating from areas presenting with evidence of mould throughout the building.
- 14. Assess and provide priority order of above items that require addressing in order to achieve safety and compliance and protect the amenity of the building.
- 15. Provide cost estimates for the above items assessed and reported on.

1. Overview / Acceptance Criteria

- 1.1 The building is located at 82-94 Comur Street, Yass NSW.
- 1.2 The building construction is complete.

2. Other Experts Reports

- 2.1 An assessment for asbestos, electrical, fire safety, lead paint and plumbing for Yass Memorial, 82-94 Comur Street, Yass NSW were conducted by other experts.
- 2.2 Reports provided by the other experts are as follows:
 - 2.2.1 Austin Electrical Electrical Report, undated,
 - 2.2.2 Beyond Plumbing Plumbing Report, dated 25 May 2021,
 - 2.2.3 Keane Environmental Pty Ltd Asbestos Register, Report #KE3544 dated May 2021,
 - 2.2.4 Keane Environmental Pty Ltd Asbestos Management Plan, Report # KE3544 dated 8 July 2021, and
 - 2.2.5 Warrington Fire Fire safety design advice, Job number: CA210057 dated 27 July 2021, Revision: FSDA1.0.



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2.3 Austin Electrical – Electrical Report.

6.14



Electrical Report 82 Comur Street, Yass

Fault Reported:

Carry out electrical report.

Inspection Details:

Meters and mains fuses: - The meter and main five area consists of multiple meters, multiple feeds protected by ceramic fuses with fuse wire, and HRC fuses. We recommend this be replaced with a new dedicated P.O.E with attached meter panels and submain circuit protection for each DB. This should be installed at heights that comply with AS3000 which will be much lower than existing heights.

DB6: - This DB has one Eaton Elq circuit breaker/RCD which is a recalled product. This needs to be replaced ASAP as a matter of urgency. Cabling above switchboard should have mechanical protection due to height.

House DB2: - This DB has two Eaton Elq circuit breaker/RCDs which are recalled products. These need to be replaced ASAP as a matter of urgency. Cabling above switchboard should have mechanical protection due to height.

DB (not labelled) at left of front main entrance: - This DB consists of one light and three power circuits. No issues seem to be present at this DB. DB panel should be tested in case of asbestos.

DB 2: - This DB has five Eaton Elq circuit breaker/RCDs which are recalled products. These need to be replaced ASAP as a matter of urgency. This DB also three submain feeds which will require further investigation to determine compliance.

DB 4, Stage DB: - This DB has eight Eaton Elq circuit breaker/RCDs which are recalled products. These need to be replaced ASAP as a matter of urgency. This DB also has a 15amp 3 phase outlet which should be RCD protected and is currently not.

House DB 5: - This DB has ten Eaton Elq circuit breaker/RCDs which are recalled products. These need to be replaced ASAP as a matter of urgency. This DB also has a 3 Phase 40amp circuit breaker that requires further investigation to determine what it powers and if it is compliant.

The combination of DB4 stage DB and DB5 house DB look like they have a combination of live power in each DB. This requires labelling or separation as each board cannot be isolated correctly.

3-4, 96 Gladstone Street Fyshwick ACT 2609 - PO Box 1312, Fyshwick ACT 2609
Phone (02) 6162 0044

ABN 27 128 899 712
ACN 128 899 712
ACT Licence # 20121546
NSW Licence # 190670c



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Stage control Board: - Further investigation is required to determine safety and functionality of this switching panel.

DB Kitchen: - this board has five circuits that need RCD added to meet current safety compliance. Conduit work in food preparation area may not comply with health regulations.

DB (upstairs): - This distribution board looks to be recently replaced and is up to date with AS3000. Further labelling needs to be carried out on this DB.

DB Library: - Labelling needs to be updated. Emergency lighting in the library should be fed from the Library DB. This will allow emergency lighting to activate when power is affected to the library DB or local lighting circuit in this vicinity.

DB7: - All circuits on this DB are RCD protected. All seems fine at this DB.

Lighting: - Throughout this inspection we found majority of lighting to be very old and in need of repairs or LED replacement fittings. Stage lighting in floor has smashed globes, sharp edges and seem very unsafe. Library lighting has been upgraded to LED for the ceiling lights. The library wall lights are fluorescent tube lights.

Light switches and power outlets: - Most are of heritage style but are not consistent in the style or

Cabling: - Majority of cabling is of age where it should be replaced if works were to be carried out to the building. There is also a lot of redundant cabling and bare wires that have not been made safe. There is also cabling clipped onto woodwork that should have mechanical protection covering the cables at accessible heights and areas with conduit, ducting, etc.

Results:

Urgent: - Replace recalled Eaton RCDs, tidy cabling that has bare cabling showing. Make safe all redundant cabling inside and outside. Remove lighting that is unsafe e.g. Stage floor lighting, any hanging lighting that isn't properly fixed to structures. Remove lighting in water damaged areas.

Not so urgent: - all redundant cabling be removed. Cabling to be replaced if any works are carried out. Light fitting to be replaced with suitable LED replacements. Extra GPO's in library due to power boards being used currently. Switchboards to be replaced and installed at heights that comply with AS3000.

3-4, 96 Gladstone Street Fyshwick ACT 2609 - PO Box 1312, Fyshwick ACT 2609
Phone (02) 6162 0044

ABN 27 128 899 712

ACT Licence # 20121546

NSW Licence # 190670c



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2.4 Beyond Plumbing - Plumbing Report.



Simon Gallie p. 0404 038 708 e. simon.gallie@beyondplumbing.com.au

25/05/21

Peak Consulting

Plumbing Report: Yass Memorial Soldiers Hall

I attended the property to inspect all plumbing in the building and CCTV inspection of all drainage.

On arrival I first made my way through the building testing and inspecting visually all plumbing fixtures and pipe work andresults are as follows:

Youth centre - kitchen sink good condition and good operation, new drainage.

Female toilets Ground floor – 4 x toilets all in good working order 3 x Basins good working order also, although one of the mixers on the middle basin is leaking from body. All water lines and valves look good, drains under basins and floor waste all in good condition looks like all been repaced to plastic.

Male toilets Ground floor – 2 x toilets good working order, 2 x basins good also and large urinal with 2 x cisterns all working fine drainage and water lines all good has been updated

Disabled toilet Ground floor – toilet basin and floor waste all good, toilet has very slow leak into bowl but would be easily fixed. All drains and water pipes updated.

Female toilets next to stage – 2 x toilets and basin all in good working order, all drainage and water pipes original, cisterns have been updated and new basin mixer.

Male toilets next to stage - 2 x toilets and basin good working order original pipework

Upstairs kitchen sink – good working order new drainage, original water lines but good condition, 50L hot water heater connected ok condition

Female toilet Upstairs – toilet and basin very old but still working ok original water pipes and drainage, basin is slow to drain but well vented.

Male toilets Upstairs – urinal, toilet and basin all original plumbing and very old fixtures but still working ok, showerhead does not work and shower drain very slow to drain.





Simon Gallie p. 0404 038 708 e. simon.gallie@beyondplumbing.com.au

Kitchen Ground floor – 1 double bowl sink with and single sink in prep room all good working order pipework has been updated, hot water heater next to sink in ok condition.

Library at rear of Hall – toilet basin and floor waste all in good working condition however there has been complaints of smelly drains. All has been updated.

Public toilets - Male urinal and toilets x 2 and basin all working, pipework updated

Female - 3 x toilets all working besides one toilets buttons broken, basin working well.

CCTV inspections Stormwater:

Front downpipes all drain direct to road and in fair condition would recommend jetting, downpipe at left hand side of main doors is blocked.

Stormwater drains down right hand side all clear down to manhole, downpipes at right side of hall drain direct to ground.

Stormwater drains at left side very old and in bad condition needs jetting and found blockage underneath storage room water was backing up when I was flushing the line possible collapsed pipe. Otherwise downpipes all clear both sides.

CCTV Inspections Sewer:

Bathrooms on ground floor internal really good condition all been updated to plastic and well vented, earthenware pipe work external down left hand side of building ok condition draining well but found blockage underneath storage shed aswell, would recommend jetting. Drainage pipework to upstairs bathrooms original and in ok condition, all draining well and well vented.

Sewer right hand side good condition replaced to plastic at some stage all draining well and vented, changes to earthenware down at library and is in fair condition but draining well no blockages or cracked pipes however where the drain changes from plastic to earthenware has a lip which could cause blockage.

Stage toilets drainage original condition (old) draining well .

Drains for library and public toilets all plastic and in good condition no blockages or broken pipes all draining well into sewer manhole at rear of building.

All plumbing and fixtures that I have inspected at the hall is all mostly really good, working well only a few things need attention, a few drainage issues but all meets regulations I didn't find anything illegal or dodgy.



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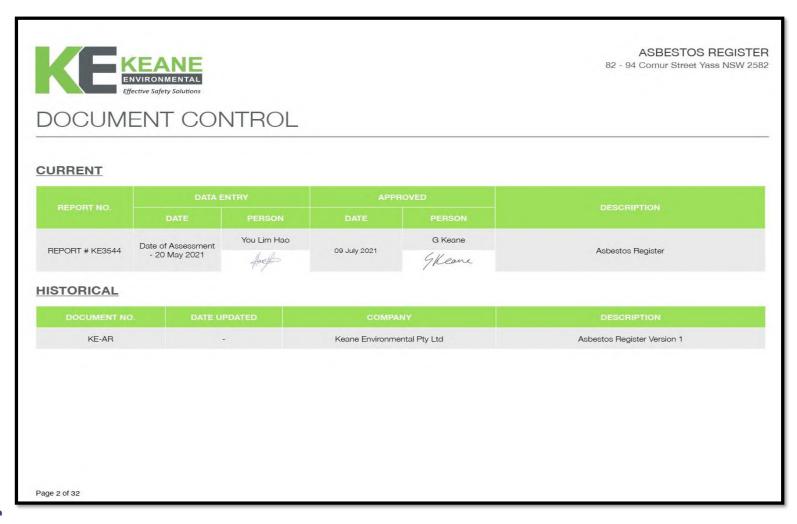
Peak Consulting 128 Gilmore Road

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2.5 Keane Environmental – Asbestos Register.









ASBESTOS REGISTER

82 - 94 Comur Street Yass NSW 2582

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ASBESTOS REGISTER

82 - 94 Comur Street Yass NSW 2582

EXECUTIVE SUMMARY

Keane Environmental Pty Ltd was requested by the Kim Granger to undertake an Asbestos Survey at the 82 - 94 Comur Street Yass NSW 2582. The survey took place on the 20 May 2021. The assessment involved a visual inspection and investigation of areas likely to contain asbestos in the property and sampling of suspected asbestos containing material (ACM).

Samples collected during the audit were sent to a National Association of Testing Authorities (NATA) accredited laboratory under controlled chain of custody (CoC). The sample results can be found on the attached at Appendix A of this document.

The following area was found to contain asbestos and found to be in a good condition:

- · Mastic around windows frames
- · Electrical switchboard backing sheet to all units.
- · Snooker room ceiling
- · Balcony sheet above Air-condition unit
- · Meeting room ceiling
- · Hallway Kitchen ceiling adjacent to meeting room
- · Kitchen small ceiling and walls panels
- · Gallery exit hallway ceiling
- · Sheet behind fire place
- · Archive Blue floor tiles
- Black adhesive under floor tiles



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ASBESTOS REGISTER

82 - 94 Comur Street Yass NSW 2582

- · Male toilet ceiling Electrical Switch Board
- · Male toilet suspension ceiling
- · Male toilet ceiling debris
- · Stage female toilet VFT/Grey
- · Stage female toilet black adhesive under VFT
- · Stage female toilet ceiling
- · Stage male toilet ceiling
- · Ceiling under female toilet stage
- · Subfloor sheet debris
- · Annex ceiling
- · Annex Kitchen ceiling
- · Kitchen storage walls
- · Hallway, stairway and Community room ceiling
- · Outdoor walkway ceiling
- · Library staff toilet ceiling
- · Library walls panels
- · Public toilet ceilings throughout

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ASBESTOS REGISTER

82 - 94 Comur Street Yass NSW 2582

STATEMENT OF LIMITATIONS

The register was designed to be read as a whole document and must only be reproduced in full. All relevant legislation and best practice was followed during the time the assessment was conducted. All conclusions and recommendations are written by the assessor using their professional judgement and are based on the condition of the materials at the time the assessment was conducted.

While every effort was made to identify all ACM on site, no determination can be made for areas such as formwork under concrete slabs or inaccessible areas that the asbestos assessor could not be reasonably expected to identify (e.g. subterranean asbestos pipes, formwork or ACM behind ACM).

ASBESTOS MANAGEMENT PLAN INFORMATION

This document forms part of building's overall asbestos management plan. The overarching Asbestos Management Plan (AMP) contains information such as the background to asbestos, management of asbestos, and reviewing of the asbestos register.

This register should be kept on site and updated accordingly by a licensed assessor, as documented in the overarching Asbestos Management Plan. This document incorporates findings from the survey investigation. The inspection and sampling was undertaken by You Lim Hao a licensed asbestos assessor on the 24/05/2021.

Legislation requires all buildings constructed prior to the 31 December 2003 to have an asbestos management plan and register. Any commercial buildings constructed after the 31 December 2003 do not require to have an asbestos management plan and register and are deemed asbestos free.

The building occupiers must understand their obligation to ensure that all the asbestos containing material identified on site is managed in accordance with current legislative requirements to prevent health risks towards employees, contractors and the public.

ASBESTOS REMOVAL

A licensed asbestos removalist must be engaged for all asbestos removal work and must notify Safework NSW five (5) days prior to work commencing. A licensed asbestos assessor must be engaged to conduct a clearance inspection once the removal work is complete and issue a clearance certificate. Air monitoring is mandatory for all friable removal works.

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ASBESTOS REGISTER

82 - 94 Comur Street Yass NSW 2582

RISK ASSESSMENT & RECOMMENDATIONS

Identified ACM is risk assessed based on the following criteria:

- · the condition of the material at the time of the assessment;
- · the accessibility of the material;
- the likelihood of the material being disturbed resulting in a release of asbestos fibre.

The recommended actions are detailed in the asbestos register, however the asbestos material noted in the register must be removed prior to any refurbishment or demolition work commencing at the property.

CONTRACTORS

Any contractor engaged to conduct work at this property must be given the asbestos register to determine if the work will disturb any of the asbestos identified. No work must be carried out that may cause any disturbance ACM.

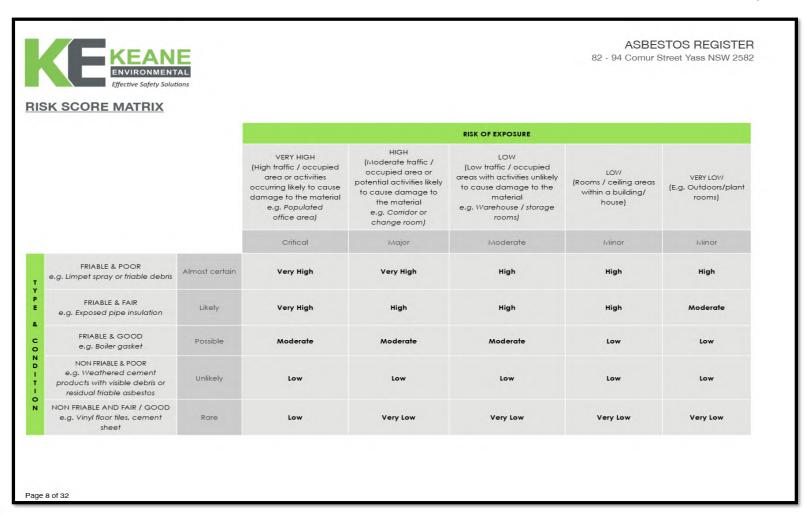
Unexpected Finds:

The survey was not intrusive and due to the limitations noted in this document, the unexpected finds procedure at Appendix C should be followed if material is uncovered suspected to be asbestos and is not noted in the asbestos register.

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ASBESTOS REGISTER

82 - 94 Comur Street Yass NSW 2582

ASBESTOS REGISTER - YOUTH CENTRE

Asb	estos detect	ted		Presume	Presumed to contain asbestos			No asbestos detected		
LOCATION	MATERIAL	SAMPLE ID	Approx Qty m²	TYPE & CONDITION	RISK OF EXPOSURE	RESULT	COMMENTS	РНОТО		
Around front windows	Mastic	A1		Non Friable & fair	Low	Chrysotile Asbestos Detected	Label and Manage Inspect every 5 years			
To timber windows	Putty	A2	-4-	N/A	N/A	No Asbestos Detected	No further action required			
Youth centre Electrical Switch Board	Sheet	АЗ	1	Non Friable & good	Very Low	Chrysotile Asbestos Detected	Label and Manage Inspect every 5 years			



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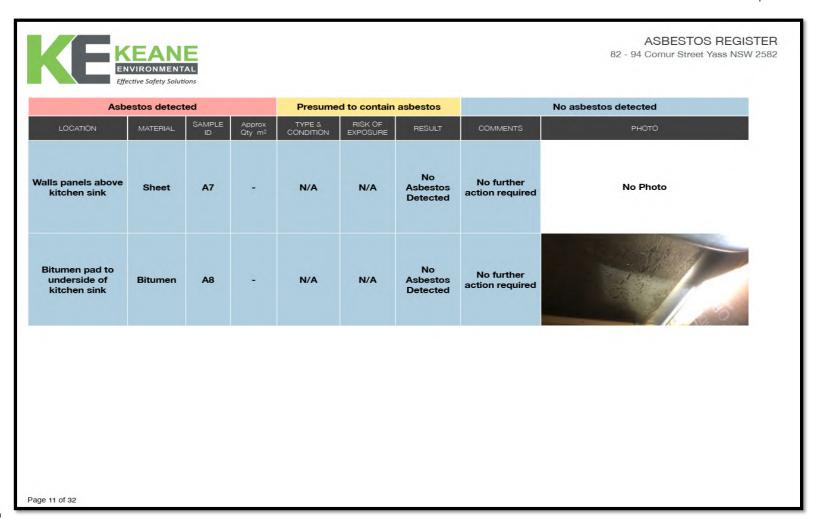
ASBESTOS REGISTER

82 - 94 Comur Street Yass NSW 2582

Asb	estos detect	ed		Presume	Presumed to contain asbestos			No asbestos detected		
LOCATION	MATERIAL	SAMPLE ID	Approx Qty m²	TYPE & CONDITION	RISK OF EXPOSURE	RESULT	COMMENTS	РНОТО		
Snooker/Kitchen room ceiling	Sheet	A4	30	Non Friable & good	Very Low	Chrysotile Asbestos Detected	Label and Manage Inspect every 5 years			
Snooker room vinyl floor covering	VFC	A 5	-	N/A	N/A	No Asbestos Detected	No further action required			
Snooker room brown vinyl floor tiles	VFT	A6		N/A	N/A	No Asbestos Detected	No further action required			



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ASBESTOS REGISTER

82 - 94 Comur Street Yass NSW 2582

ASBESTOS REGISTER - MAIN BUILDING

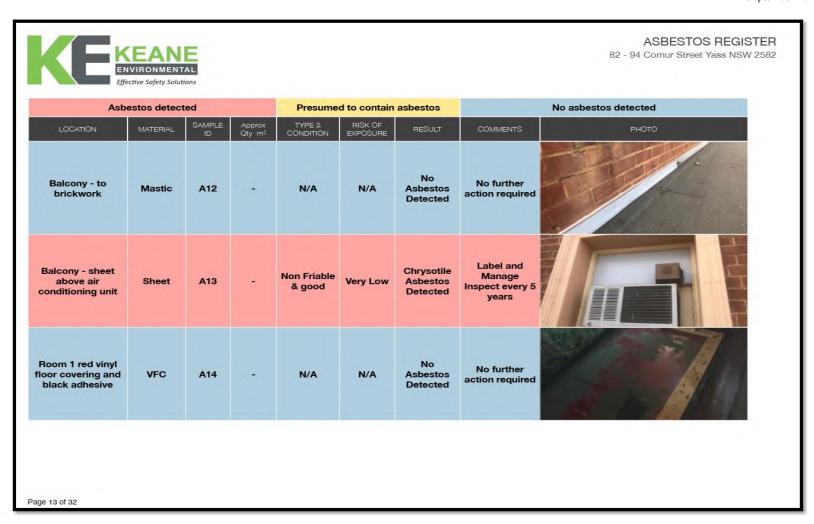
Asbe	estos detect	ted		Presumed to contain asbestos			No asbestos detected		
LOCATION	MATERIAL	SAMPLE ID	Approx Qty m²	TYPE & CONDITION	RISK OF EXPOSURE	RESULT	COMMENTS	РНОТО	
Balcony - on metal skirting	Mastic	A9		N/A	N/A	No Asbestos Detected	No further action required		
Balcony - bitumen membrane	Bitumen	A10		N/A	N/A	No Asbestos Detected	No further action required		
Balcony - to timber windows	Putty	A11	-	N/A	N/A	No Asbestos Detected	No further action required		



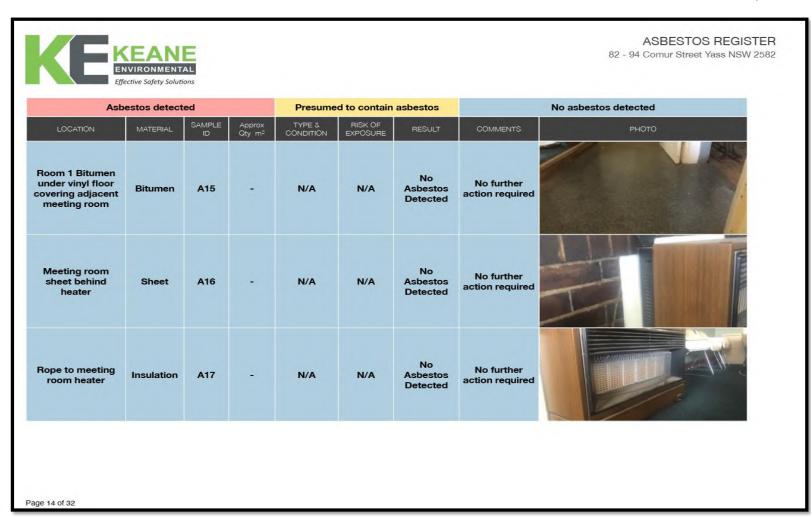
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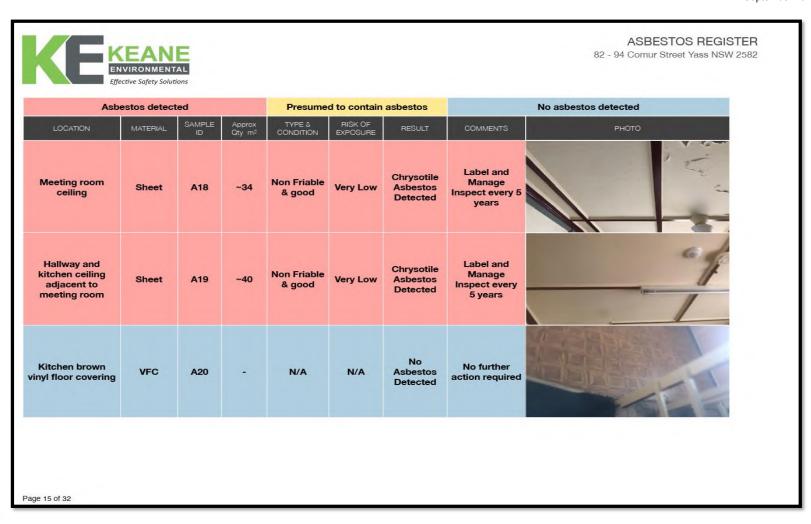
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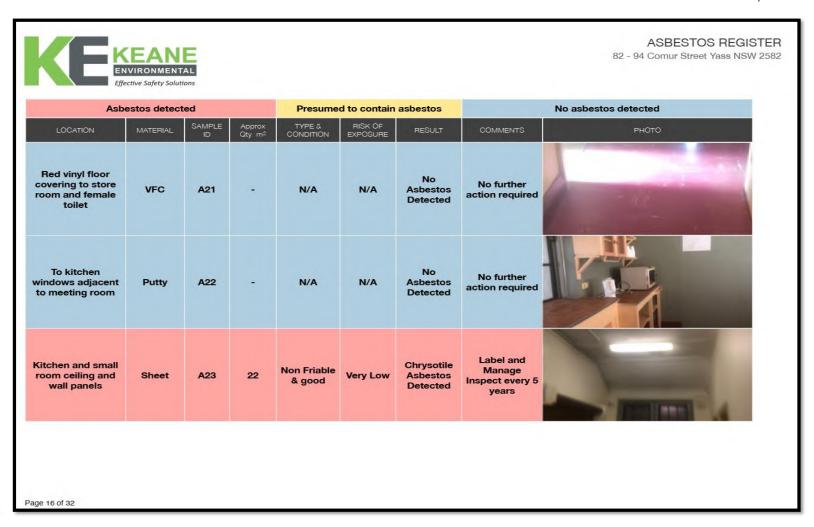


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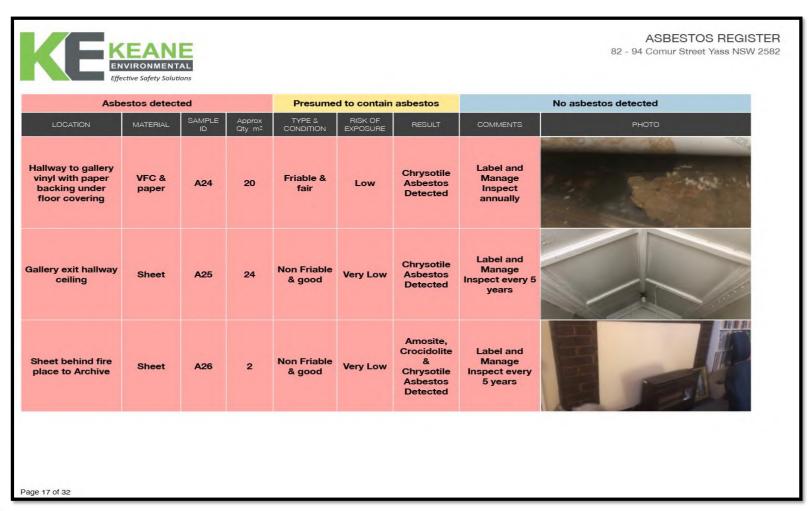




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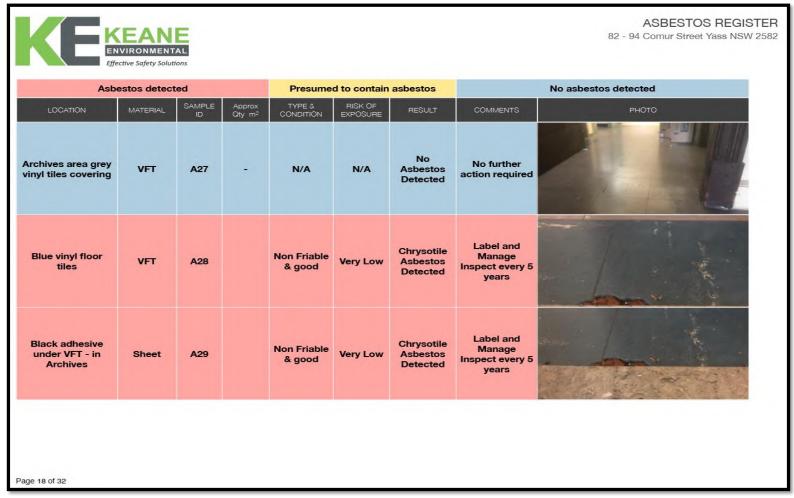


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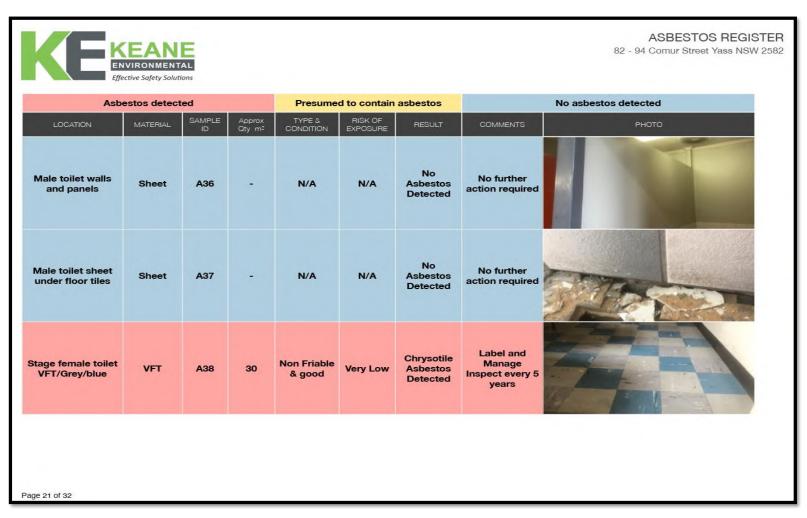
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ASBESTOS REGISTER 82 - 94 Comur Street Yass NSW 2582 Effective Safety Solutions Asbestos detected Presumed to contain asbestos No asbestos detected COMMENTS No No further Ceiling insulation Insulation A30 N/A N/A **Asbestos** action required Detected No Wire insulation No further Insulation A31 N/A N/A **Asbestos** oyster light action required Detected Female toilet walls No further A32 N/A N/A **Asbestos** and panels action required Detected Page 19 of 32

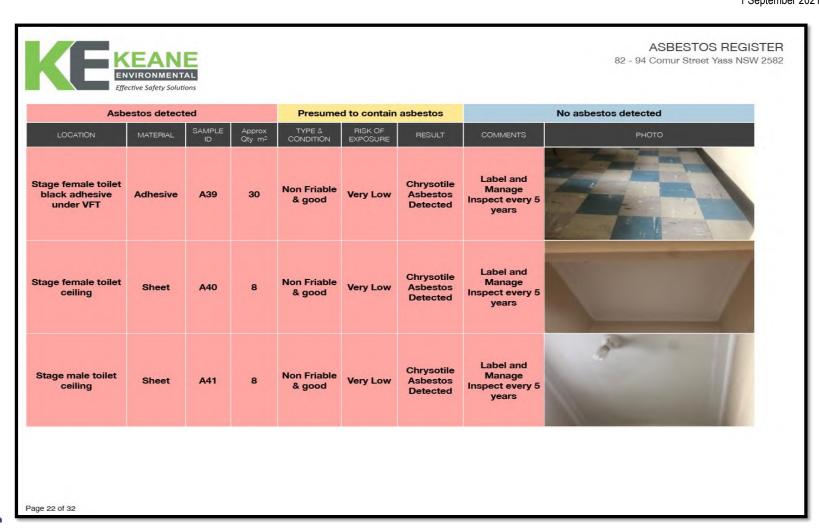
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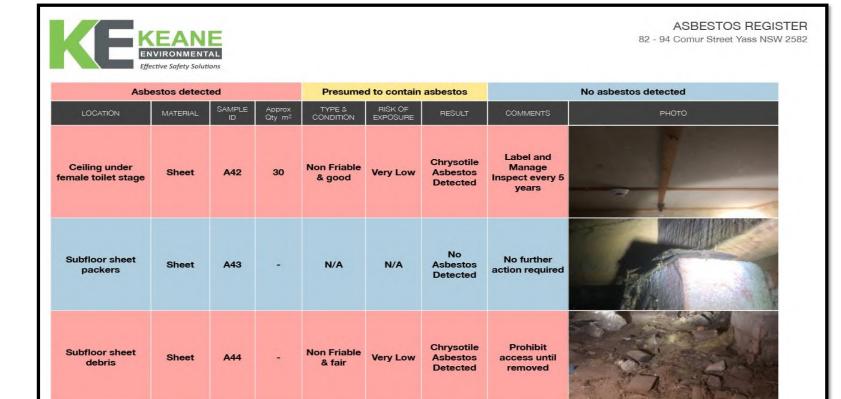
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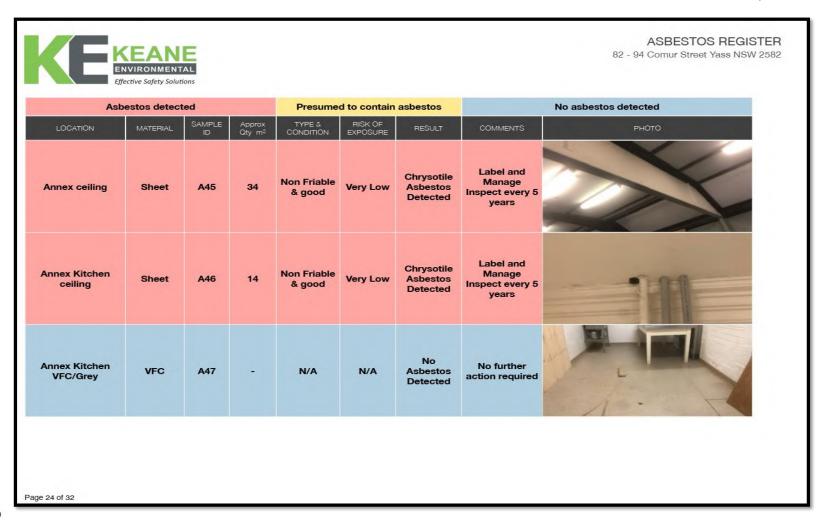


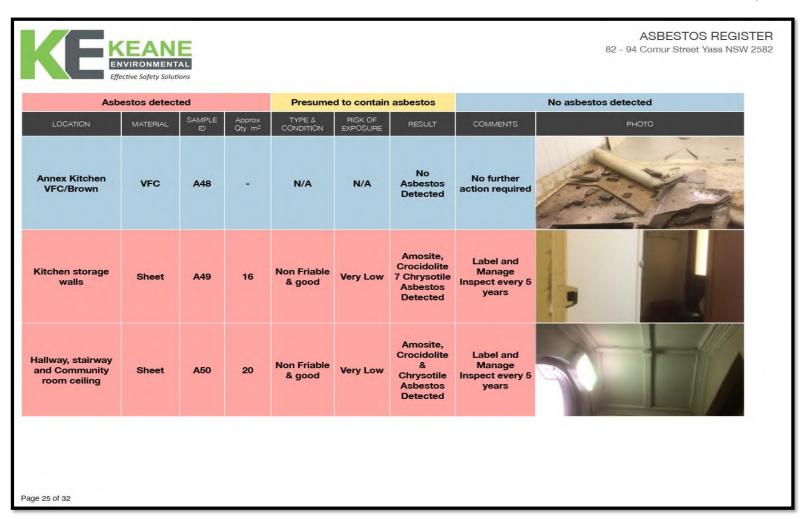
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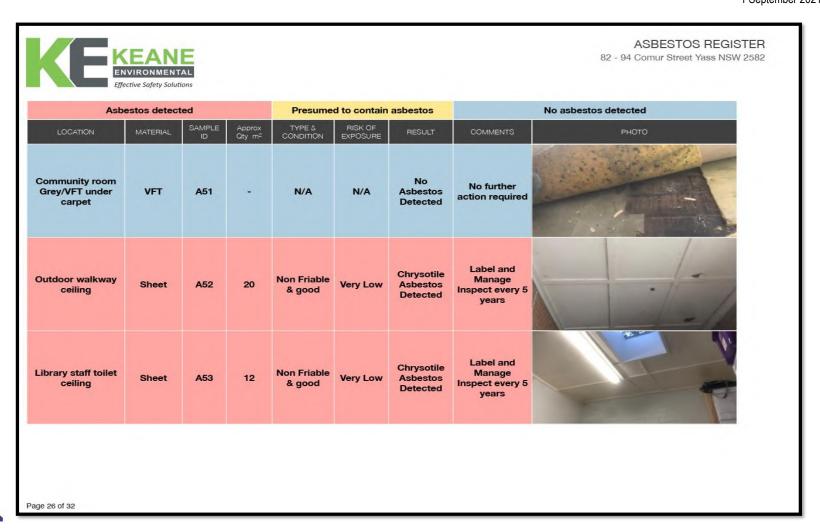


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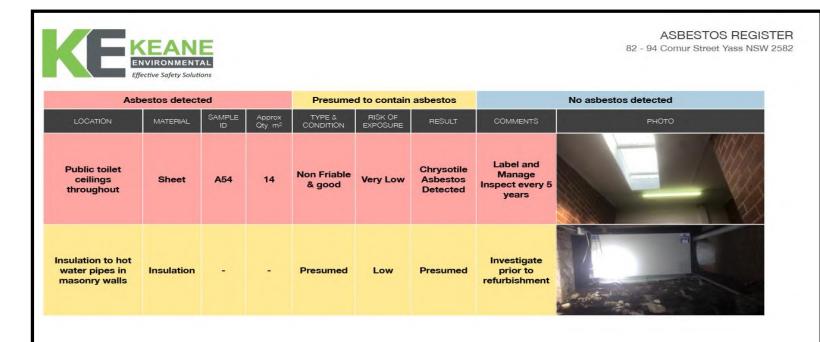






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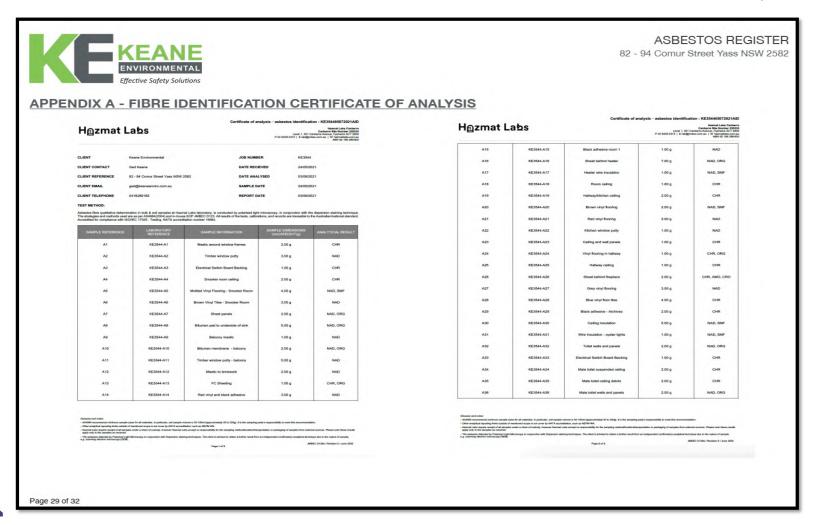
ASBESTOS REGISTER

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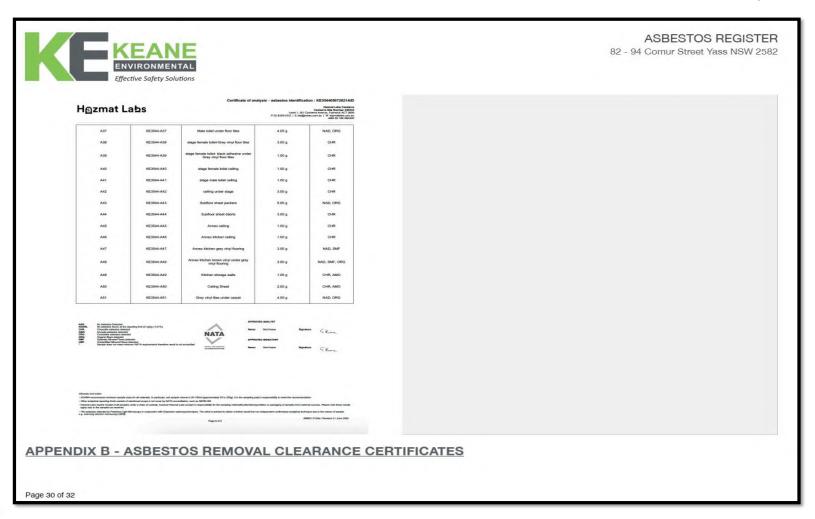
APPENDICES

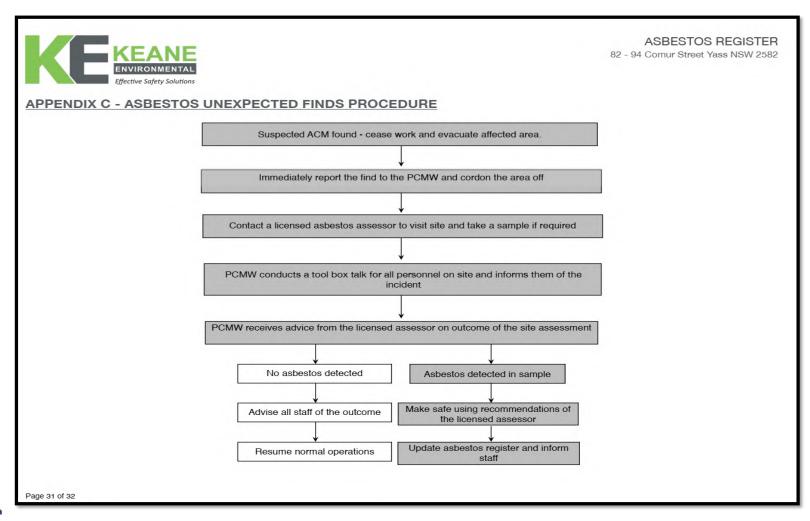
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ASBESTOS REGISTER

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APPENDIX D - APPLICABLE LEGISLATION

The latest edition of the following legislation is applicable to Asbestos Assessments in Workplaces:

Work Health and Safety Act 2011.

Work Health and Safety Regulation 2017.

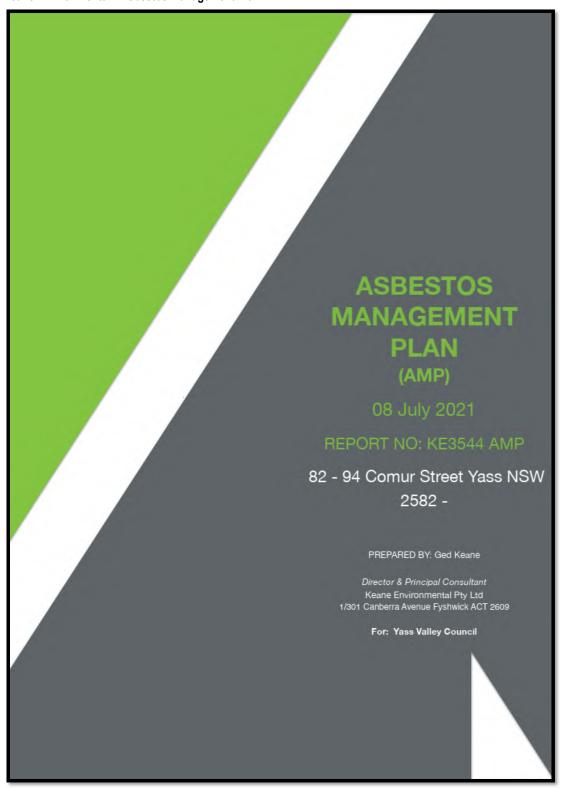
Work Health and Safety (How to Manage and Control Asbestos in the Workplace Code of Practice) 2019.

Work Health and Safety (How to Safely Remove Asbestos Code of Practice) 2019.

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2.6 Keane Environmental - Asbestos Management Plan.





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ASBESTOS MANAGEMENT PLAN

82 - 94 Comur Street Yass NSW 2582

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INTRODUCTION

The building management team at the Yass Valley Council, understand their obligation to manage asbestos containing material (ACM) in the building if identified. Please refer to the building register asbestos when reading the AMP.

Due to the age of the building on site and the sampling conducted it is unlikely that any further asbestos containing materials are present that may not yet have been identified apart from possibly formwork in the original building foundations. The non destructive limitations can be found in the building asbestos register.

Legislation requires all buildings constructed prior to the 31 December 2003 to have an asbestos management plan and register. This AMP forms the overarching policy document on how the occupants of the building should manage ACM in their building and a separate asbestos register kept detailing the ACM present in the building along with a current risk assessment.

Any buildings constructed after the 31 December 2003 do not require to have an asbestos management plan and register and are deemed asbestos free.

The building owners will arrange an intrusive / destructive asbestos survey on any building areas constructed prior to 1990 or machinery installed prior to December 2003 that are to undergo major renovation/demolition works.

The occupiers of the building must understand their obligation to ensure that all the asbestos containing materials identified on site are managed in accordance with current legislative requirements to prevent health risks towards employees, contractors and the public.

In order to comply with the Work Health and Safety (WHS) Act 2011 and associated regulation, the owners of 82 - 94 Comur Street Yass NSW 2582, have engaged Keane Environmental Pty Ltd (KEC) to prepare this Asbestos Management Plan (AMP) to assist with the management of asbestos containing materials throughout their building.

MISSION STATEMENT

- To aim for an asbestos free or asbestos safe workplace long term.
- In the interim the objective is to reduce the risks of all asbestos containing materials on site to as low as is reasonably practicable, ideally this will be a low or very low risk.
- The low risk ACM will be managed through a process of awareness, administrative controls and frequent inspection.



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BACKGROUND

BACKGROUND

Asbestos is a naturally occurring mineral fibre, consisting of two groups:

- · Serpentine Group comprised of only chrysotile (white asbestos)
- Amphibole Group comprised of anthophyllite, amosite (brown asbestos or grey asbestos), crocidolite (blue asbestos), tremolite, and actinolite.

Due to its flexibility, tensile strength, insulating properties (both heating and electrical), chemical inertness and affordability, asbestos was widely regarded as one of the most versatile materials.

These properties made asbestos a very popular material, and it was used in many industries and applications worldwide. Australia was one of the highest users per capita in the world up until the mid1980s. It is approximated that one-third of all homes built in Australia contain asbestos products. Raw asbestos was mined extensively throughout Australia the mid 1980s.

Asbestos containing materials (ACMs) can be are categorised as friable and non-friable:

- Non-friable asbestos is usually bonded in a matrix after it has been mixed with other materials like cement resins or plastics. Non friable asbestos is most commonly found in the built environment.
- Friable asbestos is defined as any asbestos material that can be crumbled, pulverised or reduced to a
 powder by hand pressure when dry and is much more likely to produce airborne fibres.

Both friable and non-friable asbestos pose a significant health risk to all workers and others, and as such are governed by strict regulations and codes of practice. ACM must be identified and then properly managed until a time when they are to be carefully removed.

The Work Health Safety (WHS) Regulations set out the training and competency requirements for asbestos assessors, asbestos removal workers and supervisors. Under the Regulations, two licenses have been established —Class A and Class B. Businesses with a Class A licence are permitted to remove all types of asbestos, including both friable and non-friable asbestos. Businesses with a Class B license can only remove non-friable asbestos. The WHS Regulations have also created a new license for asbestos assessors, whom must be employed to carry out air monitoring and clearance inspections following removal of friable asbestos.



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LEGISLATIVE REQUIREMENTS

This Asbestos Management Plan has been prepared in accordance with the following documentation:

NO.	DOCUMENT NAME		
1	Work Health and Safety Act (2011)		
2	Work Health and Safety Regulation (2017)		
3	How to Manage and Control Asbestos in the Workplace - Code of Practice		
4	How to Safely Remove Asbestos - Code of Practice		
5	Guidance Note on the Membrane Filter Method for Estimating Airborne Asbestos Fibres 2nd Edition (NOHSC: 3003(2005))		

DUTIES UNDER THE WHS REGULATION 2017

The Work Health and Safety (WHS) legislation, Section 422 of the WHS Regulations 2017 placed the following duties on a person with management or control of a workplace (PMCW) a PMCW within the building this would be a Compliance, Facilities or Building Manager.

422 Asbestos to be identified or assumed at workplace

(1) A person with management or control of a workplace must ensure, so far as is reasonably practicable, that all asbestos or ACM at the workplace is identified by a competent person.

Maximum penalty:

- (a) in the case of an individual-\$3,600, or
- (b) in the case of a body corporate-\$18,000.
- (2) A person with management or control of a workplace must:
 - (a) if material at the workplace cannot be identified but a competent person reasonably believes that the material is asbestos or ACM—assume that the material is asbestos, and
 - (b) if part of the workplace is inaccessible to workers and likely to contain asbestos or ACM—assume that asbestos is present in the part of the workplace.
- (3) Subclause (1) does not apply if the person:
 - (a) assumes that asbestos or ACM is present, or
 - (b) has reasonable grounds to believe that asbestos or ACM is not present.
- (4) If asbestos or ACM is assumed to be present at a workplace, it is taken to be identified at the workplace. The above only applies to a workplace built before 31 December 2003.



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THE MANAGEMENT PLAN

INTRODUCTION

This AMP applies to 82 - 94 Comur Street Yass NSW 2582, where asbestos containing materials (ACM) are present and follows the general principles of the asbestos management plan set out in current legislation.

The AMP sets out the steps on how the PMCW will manage any identified ACM and provide a safe and healthy work environment for its workers, contractors and visitors by:

KEY ASPECTS

The key aspects of the this Asbestos Management Plan are to:

- · Aim for an asbestos free or asbestos safe workplace
- Aim to label all identifiable ACM and record them in the register where reasonably practicable, or deemed appropriate to do so
- · Perform a risk assessment on all ACM
- · Implement appropriate control measures based on the risk assessment
- · Ensure consultation across all stakeholders
- · Ensure legislative compliance

GENERAL PRINCIPLES

In accordance with the management plan the PMCW will:

- Continue to assess and/or survey the site buildings to ascertain the presence of asbestos (e.g. demolition asbestos surveys before major building works occur).
- Maintain the register containing the location or suspected location of asbestos, and review annually, or beforehand if there are any changes to the asbestos on site (e.g. Removal or remediation of asbestos).
- Assess potential health risks and implement control mechanisms.
- · Remove or control asbestos materials that pose an immediate health risk.

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ONGOING MANAGEMENT

The following hierarchy of controls, as recommend by current legislation, will be used as a driver to the ongoing management of the ACM identified on site:

- 1. Elimination or removal
- 2. Isolation, enclosure or sealing
- 3. Engineering controls
- 4. Safe work practices (administrative controls)
- 5. Personal protective equipment (least preferred)

If no single highest order control is suitable, then a combination of the above may be required.

REVIEW OF THE MANAGEMENT PLAN

The PMCW must ensure the AMP is reviewed and revised if necessary, but no longer than five years or when:

- · There is a review of the asbestos registers or a control measure.
- · ACM is removed from or disturbed, sealed or enclosed at the property.
- The plan is no longer adequate for managing ACM at the property.
- A health and safety representative requests a review if they reasonably believe that any of the matters listed
 in the above points affects or may affect the health and safety of a member of their work group and the AMP
 was not adequately reviewed.

THE ASBESTOS REGISTER

The Asbestos Register covers the recording of ACM or sample locations, survey and analysis results in a register, which forms the basis of the asbestos register for recording and documenting asbestos remediation and mitigation information.

The PMCW will maintain an accurate register of ACM. This register shall contain the following information:

- · The locations, form, types, and condition of any ACM identified.
- · Details of any material presumed to contain asbestos.
- · Asbestos identification NATA laboratory results (kept in a separate document).
- · Date the survey or re-inspection was conducted .
- The name of the licensed asbestos assessor who carried out the survey/re-inspection.
- · Risk assessment ratings.



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- Results and date of any air monitoring testing and clearance inspections.
- · Control measures recommended and implemented.
- · Remediation and maintenance measures and records.

An asbestos register is not required if a workplace/building has been constructed after 31 December 2003 or if no asbestos has been identified.

REVIEW OF THE ASBESTOS REGISTER

The PMCW must ensure an asbestos register is reviewed and where necessary revised by a licensed asbestos assessor if:

- · the asbestos management plan is reviewed
- · if asbestos or ACM is identified at the workplace
- · asbestos is removed from or disturbed, sealed or enclosed at the workplace.

ACM noted in the asbestos register should be reinspected within the timeline stipulated by the asbestos assessor who originally assessed the ACM. The interval between assessments will be based on risk.

When reviewing the asbestos register, the assessor should carry out a visual inspection of any ACM listed to determine its condition and revise the asbestos register as appropriate. Previous asbestos registers and records relating to asbestos removal jobs, for instance clearance certificates, can assist in identifying all ACM in the workplace.

ACCESS TO THE ASBESTOS REGISTER

The PMCW must ensure the asbestos register is readily accessible to:

- · a worker who has carried out, carries out or intends to carry out work at the workplace.
- health and safety representatives who represent workers who carry out or intend to carry out work at the workplace.
- a person conducting a business or undertaking who has carried out, carries out or intends to carry out work at the workplace.
- a person conducting a business or undertaking who has required, requires or intends to require work to be carried out at the workplace.

A copy of the asbestos register will be kept on site to ensure it is accessible.



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ACM Risk Assessment Criteria

The Purpose of the risk assessment is to allow informed decisions to be made about asbestos control measures, including training, air monitoring and health surveillance requirements.

Only Licensed Asbestos Assessors or a competent person must perform risk assessments or any subsequent reviews or revisions of risk assessments.

Decisions about control measures to protect employees, contractors, visitors and personnel who hire the buildings will depend on the assessed risk. The risk assessment shall take into account of the information in the register of ACM including:

- The condition of the ACM (e.g. whether they are friable or non friable and stable, and whether they are liable to damage or deterioration).
- · The likelihood of exposure.
- Whether the nature or location of any work to be carried out is likely to disturb the ACM.
- . The results of the risk assessment should be documented in the register of ACM.

KECs risk assessment matrix can be found in the asbestos register for the Building.



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CONSULTATION AND COMMUNICATION

The PMCW must understand the importance of education and awareness surrounding asbestos containing materials. This plan aims to provide consultation between relevant stakeholders at each step of the process.

RESPONSIBLE PERSONS

NAME	COMPANY	POSITION	CONTACT	
Ged Keane	Keane Environmental Pty Ltd	Licensed Asbestos Assessor	0418 289 182	

STAFF

The PMCW must ensure staff are informed that an asbestos register is present on site.

All training, including asbestos awareness should be captured in a document similar to the Staff Training Register found in *Appendix A*.

CONTRACTORS

An asbestos register has been created for the property and the register should be kept available on site. Any contractors who conduct work on site must be given a copy of the asbestos register before work has commenced. Where direct marking of asbestos has not been carried out (see below), identifying the presence and location of asbestos to contractors before they commence work may be achieved by implementing a sign off or permit-to-work system.

Contractors general responsibilities are:

- Read the building asbestos registers and sign off to acknowledge their duties and responsibilities in respect
 to asbestos management.
- Checking the Asbestos Register before undertaking work at the building.
- · Ensure their employees have the required asbestos awareness training.
- Stop work if ACM is suspected in the work area not previously identified and immediately notify the PMCW
 who will arrange testing for the suspected ACM.
- · Notify the PMCW prior to any works that could directly disturb any existing or known ACM.
- · Prepare and implement safe work method statements for work on or in the vicinity of ACM.
- Notify and get approval from the PMCW for licensed asbestos removal contractor engagement and scope of work prior to any work beginning.





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Contractors must sign off that they have received and understood information regarding ACMs at the building. An example Contractors Sign Off Register can be found in *Appendix B*.

EMERGENCY PROCEDURES

If asbestos containing materials have been disturbed, or damaged on site, the area must be isolated, and a licensed asbestos assessor should be contacted for advice (see responsible persons section). The licensed asbestos assessor would provide advice on how the emergency should be handled.

Please refer to Appendix D - Emergency Procedures further instructions.

RECORDS

Records must be kept of any works performed on asbestos containing materials. They should be kept on site with this document and all asbestos registers. This includes any removals works, air monitoring etc. Records should show:

- · Details and scope of the work performed.
- · Names of those performing the work.
- · Date or dates of the work.
- · Include copies of any clearance certificates or permits.





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MANAGING THE ASBESTOS ON SITE

There are a variety of maintenance and service work processes that have the potential to disturb asbestos containing materials. These include any process that is likely to release asbestos fibres from the materials found on site and the PMCW must recognise the following to be potentially a hazardous process:

REFURBISHMENT OR DEMOLITION AUDIT

ACM may be present in a building/facility (hidden within the fabric of the building) but not recorded in the register. Prior to any major fit out, refurbishment work, major upgrade work on plant and machinery or demolition work which could disturb known or presumed ACM an intrusive survey should be conducted.

An intrusive asbestos audit can involve investigating areas and surfaces not previously accessed in the previous asbestos survey (i.e. hot water pipes in masonry walls, tiled or linoleum lined wall surfaces, eaves, voids, service risers and under carpeted areas for example).

The PMCW is responsible for organising an assessor to conduct an intrusive asbestos building audit to identify all ACM, so far as reasonably practicable. Any intrusive asbestos audit must be conducted by a suitably qualified person.

LABELLING

All Identified ACM should be labelled with approved asbestos warning labels or signs. Due to stigma associated with asbestos and to avoid malicious damage to ACM, labelling can be kept to discreet areas. Where labelling cannot be undertaken, the building management team will adopt strict administrative controls to ensure ACM is not subject to accidental damage.

Examples of compliant labels can be seen in Appendix C.

LICENCED ASBESTOS REMOVALS CONTRACTORS

Planned asbestos removal works should be conducted in accordance with the Code of practice for the Safe Removal of Asbestos. It is important to note that Safework NSW requires 5 working days notification/permit, submitted by the Class A Class A licensed asbestos removalist prior to any removal work commencing – unless emergency conditions apply.

A Class A licensed asbestos removal contractor will conduct works involving the removal of ACM within the building. Any amount of non-friable asbestos is specified for mandatory engagement of a Class A licensed asbestos removalist and for all friable asbestos product or material. The Class A licensed asbestos removal contractor must submit an asbestos removal control plan (ARCP) for review to a licensed asbestos assessor before work can commence. Attached at appendix E is a table of what should be in an ARCP.

Contractors must ensure that all asbestos related works are carried out in accordance with the legislative documents and guidance material listed on page 4.

Where asbestos remediation work is required, the PMCW of the workplace will nominate the Class A licensed asbestos removalist and a licensed asbestos assessor. The licensed asbestos assessor must be engaged to conduct clearance inspections on all asbestos removal work.





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Air monitoring is mandatory during the removal of friable asbestos. A Licensed Asbestos Assessor must also be employed to undertake the air monitoring and clearance Inspection, which involves a visual inspection and clearance monitoring of the asbestos work area.

The licensed assessor must be totally independent of the asbestos removalist.

Once it has been established that the removal work has been completed satisfactorily, a clearance certificate and copy of the air monitoring certificate must be issued to provide assurance that the area is safe for normal reoccupation.

Any asbestos that remains in-situ following asbestos removal works must be communicated to the ASC and the AMP and asbestos register must be updated.

The following Elements are required prior to any asbestos removal work:

- · Review of proposed work by the PMCW with the service contractor or builder.
- Review of ARCP and SWMS submitted by Class A licensed asbestos removalist prior to work commencing.
- Review of licensed asbestos removal contractor's ARCP and SWMS by the PMCW, prior to work commencing.
- Review of proposed licensed asbestos assessor services relating to any supervision, air monitoring and clearance inspections.
- Review of previous asbestos remediation records.
- · Inform all stakeholders who could be affected by the remediation works.

NON LICENSED REMOVAL WORKS

Removal of asbestos must be conducted by Class A or Class B asbestos removal licence holders.

Friable asbestos materials must not be removed by a person who does not have a Class A asbestos licence.

The PMWC shall provide information on the presence of ACM to contractors engaged to conduct work at the Buildings. Minor work must be performed in accordance with the safe work practices for minor work with ACM at the appendices of the Codes of Practice for the Management and Control of Asbestos in the Workplace.

Minor work usually involves:

- · Cleaning of gutters for asbestos roofs.
- · Drilling of asbestos cement sheeting.
- Patch repairing damaged asbestos cement sheeting or vinyl floor coverings.
- · Preparation and painting of asbestos cement sheet claddings.

All contractors who carry out any asbestos minor work that does not require a licence must have insurance cover for working with ACM and have the necessary training requirements.



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ACCIDENTAL EXPOSURE TO ASBESTOS CONTAINING MATERIAL

Where staff have been exposed to asbestos through an accidental event, but the Exposure Standards not breached (air monitoring required to prove this) they would not normally be required to undergo health surveillance monitoring, staff are to be made aware of their opportunity to consult Health and Safety Staff for counselling or assessment.

REPORTING ASBESTOS CONTAINING MATERIAL INCIDENTS

Part 3 of the WH&S Act 2011 deals with notifiable incidents and explains what a notifiable incident is. Under the Act exposure to a substance is classed as a notifiable incident and must be reported to the regulator (Safework NSW) ASAP.

The incident is to be reported to the building/facilities manager and the asbestos emergency procedures detailed at appendix D followed.

AIR MONITORING RESULTS

Once the results of the air monitoring are received the PMCW must use the table below to determine if any action is required. The Class A licensed asbestos removalist must take action depending on the respirable asbestos fibre level. Where the results show that respirable asbestos fibre levels exceed the action levels outlined in the table on the following page, action must be taken immediately.



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Action level	Control	Action		
Less than 0.01 fibres/ml	No new control measures are necessary	Continue with control measures		
At 0.01 fibres/ml or more than 0.01 fibres/ml but less than or equal to 0.02 fibres/ml	1. Review	Review control measures		
	2. Investigate	Investigate the cause		
	3. Implement	Implement controls to eliminate or minimise exposure and prevent further release		
More than 0.02 fibres/ml	1. Stop removal work	Stop removal work		
	2. Notify PMCW	Phone and email PMCW		
	3. Notify Safework NSW	Notify Safework NSW by phone followed by far or written statement that work has ceased and send a copy of the results of the air monitoring.		
	4. Investigate the cause	Conduct a thorough visual inspection of the enclosure (if used) and associated equipment in consultation with all workers involved with the removal work		
	5. Implement controls to eliminate or minimise exposure and prevent further release	practicable (until fibre levels are at or below 0.01 fibres/ml. wet wipe and vacuum the		
	6. Do not recommence removal work until further air monitoring is conducted	Do not recommence until fibre levels are at o below 0.01 fibres/ml		



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HEALTH MONITORING

The PMCW will arrange health monitoring where a member of staff, contractor or visitor is at risk of exposure to asbestos due to work at a building that has exposed them to asbestos. Health monitoring must also be undertaken where there is a risk of exposure including for example ongoing unlicensed removal work, undertaking maintenance work on ACM regularly as part of another job (for instance, electricians or building maintenance staff in older buildings). The need for health monitoring for these people should be determined on the basis of:

- · the potential for exposure
- · the frequency of potential exposure
- · the duration of the work being undertaken.

Health monitoring must be carried out under the supervision of a registered medical practitioner with the relevant competencies. Prior to deciding who the registered medical practitioner will be, the PMCW will consult the person.

The person who commissions health monitoring must provide the following information to the registered medical practitioner:

- · their name and address
- . the name and date of birth of the person
- a description of the work the person is, or will be, carrying out that has triggered the requirement for health monitoring
- whether the person has started the work or, if the person has commenced carrying out the work, how long this has been for.

A person who commissions health monitoring must take all reasonable steps to obtain a report from the registered medical practitioner as soon as practicable after the monitoring is carried out.

The health monitoring report must include the following information:

- · the name and date of birth of the person
- · the name and registration number of the registered medical practitioner
- the name and address of the person who commissioned the health monitoring
- · the date of the health monitoring
- any advice that test results indicate the person may have contracted a disease, injury or illness as a result of
 carrying out the work that triggered the need for health monitoring any recommended remedial measures,
 including whether the person can continue to carry out the work
- · whether medical counselling is required for the person.

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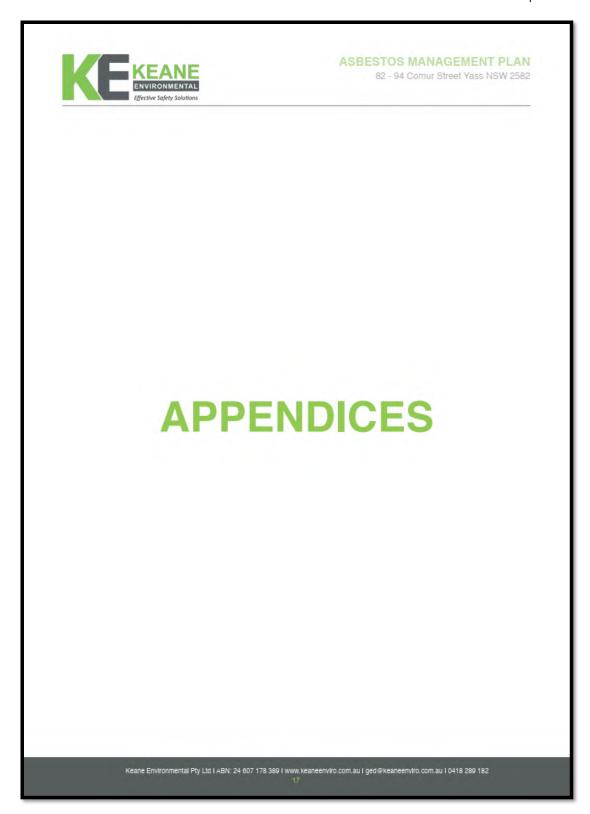
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That person must also give a copy of the report, as soon as reasonably possible after obtaining it from the medical practitioner, to:

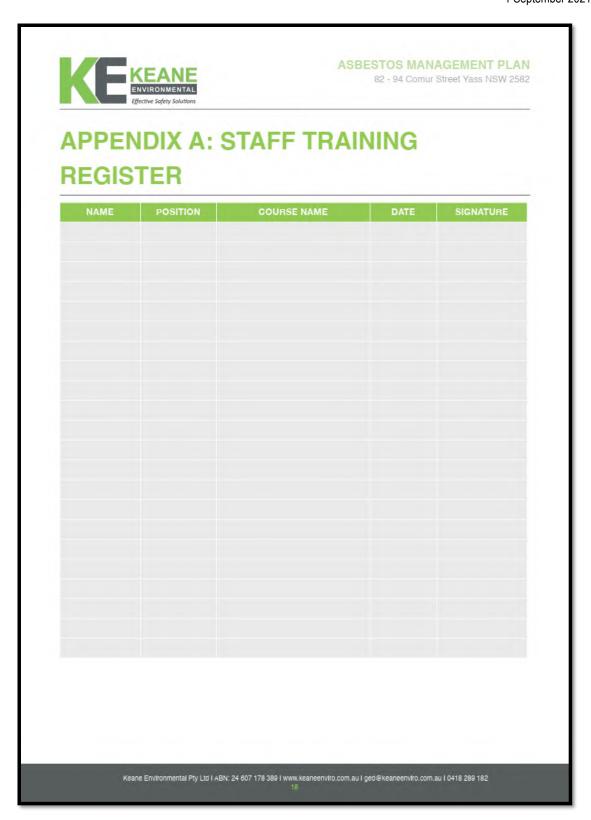
- · the person
- · the regulator, if the report contains:
- any test results that indicate the person may have contracted a disease, injury or illness as a result of the work that triggered the need for health monitoring.
- · any recommended remedial measures, including whether the person can continue to carry out the work

Reports must be kept as a confidential record for at least 40 years after the record is made and identified as a formal record for the particular person. The report and results must not be disclosed to anyone unless the person has provided their written consent. However, if the person was releasing the record under a duty of professional confidentiality, the person's written consent is not required.















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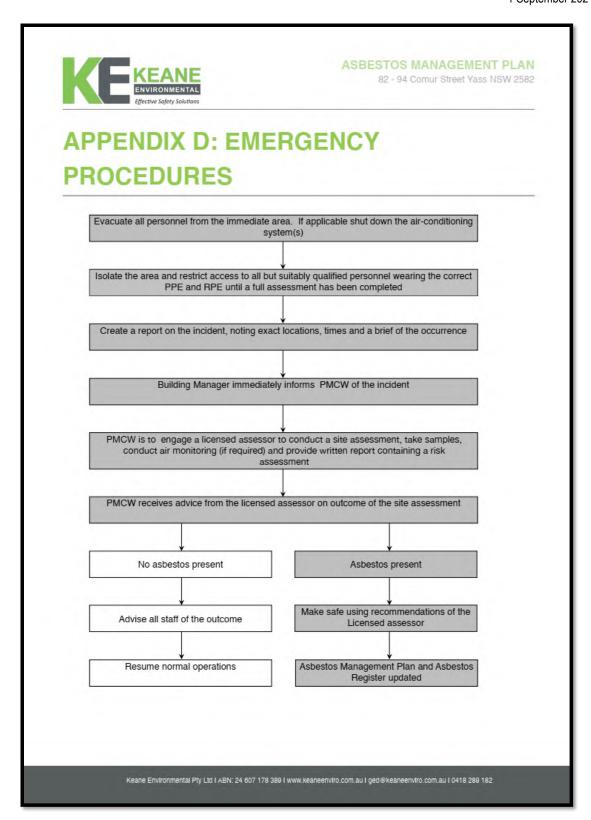
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APPENDIX E: CONTENTS OF AN ASBESTOS REMOVAL CONTROL PLAN

A licensed asbestos removal contractor must submit an asbestos removal control plan (ARCP) for review to a competent person before work can commence.

It is prudent that a licensed asbestos assessor must review the ARCP prior to works commencing.

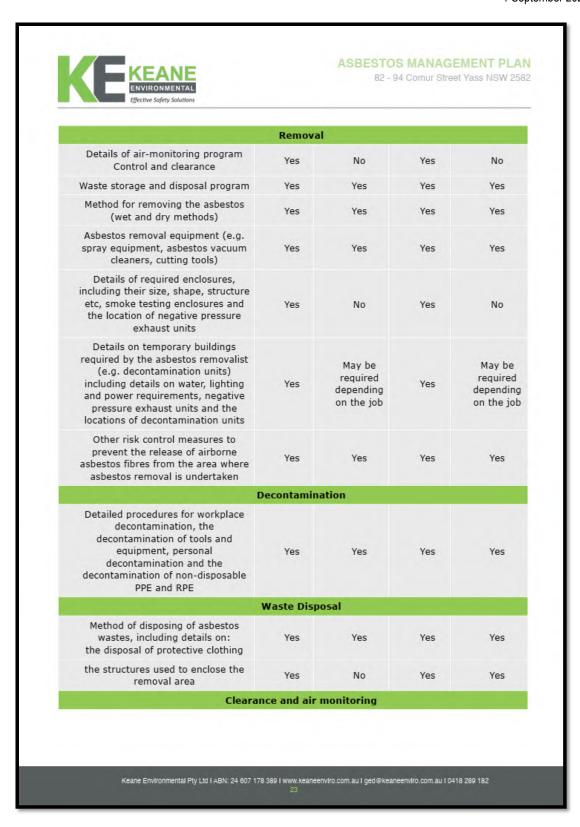
The table on the following page contains a summary of what should be contained in the ARCP.

	Building & structures		Plant & equipment	
	Friable	Non-Friable	Friable	Non-Friable
	Notifica	tion		
Notification requirements have been met and required documentation will be on site (e.g. removal licence, control plan, training records)	Yes	Yes	Yes	Yes
	Identific	ation		
Details of asbestos to be removed (e.g. the locations, whether asbestos is friable/non-friable, its type, condition and quantity being removed)	Yes	Yes	Yes	Yes
	Prepara	tion		
Consult with relevant parties (health and safety representative; workers; person who commissioned the removal work, licensed assessors)	Yes	Yes	Yes	Yes
Assigned responsibilities for the removal	Yes	Yes	Yes	Yes
Program commencement and completion dates	Yes	Yes	Yes	Yes
Emergency plans	Yes	Yes	Yes	Yes
Asbestos removal boundaries, including the type and extent of isolation required and the location of any signs and barriers	Yes	Yes	Yes	Yes
Control of other hazards including electrical and lighting installations	Yes	Yes	Yes	Yes
PPE to be used including RPE	Yes	Yes	Yes	Yes

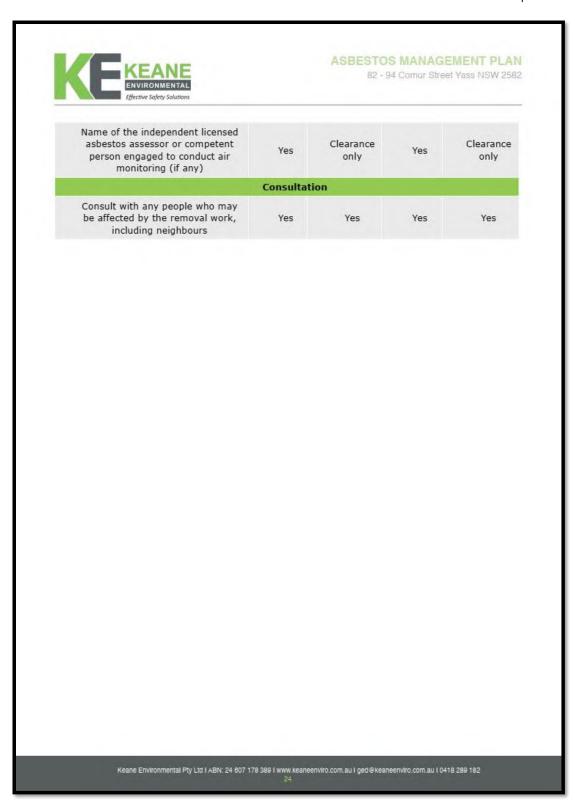
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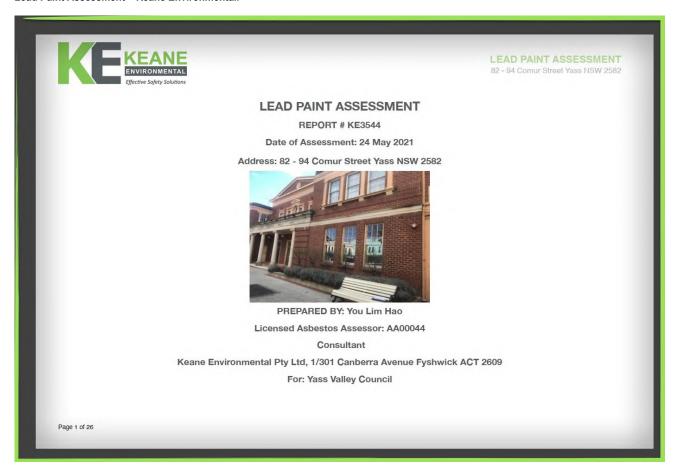








2.6 Lead Paint Assessment – Keane Environmental.







LEAD PAINT ASSESSMENT

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DOCUMENT CONTROL

					APPROVED BY		
REPORT #	T# Date of		160 M 150 M	Ged Keane		Ged Keane	
KE3544	Assessment: 24 May 2021	You Lim Hao	06 July 2021	GKeane	08 July 2021	GKeane	Version 1

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LEAD PAINT ASSESSMENT

82 - 94 Comur Street Yass NSW 2582

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LEAD PAINT ASSESSMENT

82 - 94 Comur Street Yass NSW 2582

INTRODUCTION

You Lim Hao licensed a licensed Asbestos Assessor of Keane Environmental was engaged by Peak Consulting to conduct a lead paint assessment at 82 - 94 Comur Street Yass NSW 2582, to determine if any lead based paint was in the areas of concern. The survey took place on the 24 May 2021.

SCOPE OF WORKS

The assessment involved a visual inspection and sampling of the paint likely to contain lead in the areas of concern.

The sample collected during the assessment was sent to a National Association of Testing Authorities (NATA) accredited laboratory under controlled chain of custody (CoC). The sample results can be found on the Certificate of Analysis attached at Appendix A of this report.

LEAD-PAINT BACKGROUND

Lead-based paint is paint containing lead that was used as pigment. The heavy metal was added to paint to speed drying, increase durability and for moisture resistance. Like all paint systems, leaded paint will chip, flake and peel over time, leading to contamination of indoor dust and exterior surrounding soils. Lead does not biodegrade, and so lead dust is a long-term exposure problem.

Lead is especially damaging to young children who are still developing, and to pregnant women. Lead affects the hematopoietic, neurologic, gastrointestinal, and reproductive systems, but predominantly the nervous system. High levels of exposure can result in miscarriage in women, and may affect fertility in men. Lead has also been proven to affect a child's mental and physical growth. Unborn children can be exposed through their mothers. Harmful effects include premature birth, smaller babies, decreased mental ability in the infant, learning difficulties and reduced growth in young children.

Lead paint has been used extensively throughout residential and commercial buildings in Australia, and it was only in 1997 that the allowable level of lead in residential and commercial paint in Australia went down to 0.1% which is still higher than the US 1978 standard of less than 0.06% lead.



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The new AS4361.2-2017 Guide to lead paint management Residential and commercial buildings now defines lead paint as paint film or component coat of a paint system in which the lead content (calculated as lead metal) is in excess of 0.1% by weight of the dry film as determined by laboratory testing. Additionally the Work Health and Safety Regulation 2017 Section 7.2 (h) states that 'Lead machine sanding or buffing surfaces coated with paint containing more than 1% by dry weight of lead' constitutes a lead process.

REGULATORY REQUIREMENTS - WORK HEALTH SAFETY (WHS) ACT 2011

Under Section 19 of the WHS Act, a person conducting a business or undertaking must ensure, so far as is reasonably practicable, that the conditions at the workplace are monitored for the purpose of preventing illness or injury of workers. The WHS Regulations also require a person conducting a business or undertaking to carry out monitoring for airborne contaminants in certain situations. Where monitoring of airborne contaminants is done to estimate a person's exposure, the monitoring must be carried out in the breathing zone of the person.

Section 17 of the WHS Act requires risks to health and safety be eliminated so far as is reasonably practicable. If it is not reasonably practicable to eliminate risk, it must be minimised. To comply with this duty under the WHS Act, you must ensure that exposure to any hazardous chemical, or any substance with an exposure standard, is kept as low as reasonably practicable.

The Work Health Safety (WHS) Regulations 2011 - Chapter 3, Division 3.2.7 Managing risks from airborne contaminants section 49 - Ensuring exposure standards for substances and mixtures not exceeded and section 50 - Monitoring airborne contaminant levels, places a number of duties on a workplace regarding airborne contaminants.

- A person conducting a business or undertaking (PCBU) at a workplace must ensure that air monitoring is carried out to determine the airborne concentration of a substance or mixture at the workplace to which an exposure standard applies if:
- (a) the person is not certain on reasonable grounds whether or not the airborne concentration of the substance or mixture at the workplace exceeds the relevant exposure standard; or
 - (b) monitoring is necessary to determine whether there is a risk to health.



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- 2. A person conducting a business or undertaking at a workplace must ensure that the results of air monitoring carried out under subsection (1) are recorded, and kept for 30 years after the date the record is made.
- 3. A person conducting a business or undertaking at a workplace must ensure that the results of air monitoring carried out under subsection (1) are readily accessible to persons at the workplace who may be exposed to the substance or mixture.

Note: A reference to an Act includes a reference to statutory instruments made or in force under the Act, including a regulation and any law or instrument applied, adopted or incorporated by the Act (see Legislation Act, s 104).

WORK HEALTH SAFETY (WHS) MANAGEMENT

The following hierarchy of controls, as recommend by current legislation, must be used as a driver to the ongoing management of WHS on site:

- 1. Elimination or removal
- 2. Isolation, enclosure or sealing
- 3. Engineering controls
- Safe work practices (administrative controls)
- Personal protective equipment (least preferred)

If no single highest order control is suitable, then a combination of the above may be required.

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RISK ASSESSMENT

During a lead based paint assessment, the following criteria are considered by a Licensed Assessor when assessing the risk associated with lead based paint. This qualitative assessment determines the risk of exposure and remedial action priority. This is shown below and in table 1.

- · Location of the lead based paint e.g. Occupied rooms, communal areas or external areas.
- Surface area of the lead based paint damaged e.g. <10m2, 10 50m2 or >50m2
- Condition of the lead based paint e.g good, fair or poor (degree of flaking or visible flake debris).
- Concentration (%lead) of the lead based paint e.g. <1%, 1 to 10% or >10%.
- · Accessibility of the lead based paint e.g. Easily accessible, limited accessibility or inaccessible.
- · Likelihood of ingesting and/or inhaling lead paint particles e.g. Unlikely, possible or likely.

Table 1

Risk of Exposure	Recommended Action				
Low	Lead is present in paint that is still in good or fair condition (i.e. minor cracking, flaking, chalking or the paint chipped to small areas) and is not a friction or impact surface. It is not likely to present a health hazard unless significantly disturbed. Action to remediate the area during routine maintenance or refurbishment, normally within 6 months.				
Moderate	Lead is present in paint that is in fair condition (i.e. some cracking, flaking, chalking and peeling observed). It covers a small surface area and/or is on a surface that is not easily accessible to children. It may present a health hazard with moderate disturbance. Action should be taken as soon as practicable to reduce exposure risk normally within 3 months.				
High	Lead is present in paint that is in poor condition (i.e. bad cracking, flaking, chalking peeling and flakes observed on the floor). It covers a large surface area and/or is on a surface that is easily accessible to children. It may present a health hazard with minor disturbance. Action should be taken immediately to reduce exposure risk, prohibit access until remediated.				

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	ENVIRONM Effective Safety	The second secon					
LOCATION	COLOUR	SAMPLE ID	TYPE & CONDITION	RESULT %	RISK OF EXPOSURE	RECOMMENDATIONS	РНОТО
Ground floor - Boutique walls	White	P24	Lead Free	0.061	N/A	No further action required	LabelLove Boutique
Ground floor - Main hall skirting	Maroon	P25	Lead Free	0.082	N/A	No further action required	
Ground floor - ANNEX 1 & 2 doors	White	P26	Lead Paint Good/Fair	0.78	Low	Manage	
Ground floor - ANNEX 1 & 2 doors	Yellow	P27	Lead Free	0.04	N/A	No further action required	





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FINDINGS

The results of the survey found the eighteen (18) of the thirty-one (31) samples to be lead based paint (>1%) in the inspected area of the site, based on the new criteria in the Australian Standards - AS4361.2-2017 Guide to lead paint management residential and commercial buildings. Six (6) of the paint samples tested were above the WHS lead work process percentage of 1%. The paints are in a good to fair/stable condition apart for two areas that require remediation (see register).

RECOMMENDATIONS

The report must be issued to any contractor who conducts work on any lead based paint areas. The lead based paints are in a fair/good condition. The lead based paints over 0.1% but less than 1% can be remediated as normal works, however any contractor engaged to carry out the work must ensure that the remediation work adopts strict dust mitigation methods.

Any remediation activities are to be undertaken in accordance with current WHS legislation and AS4361.2-2017 Guide to lead paint management residential and commercial buildings.

- Repainting over lead based paint: Only paint over lead-based paint if surfaces are in good condition. If the paint is flaking or chalking refer to the removal recommendation (2). To prepare the surface for repainting gently apply a sugar soap solution using a material to clean the surface area without creating dust or debris before painting. Dry-sanding or abrasive scraping is prohibited as it is likely to generate large amounts of lead containing dust.
- Removal of lead paint has the greatest potential to generate hazardous lead containing dust. Recommended remediation methods include:
 - · Wet scraping or sanding involves moistening the paint with water from an atomizing bottle or similar, then removing with handheld tools.
- · Chemical stripping (both on and off site) involves using chemicals to soften the paint, then removing with handheld tools.

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• Heat gun and scraper – the application of heat will soften to allow removal by scraping. This method has the potential to create lead dust and fumes and must be monitored. The paint can also dry brittle, increasing the risk of flakes and dust.

The options can be mixed or parts combined to suit the requirements of current legislation and the AS4361.2-2017 Guide to lead paint management residential and commercial buildings.

Any lead based paint (>1%) removal/refurbishment work must be conducted as lead process work and under controlled conditions using High Efficiency Particulate Air (HEPA) negative pressure units, enclosures and HEPA vacuums. Lead process work must be notified to Worksafe ACT.

All waste must be disposed of in accordance with current EPA legislation.

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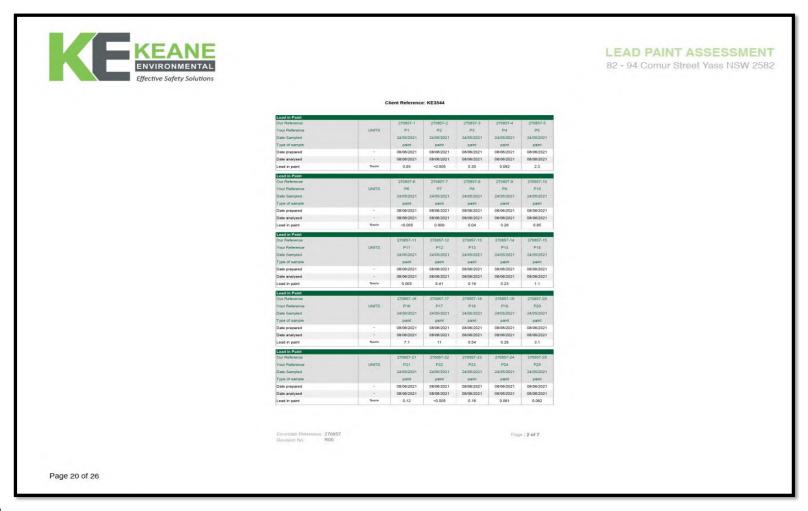
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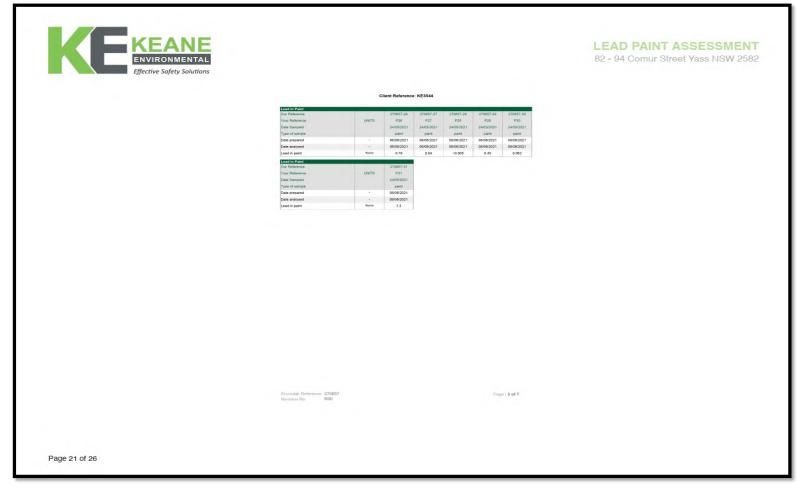
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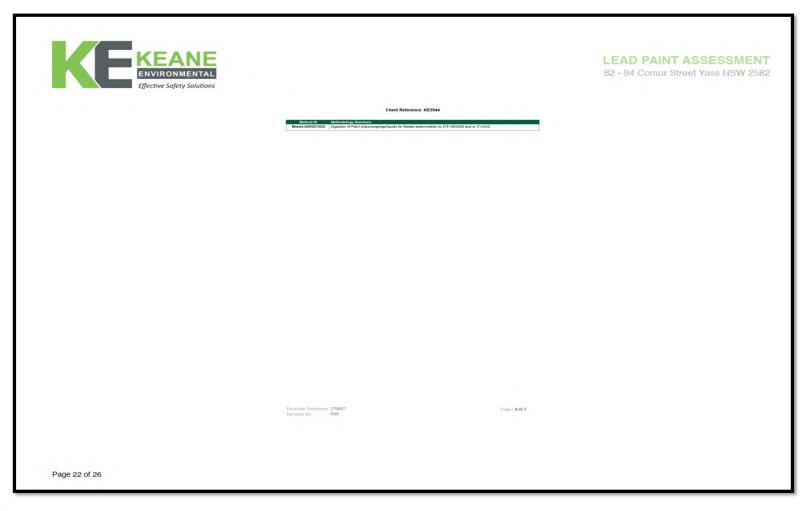


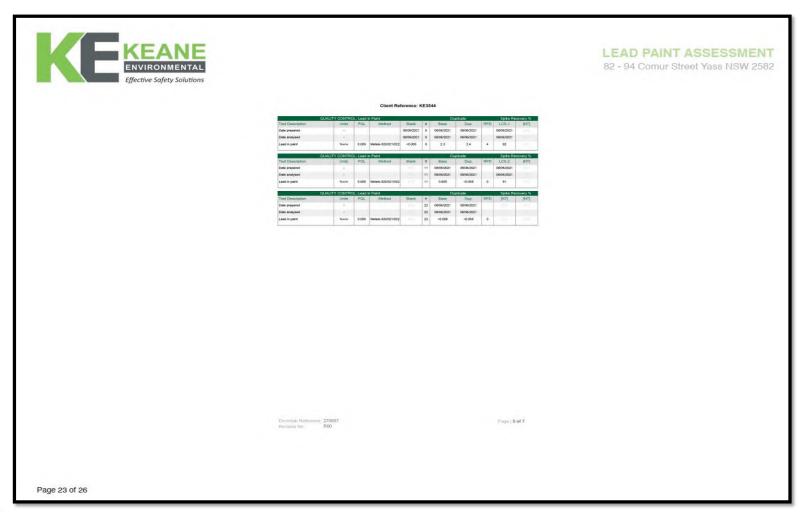
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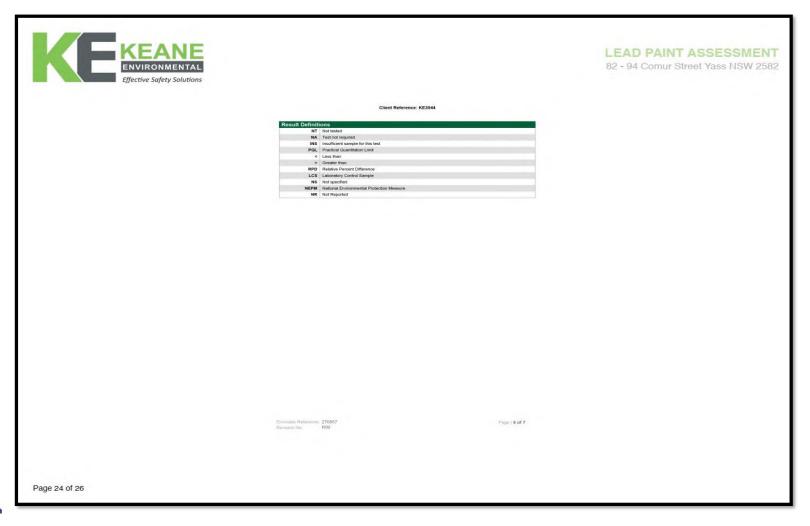


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APPENDIX B - APPLICABLE LEGISLATION - LEAD PAINT ASSESSMENTS

The latest edition of the following legislation is applicable to Lead Paint Assessments in Commercial & Residential Properties:

Work Health and Safety Act 2011.

Work Health and Safety Regulation 2017.

Safework Australia Workplace Exposure Standards for Airborne Contaminants 2019

AS4361.2-2017 Guide to lead paint management Residential and Commercial buildings.

Report Caveats & Statement of Limitations

The report was designed to be read as a whole document and must only be reproduced in full.

All relevant legislation and best practice was followed during the time the assessment was conducted. All conclusions and recommendations are written by the assessor using their professional judgement. The recommendations are based on the assessor's professional judgement and condition of the materials at the time the assessment was conducted.

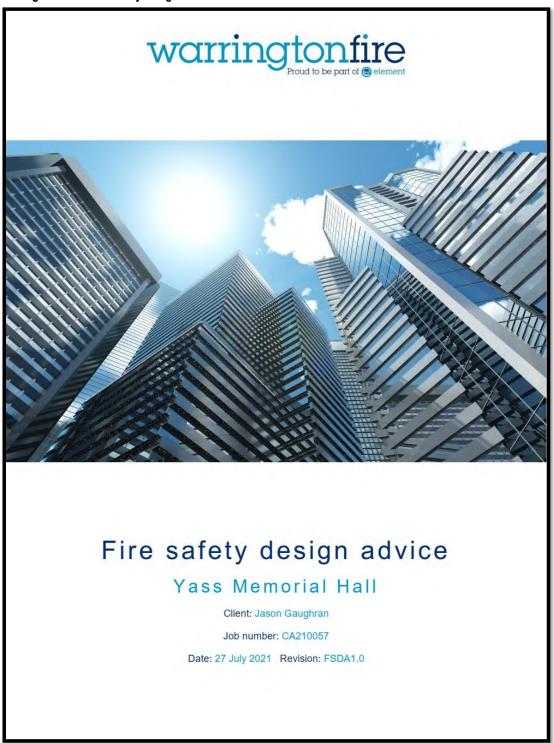
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2.7 Warrington Fire - Fire safety design advice.

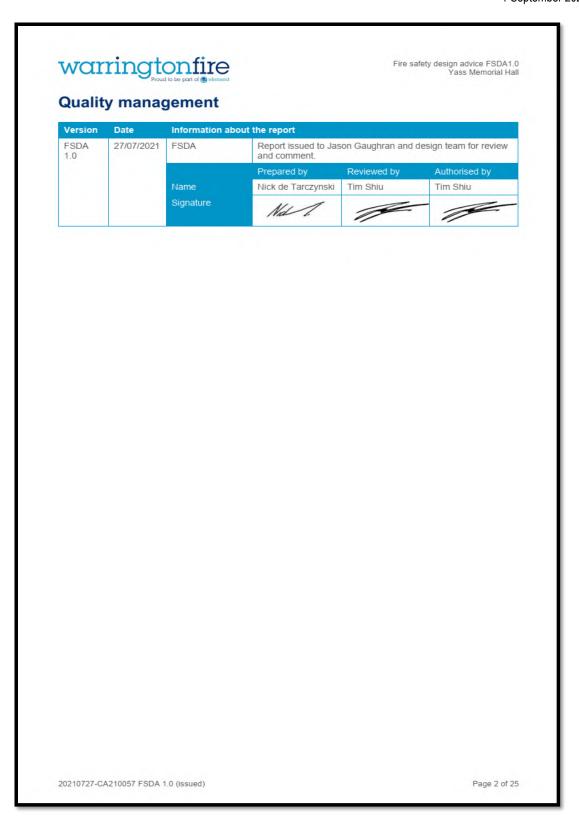




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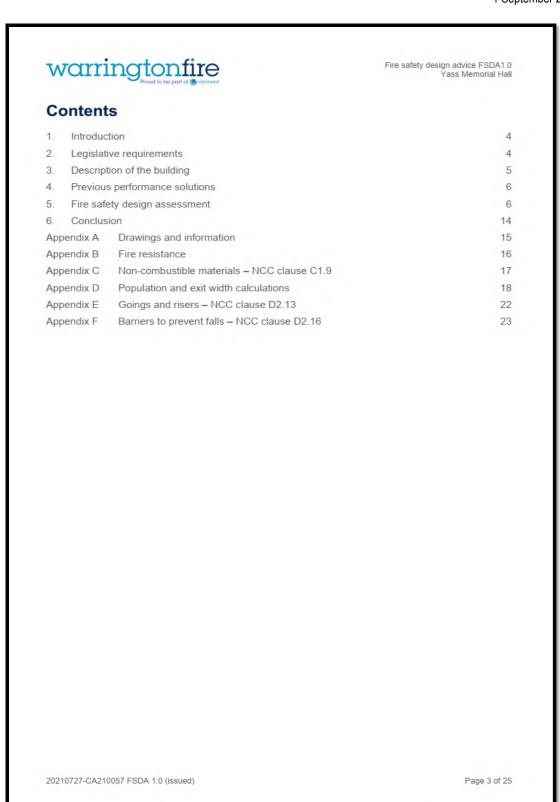




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6.14





Fire safety design advice FSDA1.0 Yass Memorial Hall

Description of the building 3.

The project consists of an existing two storey building that contains a community hall incorporating a stage area, community use rooms and a library to the rear of the building (all of which are class 9b).

The site is bounded by Comur Street to the south-west, 80 Comur Street to the north-west, Banjo Paterson Park to the north-east and 94 Comur Street to the south-east - see Figure 1.





Figure 1 Site plan

The main characteristics of the building for determining compliance with the NCC are listed in Table 1. The proposed use and classification of the building or part in accordance with part A6 of the NCC is listed in Table 2. The size of the fire compartments within the proposed building are listed in Table 3.

Main building characteristics

Characteristic	NCC provision	Description
Effective height	Schedule 3	Less than 12 m
Type of construction required	C1.1	Туре В
Rise in storeys	C1.2	2
Levels contained	-	3 (including under stage area

Table 2 Use and classification

Part of building	Use	Classification (A6)
Ground floor	Main hall, stage and associated rooms	9b
Ground floor	Library	9b
First floor	Community use rooms	9b
First floor	Gallery (mezzanine to main hall)	9b

Note: New South Wales specific requirements apply to this building. The building is used as an entertainment venue as defined in the Environmental Planning and Assessment Regulation 2000.





Fire safety design advice FSDA1.0 Yass Memorial Hall

Table 3 Fire compartments

Building part	Approximate floor area (m²)	Approximate volume (m³)
Ground floor main hall	272	2,015
Ground floor annex	180.5	659
Ground floor library	381	1,810
Ground floor general areas	404	1,474
First floor	231	676

Notes

- The stage area is fire separated from the library via a brick wall. However, total building is deemed as one
 fire compartment.
- Assumed ceiling heights
 - First floor 2.92 m
 - Annex areas 3.65 m (at pitch of cathedral ceiling)
 - Main Hall 8.9 m (at pitch of cathedral ceiling)
 - Library 4.75 m (at pitch of cathedral ceiling)

4. Previous performance solutions

Warringtonfire is not aware of any previous performance solutions for this building.

5. Fire safety design assessment

We recommend that the issues in Table 4 are made compliant with the DTS provisions of the NCC.

Table 4 Issues to be confirmed or modified

No	Description of issue	DTS provision	Proposed solution
1.	Fire Hazard Properties Internal linings, materials and assemblies must be tested to comply with the fire hazard property requirements of Specification C1.10. Without destructive testing of materials, we could not determine the fire hazard properties of the material linings and finishes. However, due to the type of materials used and the age of the building it is likely that the materials would comply.	Clause C1.10	DTS It is recommended that these materials be reviewed and tested to ascertain their properties.





Fire safety design advice FSDA1.0 Yass Memorial Hall

No	Description of issue	DTS provision	Proposed solution
2.	Dimensions of exits and paths of travel to exits Areas which are departures from the DTS provisions include: - Clear width in the path of travel from the first floor gallery 650 mm (requirement 750 mm). - Both door heights to gallery 1960 mm (requirement 1980 mm). - Clear width from first floor safe room 635 mm (requirement 750 mm). - Door height to first floor safe room 1865 mm (requirement 1980 mm). - Clear width from both stairs accessing the stage 850 mm. (requirement 1000 mm) - Clear width for the stair within Annex 2 is 900 mm (requirement 1000 mm) - Hight of baffle in first floor kitchen 1780 mm (requirement 1980 mm) - Door height to first floor balcony 1775 mm (requirement 1980 mm).	Clauses D1.6 and D1.13	Rectify the openings to the required widths and heights. Performance Solution A performance solution could be developed to demonstrate that egress is not greatly affected by the reduced clearances in paths of travel.
3.	Enclosure of space under stairs are ramps Both stairs have storage cupboards underneath. For a required stair, if storage is located below the stair, it must be fire separated.	Clause D2.8	Install fire separation to the enclosing walls and ceiling having an FRL of not less than 60/60/60. Access door to the enclose space to be fitted with self-closing -/60/30 fire door.
4.	Pedestrian ramps The pedestrian ramp serving exit 6 (see Appendix D.4) does not have slip-resistance measures.	Clause D2.10	Install a tested slip-resistant coating of at least P4 or R11 (refer to NCC Volume One Table D2.14).





Fire safety design advice FSDA1.0 Yass Memorial Hall

No	Description of issue	DTS provision	Proposed solution
5.	Going and risers All of the stairs in the building do not have tested slip-resistant measures applied.	Clause D2.13	Install a tested slip-resistant coating or nosing strip to the treads of stairs. Rating to be at least P3 or R10 for internal and P4 or R11 for external stairs (refer to NCC Volume One Table D2.14).
	Risers may be reduced when a stairway discharges on a sloping public walkway or public road. The final risers on exit 8, 9, 10 and 11 (see Appendix D.4) exceed the allowable riser heights. The discharge at exit 9 also discharges directly onto the road curb, which is unsafe.		DTS The stairs would have to be rectified to achieve compliance. For consistent risers the last step would need to be approximately 180 mm high (different for each stairway). The last steps on exits 8, 9, 10 and 11 is on average more than 300 mm. See Appendix E.





Fire safety design advice FSDA1.0 Yass Memorial Hall

1. Introduction

We have prepared this advice after an on-site inspection and a desktop review of Yass Memorial Hall against the fire-related deemed-to-satisfy (DTS) provisions of the National Construction Code Volume One – Building Code of Australia (NCC) 2019 Amendment 1¹ – i.e. sections C, D1, D2 and E. Warringtonfire undertook the assessment at the request of Jason Gaughran.

The on-site inspection was done by Nick de Tarczynski and Scott Townsend on 30/06/2021

The desktop review of the building is intended to identify general fire safety requirements and issues that need to be resolved to comply with the performance requirements of the NCC. It is not a clause-by-clause assessment of the DTS provisions of the NCC.

Our advice includes the following:

- The type of construction required, fire and smoke compartment sizes and whether the large isolated provisions are applicable.
- The travel distance and aggregate exit width requirements.
- Identification of the smoke hazard management options available and other required fire safety systems.
- Review of fire hydrant and fire hose reel locations and coverage.
- Whether we believe fire safety engineering may be used to develop performance solutions.

This review is based on the documentation listed in Appendix A.

Visual inspections and spot checks of the existing building were completed. We were not able to inspect and confirm compliance for all parts of the building because this would have required deconstructive works and in some cases skills outside our area of expertise. Where this was the case, we have stated that we were unable to determine the extent of compliance.

2. Legislative requirements

All new building works must comply with the current provisions of the NCC under clause 98 of the Environmental Planning and Assessment Regulation 2000 (EP&A Regulation 2000).

Under clause 94 of the EP&A Regulation 2000, the consent authority may require certain buildings to be upgraded. This includes buildings where:

- The proposed building work together with any other building work completed or authorised in the last three years – represents more than half the total volume of the building measured over its roof and external walls.
- The measures within the building are inadequate to:
 - protect people using the building and enable them to safely exit the building if there is a fire
 - restrict the spread of fire from the building to other buildings nearby.

When determining an application, a consent authority may consider whether it would be appropriate to require the existing building to be brought into partial or total conformity with the NCC.

The information in this report is advice on how we believe NCC compliance can be achieved. A number of issues within the NCC are recognised to be open to interpretation. When these issues arise, we have made interpretations that we believe are consistent with standard industry practice. Ultimately this will be at the discretion of the approval authority.

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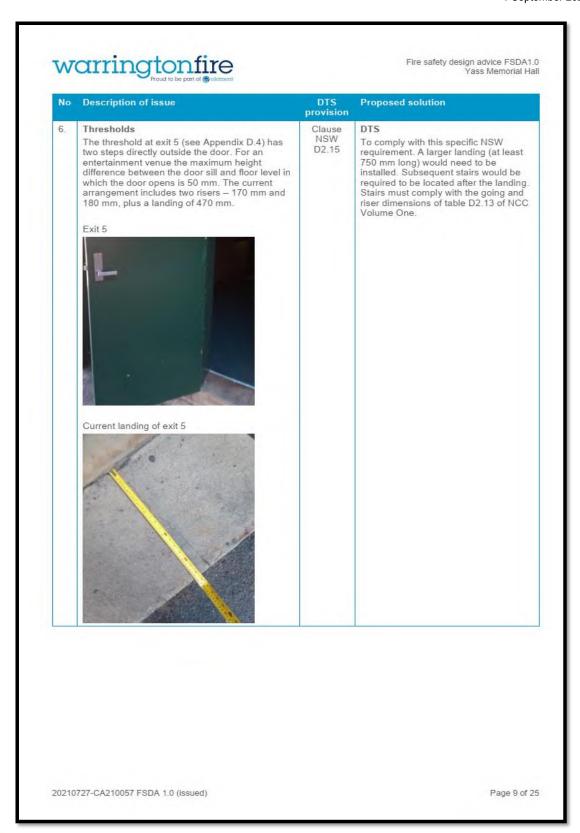
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¹ National Construction Code Volume One – Building Code of Australia 2019 Amendment 1, Australian Building Codes Board, Australia

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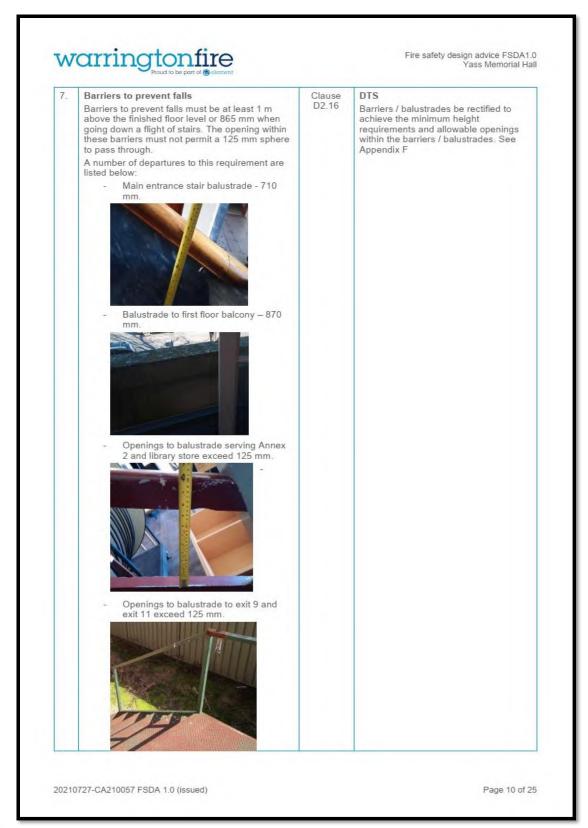
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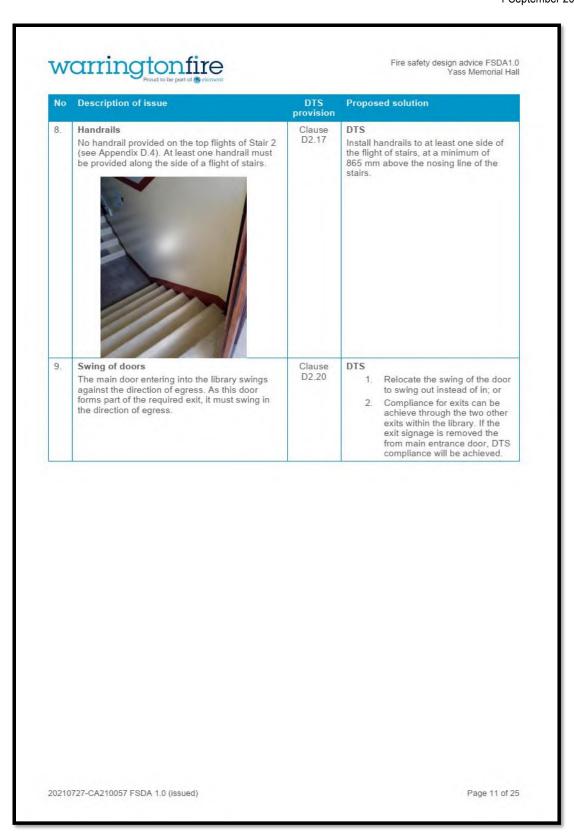
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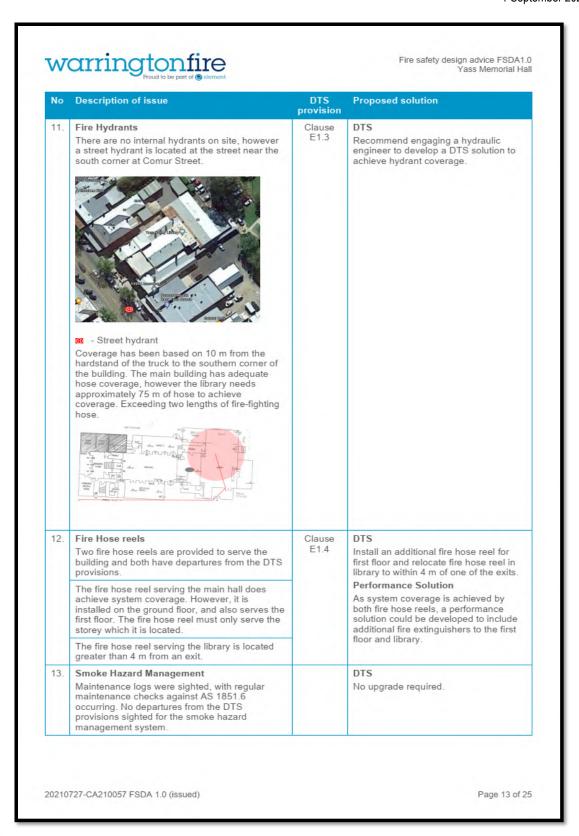


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No	Description of issue	DTS provision	Proposed solution
14.	Emergency lighting Limited emergency lights were sighted during the inspection. This building requires emergency lighting on the ground floor in every room as the floor area of the storey is greater than 300 m². No emergency lighting required on the first floor, except to serve the two egress stairs.	Clause E4.2	It is recommended that an electrical engineer be engaged to review the building to provide a scope of works to achieve compliant for the emergency lighting system.
15.	Exit signs A large majority of the exit signs within the building require maintenance. As a consequence a number of globes were blown and require replacement.	Clause E4.5	DTS It is recommended that an electrical engineer be engaged to review the building to provide a scope of works to achieve compliant exit and directional signage system.
16.	Seating areas The gallery contains fixed seating. The clear width between the seats is 260 mm. The minimum clear width should be 300 mm.	Clause H1.4	DTS Ensure that the seats can automatically retract. This will achieve the clear width Performance Solution A performance solution could be developed to address the reduction of width.
17.	Aisle lights Aisle lights should be installed between the aisles within the gallery area.	Clause H1.7	DTS Install aisle lights in the gallery area.

6. Conclusion

The review of the building design against the fire-related DTS provisions of the NCC found that the building requires a number of rectifications to achieve compliance, to the current NCC. However, as covered in Section 2 of this report, it is for the consent authority to determine if it would be appropriate to require the existing building to be brought into partial or total conformity with the NCC.

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Appendix A Drawings and information

Drawing title	Dwg no	Date	Drawn	
Memorial hall floor plans	DP154705	Unknown	Unknown	
Yass Memorial Hall – Upstairs Gallery Level – First Floor	-	1984	Unknown	

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Appendix B Fire resistance

B.1 Table 4 – Type B construction: FRL of building elements – excluding sprinklered and open-deck carparks

Building element	Class 5, 7a and 9 parts
External wall (including any column and other building elem building element, where the distance from any fire-source fe	ent incorporated within it) or other external ature to which it is exposed is -
For loadbearing parts –	
less than 1.5 m	120/120/120
1.5 to less than 3 m	120/90/60
3 to less than 9 m	120/30/30
9 to less than 18 m	120/30/ -
18 m or more	-1-1-
For non-loadbearing parts –	
less than 1.5 m	-/120/120
1.5 to less than 3 m	-/90/60
3 m or more	-/-/-
External column not incorporated in an external wall, where which it is exposed is –	e the distance from any fire-source feature to
For loadbearing columns –	
less than 18 m	120/ - / -
18 m or more	-1-1-
For non-loadbearing columns –	-1-1-
Common walls and fire walls –	120/120/120
Internal walls –	
Fire-resisting lift and stair shafts –	
Loadbearing	120/120/120
Non-loadbearing	-/120/120
Loadbearing	120/ - / -
Non-loadbearing	-1-1-
Loadbearing	120/ - / -
Non-loadbearing	-1-1-
Other loadbearing internal walls and columns	120/ - / -
Roofs	-1-1-

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Appendix C Non-combustible materials – NCC clause C1.9

The NCC requirements for non-combustible construction do not apply to:

- gaskets
- caulking
- sealants
- termite management systems
- glass, including laminated glass
- thermal breaks associated with glazing systems
- damp-proof courses.

The following materials may be used wherever non-combustible materials are required:

- plasterboard
- perforated gypsum lath with a normal paper finish
- fibrous-plaster sheet
- fibre-reinforced cement sheeting
- pre-finished metal sheeting having a combustible surface finish not exceeding 1 mm thickness and where the spread-of-flame index is no greater than 0
- sarking-type materials that do not exceed 1 mm in thickness and have a flammability index not greater than 5
- bonded laminated materials where it achieves the following:
 - each lamina, including any core, is non-combustible
 - each adhesive layer does not exceed 1 mm in thickness and the total thickness of the adhesive layers does not exceed 2 mm
 - the spread-of-flame and smoke-developed indices of the bonded material as a whole do not exceed 0 and 3 respectively

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Appendix D Population and exit width calculations

D.1 Explanation of this section

The population in each area of the building has been calculated in accordance with table D1.13 to determine the aggregate exit width required. The calculations are provided in Table 5. The required exit width has then been compared to the exits currently provided to determine whether they are adequate. The exits provided are described in Appendix D.3.

D.2 Calculation of populations and required exit width

The estimated exit widths required for the building were calculated based on the following assumptions:

- As per clause D1.6 the population density within the respective areas of the building was calculated in accordance with table D1.13.
- We have calculated the exits widths in accordance with clause D1.6 on the following basis:
 - 1 m for the floors that accommodate 100 persons or less.
 - b. Where a storey or mezzanine accommodates more than 100 persons but not more than 200 persons, the exit width must be 1 m plus 250 mm for every 25 persons (or part) in excess of 100.
 - c. Where a storey or mezzanine accommodates more than 200 persons, the exit width must be 2 m plus 0.5 m for every 50 persons (or part) where a stair or ramp forms part of the path of travel from the tenancy to road or open space.

Table 5 Summary of floor areas, population and exit widths

Level	Use	Approx. floor area (m²)	Population density (m²/person)	Estimated population	Required exit width (m)	Available exit width (m)
Ground	Main Hall	272	1	272		
	Annex	180.5	1	181	5.00	8.90
	Kitchen and associated store	49	10	5	5.00	8.90
	Library	340	2	170	2.00	3.28
	Library Storage	39.5	30	1	1.00	1.70
	Youth centre	107	10	11	1.00	1.00
	Community meeting room	38	10	4	1.00	1.00
First floor	Community use rooms	200	10	20	1.00	1.90
	Gallery	340	Fixed seating	97	1.00	
Total				117		

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D.3 Exits included in the current building design

The nominated required exits from the building are set out in Table 6 below and shown in Appendix D.4.

Table 6 Exit details

No	Description	Comments	Unobstructed exit width (m)
Gro	und – Serving M	ain hall, annex, kitchen and associated store rooms	
1.	External door	Double-leaf door with panic bar in foyer.	1.43
2.	External door	Double-leaf door with panic bar in foyer.	1.43
3.	External door	Single-leaf door serving community meeting room	1.00
4.	External door	Single-leaf door serving first floor stair	1.00
5.	External door	Single-leaf door serving annex 1	1.00
6.	External door	Double-leaf door with panic bar serving main hall	1.66
7.	External door	Single-leaf door serving library	1.00
8.	External door	Double-leaf door with panic bar serving library	1.28
9.	External door	Single-leaf door serving library	1.00
10.	External door	Double-leaf door with panic bar serving library storage	1.70
11.	External door	Double-leaf door with panic bar serving annex 2	1.38
12.	External door	Single-leaf door serving youth centre	1.00
Tota	l .		14.88
Gro	und – Doors in t	he path of travel to an exit	
13.	Internal door	Single-leaf door leading to exit 4	1.00
14.	Internal door	Double-leaf door with panic bar leading to exit 1	1.46
15.	Internal door	Double-leaf door with panic bar leading to exit 2	1.46
16.	Internal door	Double-leaf door with panic bar leading to exit 11	1.38
17.	Internal door	Double-leaf door with panic bar leading to exit 5	1.43
18.	Internal door	Power operated door leading to exit 7	1.20
Tota	L		5.30
Firs	t floor		
19.	Non-fire- isolated stair	Single-leaf door to stair	1.00
20.	Non-fire- isolated stair	Single-leaf door to stair from gallery	0.90
Tota	ıl	•	1.90

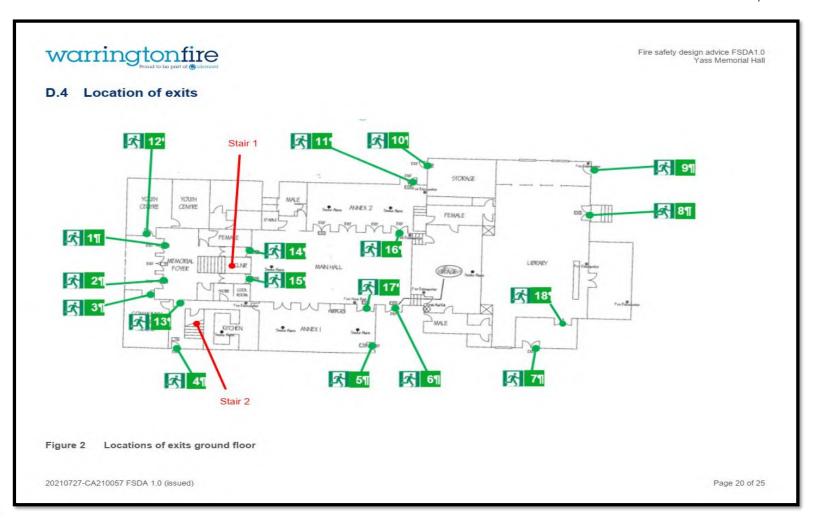
- The exit widths above are approximations based on drawings referenced in Appendix A.
- The exit widths are the door width plus 250 mm as prescribed under clause D1.6.
- The exit widths provided in the areas are sufficient for the populations nominated in appendix D.2.
- Make sure all nominated exit doors are openable at all times and comply with the requirements of clauses D2.19, D2.20 and D2.21 as applicable.

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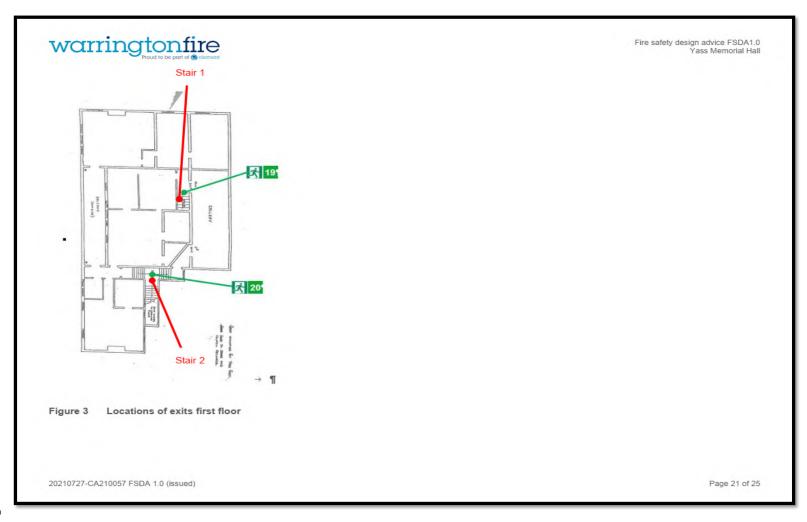
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Appendix E Goings and risers – NCC clause D2.13

	Rise	Riser (R)		Going (G)		(2R+G)
	Max	Min	Max	Min	Max	Min
Public stairways	190	115	355	250	700	550
Private stairways	190	115	355	240	700	550

Notes:

- a. Private stairways are
 - i. stairways in a sole-occupancy unit in a class 2 building or class 4 part; and
 - ii. in any building, stairways which are not part of a required exit and to which the public do not normally have access.
- b. Going and riser dimensions must be measured in accordance with Figure 4.
- The going in tapered treads (except winders in lieu of a quarter or half landing) in a curved or spiral stairway is measured –
 - 270mm in from the outside side of the unobstructed width of the stairway if the stairway is less than 1m wide (applicable to a non-required stairway only); and
 - ii. 270mm from each of the unobstructed width of the stairway if the stairway is 1m wide or more.

Table 7 Riser and going dimensions

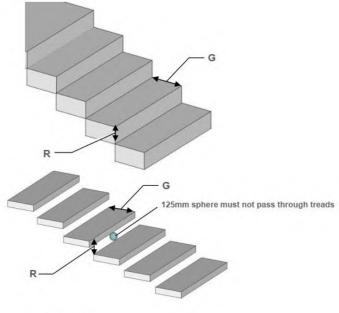


Figure 4 Riser and going for stairways

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Appendix F Barriers to prevent falls - NCC clause D2.16

Barrier construction requirements

1. Barrier heights					
Location	Minimum height				
(a) Stairways or ramps with a gradient of 1:20 or steeper.	865 mm				
(b) Landings to a stair or ramp where the barrier is provided along the inside edge of the landing and does not exceed 500 mm in length.					
(c) In front of fixed seating on a mezzanine or balcony within an auditorium in a Class 9b building, where the horizontal projection extends not less than 1 m outwards from the top of the barrier.	700 mm				
(d) In all other locations.	1 m				

Notes

- Heights are measured vertically from the surface beneath, except that for stainways the height must be measured above the nosing line of the stair treads.
- A transition zone may be incorporated where the barrier height changes from 865 mm on a stair flight or ramp to 1 m at a landing or floor.

2. Barrier openings

Location	Maximum Opening
Fire-isolated stairways, fire-isolated ramps and other areas used primarily for emergency purposes, excluding –	A 300 mm sphere must not be able to pass through any opening; or
(i) external stairways, and	
(ii) external ramps.	
(b) Class 7 (other than carparks) and Class 8 buildings.	where rails are used—
	 a 150 mm sphere must not be able to pass through the opening between the nosing line of the stair treads and the rail or between the rail and the floor of the landing, balcony or the like, and
	(ii) the opening between rails must not be more than 460 mm.
(c) In all other locations.	A 125 mm sphere must not be able to pass through any opening.

Note: The maximum 125 mm barrier opening for a stairway, such as a non *fire-isolated stairway*, is measured above the nosing line of the stair treads.

3. Barrier climbability

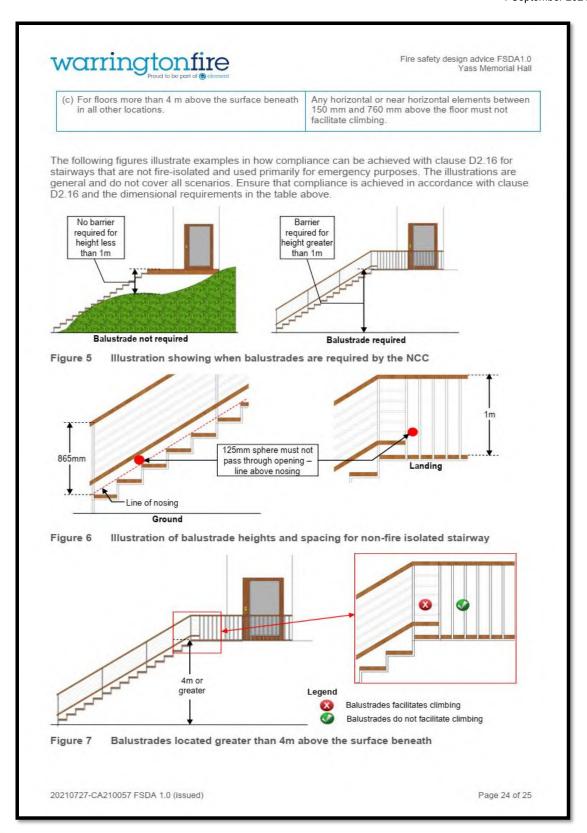
Location	Requirement	
(a) Fire-isolated stairways, fire-isolated ramps and other areas used primarily for emergency purposes, excluding –	No requirement.	
(i) external stairways, and		
(ii) external ramps.		
(b) Class 7 (other than carparks) and Class 8 buildings.		

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END OF REPORT



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Queanbeyan NSW 2620 ABN: 13 620 282 439 1 September 2021

DISCLAIMER:

6.14

The opinions expressed in this report are that of the author and are to be taken into account in conjunction with the reports referred to herein.

We trust the above is sufficient to meet your request. Please do not hesitate to contact our office should you require any further information or assistance.

The author hereby makes himself available to provide verbal evidence, clarification or expansion of any information provided herein.

This report refers specifically to the matters requested for opinion of the author. Therefore, this report may not contain the full extent of our investigations nor does it contain all information gathered during our investigations.

This report is intended for the use of the addressee only and might contain sensitive or legally privileged information. If you are NOT the intended recipient, you are notified that any use or dissemination of this information is strictly prohibited. If you receive this information in error, please notify the author immediately by telephone and delete all copies of this transmission together with any attachments.

If you have any queries with this report or require further information, please do not hesitate to contact Peak Consulting.

DISPUTE RESOLUTION PROCEDURE

Please note: Peak Consulting has a dispute resolution system available. For details of this please contact our office IN THE FIRST INSTANCE.

CERTIFICATION

This document certifies that the property described in this Inspection Report has been inspected by the Building Consultant in accordance with the level of service requested by the Client and the terms and conditions as set out in this Report, and in strict accordance with AS 4349.1 2007

TERMS AND CONDITIONS

A SCOPE OF INSPECTION AND REPORT

Pre-purchase Property Inspection Report only deals with the detection or non-detection of Structural Damage, Conditions Conducive to Structural Damage and any Significant Defect in the general condition of Secondary Elements and Finishing Elements of construction discernible at the time of inspection, with or without ancillary testing. All other reports are Special-Purpose Inspection Reports.

As requested by the Client, the inspection assessment was based solely on the following inspection carried out by a Building Consultant of the Readily Accessible Areas of the property:

Service Requested A visual examination of surface work, and the carrying out of Tests.

NOTE: In the case of strata and company title properties, the inspection is limited to the interior and immediate exterior of the particular unit being inspected. The complete inspection of other common property areas would be the subject of a Special-Purpose Inspection Report which is adequately specified.

LIMITATIONS

The Client acknowledges:

- This Inspection Report does not include the inspection and assessment of items or matters outside the scope of the requested inspection and report. Other items or matters may be the subject of a Special-Purpose Inspection Report which is adequately specified (see Exclusions below).
- 2. This Inspection Report does not include the inspection and assessment of items or matters that do not fall within the consultant's direct expertise.
- 3. The inspection only covered the Readily Accessible Areas of the property. The inspection did not include areas which were inaccessible, not readily accessible or obstructed at the time of inspection. Obstructions are defined as any condition or physical limitation which inhibits or prevents inspection and may include but are not limited to fixed ceilings, wall linings, floor coverings, fixtures, fittings, furniture, clothes, stored articles/materials, thermal insulation, sarking, pipe/duct work, builder's debris, vegetation, pavements or earth.
- 4. Australian Standard Inspection of Buildings. Part 1 Property Inspections Residential Buildings recognises that a standard property report is not a warranty or an insurance policy against problems developing with the building in the future.
- 5. This Inspection Report was produced for the use of the Client. The Building Consultant is not liable for any reliance placed on this report by any third party.



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EXCLUSIONS

The Client acknowledges:

A Standard Property Inspection Report does not cover or deal with:

- Any 'minor fault or defect', i.e. a matter, in view of the age, type and condition of the building being inspected, does not require substantial repairs or urgent attention and rectification.
- Solving or providing costs for any rectification or repair work;
- The structural design or adequacy of any element of construction;
- Detection of wood destroying insects such as termites and wood borers;
- The operation of fireplaces and chimneys;
- Any services including building, engineering (electronic), fire and smoke detection or mechanical;
- Any swimming pools and associated pool equipment or spa baths and spa equipment or the like;
- Any appliances such as dishwashers, waste disposal units, ovens, stoves and ducted vacuum systems;
- A review of occupational, health or safety issues such as asbestos content, or the provision of safety glass or swimming pool fencing;
- Whether the building complies with the provisions of any building Act, code, regulation(s) or by-laws; and
- . Whether the ground on which the building rests has been filled, is liable to subside, is subject to landslip, earthquakes or tidal inundation, or if it is flood prone.
- Any of the above matters may be the subject of a Special-Purpose Inspection Report which is adequately specified and undertaken by an appropriately qualified inspector.

DEFINITIONS

Structural Damage means a significant impairment to the integrity of the whole or part of the Structure falling into one or more of the following categories:

Structural Cracking and Movement – major (full depth) cracking forming in primary elements resulting from differential movement between or within the elements of construction, such as foundations, footing, floors, walls and roofs.

Deformation – an abnormal change of shape of primary elements resulting from the application of load(s).

Dampness – the presence of moisture within the building, which is causing consequential damage to primary elements.

Structural Timber Pest Damage – structural failure, i.e. an obvious weak spot, deformation or even collapse of timber primary elements resulting from attack by one or more of the following wood destroying agents: chemical delignification; fungal decay (rot); wood borers (borers); and termites (white ants).

Conditions Conducive to Structural Damage means noticeable building deficiencies or environmental factors that may contribute to the occurrence of Structural Damage.

Structure means the load bearing part of the building, comprising the Primary Elements.

Primary Elements means those parts of the building providing the basic load bearing capacity to the Structure, such as foundations, footings, floor framing, load bearing walls, beams or columns. The term 'Primary Elements' also includes other structural building elements including: those that provide a level of personal protection such as handrails; floor-to-floor access such as stairways; and the structural flooring of the building such as floorboards.

Significant Defect means a matter, in view of the age and type of the building being inspected, requires substantial repairs or urgent attention and rectification.

Secondary Elements means those parts of the building not providing load bearing capacity to the Structure, or those non-essential elements which, in the main, perform a completion role around openings in Primary Elements and the building in general such as non-load bearing walls, partitions, wall linings, ceilings, chimneys, flashings, windows, glazing or doors.

Finishing Elements means the fixtures, fittings and finishes applied or affixed to Primary Elements and Secondary Elements such as baths, water closets, vanity basins, kitchen cupboards, door furniture, window hardware, render, floor and wall tiles, trim or paint. The term 'Finishing Elements' does not include furniture or soft floor coverings such as carpet and vinyl or the like.

Client means the person or persons, for whom the Inspection Report was carried out or their Principal.

Principal means the person or persons for whom the report is being obtained.

Building Consultant means a person, business or company who is qualified and experienced to undertake a Standard Property Inspection Report in accordance with Australian Standard AS 4349. "Inspection of Buildings. Part 1: Property Inspections – Residential Buildings".



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Readily Accessible Areas means areas which can be easily and safely inspected without injury to person or property, are up to 3.6 metres above ground or floor levels, in roof spaces where the minimum area of accessibility is not less than 600 mm high by 600 mm wide and subfloor spaces where the minimum area of accessibility is not less than 400 mm high by 600 mm wide, providing the spaces or areas permit entry. Or where these clearances are not available, areas within the consultant's unobstructed line of sight and within arm's length.

Tests mean where appropriate the carrying out of tests using the following procedures and instruments:

Dampness Tests means additional attention to the visual examination was given to those accessible areas which the consultant's experience has shown to be particularly susceptible to damp problems. Instrument testing using an electronic moisture detecting meter of those areas and other visible accessible elements of construction showing evidence of dampness was performed.

Physical Tests means the following physical actions undertaken by the consultant: opening and shutting of doors, windows and draws; operation of taps; water testing of shower recesses; and the tapping of tiles and wall plaster.

ACCESSIBILITY

Unless specified in writing, the inspection only covered the Readily Accessible Areas of the Building and Site. The inspection did not include areas which were inaccessible, not readily accessible or obstructed at the time of inspection.

Building Interior. The Consultant did not move or remove any ceilings, wall coverings, floor coverings (including carpeting and wooden floorboards), furnishing, equipment, appliances, pictures or other household goods. In an occupied property, furnishings or household items may be concealing defects which may only be revealed when the items are moved or removed.

NOTE. In the case of strata and company title properties or other Class 2 buildings or equivalent, if the inspection was limited to assessing the interior of a particular unit or lot, the Client may have additional liability for defects or faults in the common property. This additional liability can only be addressed through the undertaking of a Special-Purpose Inspection Report which is adequately specified.

Building Exterior, Roof Exterior and Site. In inspecting the Building exterior, roof exterior and site the Consultant did not move or remove any obstructions such as wall cladding, awnings, trellis, earth, plants, bushes, foliage, stored materials, debris or rubbish. Such items may be concealing defects that may only be revealed when the items are moved or removed.

Roof Space In inspecting the roof space of any pitched roof there was no inspection of areas where accessibility was less than 600 mm high by 600 mm wide (but includes areas at the eaves of accessible roof spaces, that are within the consultant's unobstructed line of sight and within arm's length from a point with conforming clearance, i.e. 600 mm high by 600 mm wide).

Bodily access should be provided to the interior of all accessible roof spaces. In accordance with Australian Standard AS 4349 the minimum requirement is a 450 mm by 400 mm access manhole.

Obstructions such as roofing, stored articles, thermal insulation, sarking and pipe/duct work may be concealing evidence of defects which may only be revealed when the obstructions are moved or removed.

Subfloor Space Storage of materials in subfloor areas is not recommended as it reduces ventilation and makes inspection difficult. Obstructions may be concealing evidence of damage or faults which may only be revealed when the obstructions are moved or removed.

Bodily access should be provided to all accessible subfloor areas. In accordance with Australian Standard AS 4349 the minimum requirement is a 500 mm x 400 mm access manhole. In the case of suspended floors, if the clearance between the ground and structural components is less than 400 mm, Australian Standard 3660 recommends that the ground should be excavated to provide the required clearance, subject to maintaining adequate drainage and support to footings.

BUILDING STANDARDS

Building standards changed significantly in the 1970's when the Building Act was passed and again in 1990 when the Building Code of Australia was introduced. Materials and construction techniques are constantly changing and Building Legislation must change to address the latest developments.

Unless a dwelling has been constructed recently it may not comply with current standards. That does not necessarily mean that established dwellings are poorly constructed.

Generally, this assessment is based on the building standards that were current when the dwelling was constructed, which may be different from the current requirements of the Building Act.



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The author is a licenced Builder (123582C NSW), (19957795 ACT).

The author is a licenced Building Consultant (BC737 NSW) (now obsolete). Copies of these licences are available upon request.

The opinions expressed in this report are that of the author and are based on the skills, training and experience gained throughout 26 years licenced practice.

Peak Consulting trust the information included in this report, being impartial to any party is of assistance.

This report should not be relied upon 180 days from the date hereon.

Should you need further information regarding this report please do not hesitate to contact the author.

Signed:

George Pudja

Wednesday, 1 September 2021

Crewye Quelz



Memorial Hall

Pre-Insurance Renewal and Safety Inspection

Date of Report 12 February 2023

Noting the maintenance works that are about to be undertaken on the roof of the Memorial Hall the Coordinator Risk Management (CRM) undertook an Audit of the structure.

The objective of this Audit is to provide the Executive Management Team (EMT) with a report on structural challenges and a general report on safety conditions on the second level.

The scope of the Audit was to identify Risks and safety issues relevant to the section of the building utilised and occupied by YDHS.

Noting that roof repairs that are about commence the focus was on the upper levels of the hall. Below are the finding of the Audit.

1. External entrance to the upper level (walkway entrance)

There is a large diagonal open crack in the wall with displaced brick from upper level to ground level near the entrance door. It appears that this fault has also impacted the structural integrity of the door frame. A structural engineer is in the process of reviewing the site.

Risk Rating High

Recommendation

That until the report has been received and a treatment plan has been developed and implemented, it is recommended that the entrance door to the upper level be barricaded off. That this entry points to the building **NOT** be utilised till remedial repairs have been completed.

The closure of this entrance will also impact the fire exit from the upper level of the Hall, hence until the remedial works have been implement access to the upper level is to be restricted to authorised person only.

2. Fire Exit signs and Extinguishers

It was noted the two of the Fire Exit signs in the upper level are out of service. This a breach of fire regulations. These signs lead to the second fire exit of the upper Level. It was also noted that are NO fire extinguishers on this level.

The amount of flammable material accumulated over numerous year (books papers etc) stored on this level is placing the hall at risk of total loss in the event of a fire.

Risk Rating Extreme

Recommendation

That a contactor being engaged to inspect the exit signs. That access to the upper level be restricted to authorised persons until remedial repairs have been completed.

That actions be taken to eliminate the potential fire hazard.

3. Fire Evacuation Plan

CRM was unable to locate a fire evacuation plan for the upper level.

Recommendation

That a fire evacuation plan be developed. That access to the upper level be restricted to authorised persons until a plan has been developed and implemented.

Risk Rating High

4. Air Quality

It was noted that there is limited veneration air circulation on this level resulting in a musk odour throughout the level. The risk being air contamination resulting from multiple aged documents, books and artifacts being stored, resulting in a build-up of dust.

The poor ventilation would also be contribution to the deterioration of artifacts being stored on this level.

Risk Rating High

Recommendation

That investigations be undertaken to improve the ventilation on the upper level. That access to the upper level be restricted to authorised persons until remedial repairs have been completed.

5. Condition of Ceiling Paint

Multiple sections of ceilings on this level are showing signs of age fatigue and water damage. Paint is peeled off in large chunks, there numerous sections where the paint is suspended from the ceiling over desks and other section where the ceiling is exposed (potentially Asbestos).

Risk Rating High/Extreme (Health)

Recommendation

Noting the age of the building, samples of the ceiling paint should be collected and test for lead content.

Pending the results of the contamination report an Action Plan be developed to undertake the required maintenance works.

6. Cracking in walls as a result of water intrusion resulting in peeling on paint on walls

Again, there numerous sections where the paint is peeling off section of walls (over desks) and in other locations on the level (potentially lead based paint).

Risk Rating High

Recommendation

Noting the age of the building, samples of the wall paint be collected and test for Lead content.

Pending the results of the contamination report an Action Plan be developed to undertake the required maintenance works.

7. Static weight bearing load on the floor - the following was noted

Multiple structures (constructed bookcases) have been attached to wall. These shelves contain numerous books, weight unknow.

There are multiple filing cabinets of various sizes containing documents located in multiple rooms. These cabinets are metal and aluminium in construction containing various artifacts weight unknown.

There are multiple tables desks being used to store books on, weigh unknown.

The combined weight of items located on this level potentially exceeding the weight bearing capacity of the 100-year-old structure.

Recommendation

Noting the general layout of this level has been modified to accommodate offices and not storge. It is recommended the items located on this level be removed (for safety purposed) that Council consider repurposing the space.

8. Electrical Challenges

CRM noted that a large number of light switches that are inoperable (no attached notice informing occupants/visitors that the switch do not work). The are several power boards that have multiple devices attached theses boards are not surge protected. Electrical leads and what appeared to be old phone lines were noted running under a closed door to a storeroom.

Recommendation

That an electrician be engaged to provide a report on the noted electrical observations.

That Y&DHS be educated on the safe use of power boards and the existing power boards be replaced with surge protector boards.

That access to the rooms with power leads on the floor be denied until remedial action is implements to remove the risk.

9. Housekeeping

There is a general lack of housekeeping protocells which are creating safety risk to YDHS person and visitors.

Recommendation

To ensure the safety of Y&DHS personnel and visitors housekeeping protocol need to be implemented.

10. Toilets

The facilities are dated and substandard – the men's toilet is inoperable.

Recommendation

Investigations need to be undertaken to bring the facilities up to Standard.

Summary (The following is based on Safety and Insurance considerations)

Noting the safety issue above and considering the space was not designed for the purpose of storage and the volume of flammable material it is recommended that access to the second floor of the facility be immediately removed to members of the Y&DHS.

That if a Y&DHS member wish to access the building to collect items, a suitable time be arrange with a Council staff member to grant access and accompany the member whilst on the premises.

That Y&DHS be remined that it their responsibility to insure all items located on Council premises.

Lloyd Davidson

Coordinator Risk Management



PO Box 336 Hall ACT 2618 F: (02) 6230 9695 M: 0438 625 440 E: pdragh@bigpond.com

SITE INSPECTION RE

LOCATION: Yass Memorial Hall NSW 2582

Inspection Stage: Roof

Builder: National RoofCare Job No.

Booking ID: Date: 14/02/2023

Comments:

Some cracks were observed.

Instructions:

- > Wall cracks should be repaired with HeliBars and HeliBond Grout. For more information, refer https://www.helifix.com.au/applications/crack-stitching/
- > Cracks should be monitored.
- > Half of the depth of existing mortar should be removed and filled with high strength
- > Refer next 21pages for gutter and downpipe details

Issued to: National RoofCare Inspected by: PIERRE DRAGH Copies to: Date: 08-03-2023

*This document does not authorise any variation from the contract unless otherwise approved by the

*This certificate does not relieve the responsibility of the builder/contractor from the performing work in accordance with the new line building Act/ordinance and approves documents/specifications

PIERRE/DRAGH MIE Aust no: 1158352 RPEQ: 5882

1 | Page



Minutes of the Local Emergency Management Committee

Thursday 16 February 2023

10.00am Council Chambers 209 Comur Street, Yass Attachment A Local Emergency Management Committee Minutes - 16 Februray 2023

Minutes of the Local Emergency Management Committee held on 16 February 2023

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1.	Apologies	
2.	Declarations of Interest	Error! Bookmark not defined
3.	Confirmation of Minutes	
4.	Confidential Matters	Error! Bookmark not defined
5.	Next Meeting	

This is page 1 of 9 of the minutes of a meeting of Yass Valley LEMC held on the above date

Present

Dave Cowell – LEOCON/ Chair (NSW Police), Tony Stevens – LEMO (Yass Valley Council), Paul Vasey (VRA Rescue NSW Limited – Binalong Rescue), George Shepherd (RFS), Dean Campbell, Nicholas Whiting, and Scott Lang (Fire Rescue NSW, Matthew Price (NSW SES), Chris Harris and Fiona Leech (Local Land Services), Tom Wivell and Katherine Boulton (TfNSW), Sarah Little and Katrina Gray (SNSWLHD)

Also Present

Shirree Garland - Yass Valley Council

Acknowledgement of Country

Apologies

Apologies were received from Superintendent Paul Condon (Hume Police District Commander), Paul Lloyd (REMO), Paul Box and Ben Hutchinson (NSW Ambulance)

2. Confirmation of Minutes

COMMITTEE DECISION

That the minutes of the Local Emergency Management Committee held on 01 December 2022 be taken as read and confirmed.

(M Price/P Vasey)

Matters Arising from Minutes

Yass Apex Homes Correspondence

Matt Price, SES, advised that he had followed up with the site Manager Yass Apex Homes re alerts prior to/during flooding events. He advised that there are no automated alarms available and that if there were any concerns during an event contact should be made with the SES. Both parties were happy with the outcome of the meeting.

3. Delegates Reports

Police

Dave Cowell advised it was business as usual, including the attendance at a fatal on Yass Valley Way and undertaking road closures due to fires at Jugiong and Wee Jasper Road.

Fire Rescue NSW

Scott Lang advised that Nick Whiting had received a promotion as a full time officer with FRNSW so would be vacating the role of Deputy Captain. Recruitment is underway for a new Deputy Captain. Two extra staff will be commencing at the beginning of March. The unit is in receipt of a new specialist truck, which is now operational. The service has been busier than average year to date.

A joint drill with SES involving watercraft will be held this coming Sunday. Binalong VRA asked if they could be involved – details to be provided.

This is page 2 of 9 of the minutes of a meeting of Yass Valley LEMC held on the above date

RFS

George Shepherd spoke to report provided.

There are still two fires that are being patrolled. 2,000 hectares were burnt at Narrengullan last weekend. Out of 65 brigades, 63 tankers were active over the weekend. Requests have been received for assistance with fires in Queensland – no local crews will be deployed.

NSW Ambulance

Nil

Department of Communities and Justice

Report attached.

VRA Rescue NSW Limited – Binalong Rescue

Paul Vasey spoke to the attached report. Paul asked what the progress was on Illalong Road - Tony Stevens to follow up and provide update to members.

Action: Tony Stevens to provide update to members re Illalong Road.

Local Land Services

Fiona Leech reported that the fire at Narrengullen and Cavan had resulted in a total of 470 i stock being destroyed.

SES

Matt Price advised that the current period had been considerably quieter than the previous, having only received 11 requests for assistance, with no flood rescues. An additional five full time staff will be employed at Goulburn, in place by the end of the financial year, which will greatly assist the Service.

Health

Sarah advised that it was business as usual. Predicted numbers for COVID over the Christmas period were less than what was predicted. RAT tests are available free of charge from the hospital. PCRs are not available in town.

Action: Tony Stevens to arrange for signs to be removed from Walker Park.

Staffing levels are currently good. Health and Security Assistant position is available.

Looking at possible virtual program for ED, partnering with Western District.

HAZMAT scenario is currently being planned for March. Multi agency trauma day is being planned for around September.

Collaboration between Ambulance, Police re mental health as been working really well.

Transport NSW

Tom Wivell advised that there was work currently being done on incident response plans —contact will be made shortly to have further discussions. There are currently not too many state roads in this region that have water over them. Conroys Gap project is set to start in the near future with road closures of single lane for about a week. Livestock training has taken place in Wagga and Griffith.

There has been an increase in accident damaged vehicles being left on the side of the highway/State roads. Tom advised that TfNSW will always try and work together with other agencies but at times vehicles may need to be moved to local roads. Dave Cowell advised that most times the vehicle is

This is page 3 of 9 of the minutes of a meeting of Yass Valley LEMC held on the above date

called through to TMC for removal. Some uninsured vehicles are often just left. Dave and Tom to discuss offline.

Teams will start to be focusing more towards the Alpine area shortly.

Council

Tony Stevens advised that James Dugdell had resigned from his position of Director of Infrastructure and Assets. Recruitment is currently underway.

Tony to provide members with a roads update, especially Illalong Road and Murrumbateman Road.

Declaration of Natural Disaster will be lodged this afternoon following the Narrengullen fire over the weekend. Blazeaid have advised that they will be providing assistance with fencing. Accommodation/sites are being made available at local properties.

Council are currently looking at having the One Roads app which will assist in advising of road closures.

Staff require Bushfire Awareness training. George Shepherd to follow up re training availability.

Action: George Shepherd to advise on Bushfire Awareness Training availability.

LEOCON

Assistance at fire incidents - process

Chris Harris asked whether LEMC were responsible for giving permission for LLS to assist in fire situations. It was advised that the RFS is the combat agency, for fires, and are in control of the incident. The EOC would normally be opened if the event was nearing population areas, or areas that look like being evacuated etc – it is the Combat agency's decision. The event on the weekend was a large fast moving grass fire with no direct threat to people or evacuation areas. If services are concerned an LO can be sent to the RFS Control Centre.

Closures of Hume Highway - Fires as Jugiong

Dave Cowell advised that we need to be mindful that it should be a last resort to close the Highway. At the recent Jugiong incident RFS trucks closed the highway. There was a break down in communication with the Police not contacted. George Shepherd advised that training is provided but that there was obviously mixed messaging on the day.

Hazards Near Me App

Fires Near Me App is now Hazards Near Me – this app provides good information and is linked to both the RFS and the SES (run by Service NSW).

Volunteer Members Responding to Emergencies

Dave Cowell asked that members remind their volunteers that they do not have any exemptions under emergency situations when they are in their private vehicles. No exemptions will be given and appropriate action will be taken if caught dangerous driving.

Dave Cowell passed on condolences and respect at the passing of retired VRA member Steve Baxter.

4. Next Meeting

Thursday 11 May 2023, at 10.00am in Council Chambers, 209 Comur Street, Yass

The meeting closed at 11.01 p.m.

This is page 4 of 9 of the minutes of a meeting of Yass Valley LEMC held on the above date



LEMC REPORT

Yass Valley								February	2023
ACTIVITY									
LGA	Fire/Explosion	MVA	Hazardous Condition	Service Call	Good Intent	False Alarm	Other	Not Classified	Total
Yass Valley	19	16	4	6	5	2	0	0	52

^{*}There are a number of responses to out of area request to a joining districts not included in this report

CAPABILITY

> Operationally business as usual. Full staffing at Southern Tablelands

PI ANNING

- NextGen Bush Fire Risk Management Plan ongoing with consultation with land managers. Community consultation expected to begin in the near future.
- Increase in bush/grass fire hazard complaints being received as weather continues to warm and the grassland fuel load increases.

TRAINING

ST District Training program to start in March 2023, Brigade training will continue over the summer period.

OTHER NII
ACTION NII



This is page 5 of 9 of the minutes of a meeting of Yass Valley LEMC held on the above date



REPORT TO: Local Emergency Management Committee

	ict
Report Period: 01-DEC-2022 to 31-JAN-2023	
	_

1.	ACTIVITY	Nil activations
2.	CAPABILITY	Following restructure of Resilience NSW role and duties, DCJ have appointed a new Deputy Secretary to oversee and implement all WelFAC functions.
3.	PLANNING	There is a scheduled meeting for all NSW District WelFAC Coordinators scheduled for 17-FEB-2023, which includes on agenda planning structures, roles, responsibilities, etc. going forward.
4.	TRAINING	REMO has supplied new training schedule for 2023, with courses covering Introduction to Emergency Management, Operation of Evacuation Centres, etc.
5.	OTHER	State WelFAC has requested Audit of Evacuation Centres, with update report due by 30-APR-2023. There is an updated format and includes input from Council, WelFAC and Ag & Animal FAC
6.	ACTION	Nil

Submitted By: Steve Bowler WelFAC Coordinator Southern District Date 31-JAN-2023

LEMC Template 2022

Agency report to Southern Ranges LEMC

This is page 6 of 9 of the minutes of a meeting of Yass Valley LEMC held on the above date



VRA RESCUE NSW Limited Binalong Rescue

Email: Binalong.secretary@vrarescue.org Phone: 0410 564 520

13th February 2023

VRA Rescue NSW - Binalong LRC & LEMC Report

VRA Rescue NSW – Binalong has been steady since the last meeting due to the recent rain events, First Aid and training

Regional Coordinator Paul Marshall is continuing assisting where and when possible

VRA Binalong continue assisting Warby Motor sports trials at Tumut a trial/ final run scheduled for possibly March or April 2023 - this keeps moving around - WIP

Vale Steve Baxter:

Sadly, VRA Binalong lost one of retired members Steve Baxter on Sunday evening – this was unexpected – Steve was an GLR operator for a while and then stood down to do First Aid at the local football games before retiring – Steve was a character and will be missed by squad members and the greater community – Our thoughts and prayers go to the family, friends and colleagues at this time

Australia Day 2023:

VRA Rescue NSW Binalong were one of the recipients of the Mayoral Award for Volunteer Emergency Service 2023 – This was happily accepted alongside of the Yass SES

Driver Reviver:

VRA Binalong opened Driver Reviver at Bookham over the Christmas Festive Season and Australia Day Weekend; it was a very busy time, travellers were very happy to see us there. Debra Scanes advised Inso David Cowell the dates and times they were opened

Driver Reviver at Bookham will be open over the Easter Period and Debra Scanes will advise Insp David Cowell once dates and times have been confirmed

Donation

VRA Rescue NSW Binalong have been donated an Ark Angel and 6 life Jackets for Swift Water Rescue – these items have been ordered and the squad is waiting on delivery

New Callout System:

Binalong are now being responded by RFSActive and this seems to be working well across the state Members are happy with this and have the backup from our call centre that is still active for admin purposes

Call Outs:

- 1 Several Local First Aid call outs
- 2 Call out to assist with a boating breakdown at Burrinjuck Stood down
- 3 Call outs to assist locals with flooding and removal of trees from roads etc.
- 4- Swift Water Rescue Call outs in the local area and surrounding districts
- 5 Swift Water Rescue operators have been called out to assist across the state

The Community Based Volunteer Emergency Service
WE ARE RESCUE

This is page 7 of 9 of the minutes of a meeting of Yass Valley LEMC held on the above date



Update:

- 1 VRA Binalong now have 2 more Land Based Operators totalling 4 Land based and 2 Technicians
- 2 New GRN radios have been placed in the Rescue Truck and 4x4 this allows us to speak with other services
- 3 If roads in the area are closed can Emergency Services be advised this would make responding easier
- 4 If roads are closed and others cannot get to a location that needs to be closed or everyone is busy with jobs Binalong members are happy to assist

Ongoing:

VRA Rescue NSW - Binalong are still not being responded to MVA's in the area? Binalong can assist in multiple areas at a scene, they are professionally trained and hold the appropriate competency's especially when they are the closest and most appropriate

Bridge/ Road repairs on Ilalong Road? – Members of the community are wondering when this is going to be repaired – This delays all emergency services responding to incidents where lives are at risk or locals could loose their homes etc, those living on this road are also frustrated. Can Council please take this into consideration

If members are called by a member of the public or another emergency service to an incident they will respond accordingly and notify the call centre and the relevant agencies

Training

VRA Binalong continue to train once a week alongside of their trainee members now going through their mandatory training starting with ROM before progressing to GLR operators' status – they are all progressing nicely

Cross training with NSW Police Rescue based in Goulburn is continuing SES Harden, Yass & Sutton & FRNSW Harden would like to participate in some cross training It's been a bit busy to organise any cross training - WIP

VRA Rescue NSW Binalong Members would be happy to participate in any cross-agency training - Please invite us

Members welcome anyone that would like to join us for a training evening, just send us an email or call the number above to organise.

We look forward to working alongside all emergency services, working together to assist those in need at any time in any situation. After all we are all training to look after those in need Working together to keep our communities safe

Thank you

Report prepared & submitted by Debra Scanes ESM VRA Rescue NSW – Binalong President/ Secretary

Attendee: Paul Vasey

VRA Rescue NSW - Binalong LRC & LEMC Representative

The Community Based Volunteer Emergency Service WE ARE RESCUE

This is page 8 of 9 of the minutes of a meeting of Yass Valley LEMC held on the above date

Minutes of the Rescue Committee Committee held on 16 February 2023

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This is page 1 of 6 of the minutes of a meeting of Yass Valley Rescue Committee held on the above date

Minutes of the Rescue Committee Committee held on 16 February 2023

Present

Dave Cowell – LEOCON (NSW Police), Paul Vasey (VRA Rescue NSW Limited Binalong Rescue), Matthew Price, (NSW SES), Dean Campbell, Nick Whiting (Fire Rescue NSW), George Shepherd (RFS)

Also Present

Shirree Garland - Yass Valley Council

Acknowledgement of Country

1. Apologies

Apologies were received from Paul Box, Ben Hutchinson- NSW Ambulance, Paul Lloyd – REMO and Superintendent Paul Condon (Hume Police District Commander)

2. Confirmation of Minutes

COMMITTEE DECISION

That the minutes of the Rescue Committee held on 01 December 2022 be taken as read and confirmed.

(M Price/P Vasey)

3. Delegates Reports

Police

Dave Cowell advised that it was business as usual, along with attendance at a fatal on Yass Valley Way and undertaking road closures due to fires at Jugiong and Wee Jasper Road.

Fire Rescue NSW

Nick Whiting advised that the service had attended eight motor vehicle accidents, one animal rescue, numerous fires (shed, truck and car).

State Emergency Service

Matt Price advised that the current period had been considerably quieter than the previous, having only received 11 requests for assistance, with no flood rescues. An additional five full time staff will be employed at Goulburn, in place by the end of the financial year, which will greatly assist the service.

Dave Cowell passed on condolences and respect at the passing of retired VRA member Steve Baxter.

VRA Rescue NSW Limited – Binalong Rescue

Paul Vasey spoke to the attached report.

NSW Ambulance

Nil

Fire Rescue NSW

Business as usual.

This is page 2 of 6 of the minutes of a meeting of Yass Valley Rescue Committee held on the above date

9.1	Minutes of the Local Emergency Management Committee and Rescue Committee meetings held on 16
	February 2023

Attachment B Rescue Committee Minutes - 16 February 2023

Minutes of the Rescue Committee Committee held on 16 February 2023

6. Next Meeting

Thursday 11 May 2023, at 9.30am in Yass Valley Council Chambers, 209 Comur Street, Yass

The meeting closed at 9.52 am

This is page 3 of 6 of the minutes of a meeting of Yass Valley Rescue Committee held on the above date

Minutes of the Rescue Committee Committee held on 16 February 2023



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Email: Binalong.secretary@vrarescue.org Phone: 0410 564 520

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The Community Based Volunteer Emergency Service WE ARE RESCUE

This is page 4 of 6 of the minutes of a meeting of Yass Valley Rescue Committee held on the above date

Minutes of the Rescue Committee Committee held on 16 February 2023



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Report prepared & submitted by Debra Scanes ESM VRA Rescue NSW - Binalong President/ Secretary

Attendee: Paul Vasey

VRA Rescue NSW - Binalong LRC & LEMC Representative

The Community Based Volunteer Emergency Service

WE ARE RESCUE

This is page 5 of 6 of the minutes of a meeting of Yass Valley Rescue Committee held on the above date



Minutes of the **Economic Development Committee**

Tuesday 28 February 2023

4.30pm Council Chambers 209 Comur Street, Yass

Minutes of the Economic Development Committee held on 28 February 2023

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Minutes of the Economic Development Committee held on 28 February 2023

Present

Cr J Jones (Chair), Cr M Reid, Y Coe, K Denny, A Hennell, John Runko, Robert Tanton, Alison Mead (Teams), Martyn Pearce, Jack Walker (Teams)

Also Present

Lynette Safranek – Director Corporate & Community, Julie Rogers – Director Planning & Environment, Georgia Patmore – Acting Manager Community & Economic Development, Shirree Garland – Executive Support Officer, Cr Adrian Cameron and Luke McAlary

Acknowledgement of Country

1. Apologies

Nil

2. Declaration of Conflict of Interest

Cr Jasmin Jones declared a standing declaration of interest as she is the Co-Director of Yass Valley Times.

3. Confirmation of Minutes

COMMITTEE DECISION

That the minutes of the Economic Development Committee held on 20 December 2022 be taken as read and confirmed.

(Martyn Pearce/Andrew Hennell)

5. Staff Presentation

- The Chair advised that at the moment Council does not have a Strategic Planning section.
- Julie Rogers, Director Planning & Environment, provided an update on housing in the Yass Valley Local Government Area. The following points were raised:
 - Population is reliant on Canberra with 54% of Yass Valley residents leaving to go to employment elsewhere.
 - Yass Valley has a higher than average income, with not a lot of social issues (compared to other areas).
 - Water security is the biggest issue for Yass Valley. It is difficult to release land for future development without water security.
 - There are 28 properties (2.2 hectares in the residential area) brownfield government sites.
 - Once water security is obtained the Settlement Strategy will be reviewed
 - Solar and Windfarm workers have increased the need for more affordable housing due to their ability to be able to pay over and above the normal rental market.
 - Council has some residential land available in Yass Council will need to make a decision on the possible release of this land. Gasworks land requires remediation works which is expensive.

Action: Creation of Community Title to unlock land – Director to investigate.

Minutes of the Economic Development Committee held on 28 February 2023

- Cr Cameron asked the following:
 - What is the current situation in relation to the capacity of our dam to cater for the current growth in housing? Do we know the current number of houses that we can cater for?
 - Julie Rogers advised that all development consents that have been issued we are liable to have connections to the water supply. Council is committed to supplying water to undeveloped land zoned residential.
- Cr Jones asked whether land near the ACT border could be developed?
 - Julie Rogers advised that social housing development would be problematic. Council does not support development of new towns in the peri urban area. Yass is the primary centre and Murrumbateman is the second within Yass Valley. This decision is justified as it is difficult to service this area, you would need to get water and sewer from across the border. Raises other issues such as would another admin office be required, additional depot staff for garbage, parks & rec, etc. Residents would not identify with Yass Valley as they would see themselves as a suburb of Canberra. Cross border services including police, education, health are quite difficult. Council is reliant on the State Government to move the border.
- Cr Mike Reid asked: what does Council want from this Committee?
 - Julie Rogers advised that they could assist with the review of policy on land disposal, specifically the release of land for affordable housing.
- Jack Walker noted that water security is a significant issue and asked whether the pipeline from Canberra was Council's only option?
 - Julie Rogers advised that the Chief Executive Officer was involved in cross border water discussions with a number of both NSW and ACT Departments. The Water Source Strategy identified the pipeline from Canberra was the most affordable and most achievable. There are other options which are more expensive – negotiations are continuing.

COMMITTEE DECISION

That a working group be set up to review the housing issues draft paper and report back to the next meeting.

Working group members – Mike Reid, Robert Tanton, Andrew Hennelly and Karen Denny.
(M Reid/A Hennell)

North Murrumbateman Project

Julie Rogers provided a brief overview of the North Murrumbateman Project.

Future Agenda Items

- Council Policy to control burn offs in relation to potential damage to vineyards
- Bus service between Murrumbateman and Yass
- Economic Development Strategy
- Committee priority list

6. Next Meeting

Tuesday 18 April 2023, at 4.30pm in Council Chambers, 209 Comur Street, Yass

The meeting closed at 5.34 p.m.

This is page 3 of 4 of the minutes of a meeting of Yass Valley Economic Development Advisory Committee held on the above date



24 February 2023





Friday, 24 February 2023 9am-12pm Upstairs Foyer, Wagga Wagga Civic Theatre

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Friday, 24 February 2023 9am-12pm Upstairs Foyer, Wagga Wagga Civic Theatre

ATTENDEES	
Bega Valley Shire Council	Mayor Russell Fitzpatrick (Chair) Mr Anthony McMahon
Goulburn Mulwaree Council	Mayor Peter Walker (MS Teams) Mr Aaron Johansson (MS Teams)
Hilltops Council	Mayor Margaret Roles Mr Anthony O'Reilly
Queanbeyan-Palerang Regional Council	Mayor Kenrick Winchester (MS Teams) Ms Rebecca Ryan (MS Teams)
Snowy Monaro Regional Council	Mayor Narelle Davis Mr Peter Bascomb
Snowy Valleys Council	Mayor Ian Chaffey Mr Ken Gouldthorp
Upper Lachlan Shire Council	Ms Colleen Worthy (MS Teams) Ms Alex Waldron (MS Teams)
Wingecarribee Shire Council	Mr. Viv May (PSM) Ms Lisa Miscamble
Yass Valley Council	Mayor Allan McGrath Mr Chris Berry
ACT Government	Dr David Clapham (MS Teams)
Wagga Wagga City Council	Mayor Dallas Tout
Canberra Airport	Mr Noel McCann (MS Teams)
Canberra Region Joint Organisation	Mr Warwick Bennett Ms Suzanne Gearing Ms Hayley Chapman Ms Jennifer Lang
GUESTS	
NSW Government	Anna Wyllie, Regional NSW Emma Watts, Cross Boarder (MS Teams) Heidi Stratford, Reconstruction Authority (MS Teams) Karen Purser, Office of Local Government Louise Taylor, Office of Local Government

Board Meeting Agenda

Thursday, 20 October 2022 1pm – 1.45pm Sydney Parliament House, Preston Stanley Room

RESENTATIONS		
Transport for NSW (MS Teams)	Cameron McKinnon, Transport Planning Manager, South and West Region Vanessa Wilson, Senior Manager Community and Place Partner (Tablelands) Fiona McLauchlan, Senior Manager Community and Place Partner (South Coast) Adam Gray, Senior Manager Transport Planning (South East and Tablelands)	
Destination Southern NSW	Richard Beere, Chair Sarah Hope, Business Development Manager	
Australian Government Inquiry on National Regional, Rural and Remote Road Network CRJO Submission (MS Teams)	Warren Sharpe	



Friday, 24 February 2023 9am-12pm Upstairs Foyer, Wagga Wagga Civic Theatre

1. Opening Meeting

The Chairperson, Mayor Russell Fitzpatrick opened the meeting at 9am.

2. Welcome & Acknowledgement of Country

The Chairperson, Mayor Russell Fitzpatrick welcomed members and guests and made an acknowledgment of country.

3. Apologies

The Chairperson, Mayor Russell Fitzpatrick called for any apologies. The following apologies were received:

Eurobodalla Shire Council	Mr Warwick Winn Mayor Matthew Hatcher
Upper Lachlan Shire Council	Mayor Pam Kensit
Wagga Wagga City Council	Mr Peter Thompson

4. Disclosure of Interest

With reference to Chapter 14 Local Government Act 1993, and CRJO's Code of Conduct, Councillors are required to declare any conflicts of interest in the matters under consideration by CRJO at this meeting.

Nil

5. Notice of Rescission

Pursuant to Clause 372 of the Local Government Act 1993 a voting representative may lodge a notice to rescind a motion for the CRJO's consideration.

Nil

6. Notice of Motions

Pursuant to Clause 10.2 of the Code of Meeting Practice a voting representative may lodge a notice of motion for the CRJOs consideration

Nil



Friday, 24 February 2023 9am-12pm Upstairs Foyer, Wagga Wagga Civic Theatre

7. Urgent Business

The Chairperson called for any Additional Business pursuant to Clause 9.3 of the Code of Meeting Practice. Any additional business to be discussed requires a Board resolution or a ruling by the Chairperson that the matter is of great urgency.

The CRJO Board may resolve to accept any late item, information or urgent business to be discussed and/or determined at this meeting.

Nil



Friday, 24 February 2023 9am-12pm Upstairs Foyer, Wagga Wagga Civic Theatre

8. Presentations

8.2. Destination Southern NSW Presentation

Destination Southern NSW representatives joined the meeting at 9.05am.

RESOLUTION 23/02 - 02

Moved: Mr Viv May

Seconded: Cr Allan McGrath

That the presentation from Mr Richard Beer, Chair on the Destination Southern NSW, Destination Management Plan be received.

CARRIED

Destination Southern NSW representatives left the meeting at 9.40am.

8.1. Transport for NSW Presentation

Transport for NSW representatives joined the meeting at 9.45am, via Microsoft Teams.

RESOLUTION 23/02 - 01

Moved: Cr Margaret Roles

Seconded: Cr Narelle Davis

That:

- 1. The presentation by Transport for NSW on the Draft South East and Tablelands Regional Transport Strategy be received.
- The CRJO make a regional submission to the South East and Tablelands Regional Transport Strategy and all member Councils forward their comments to the Chief Executive CRJO by Friday 10th March 2023.
- 3. The Chief Executive circulate a draft submission once comments are received to member Mayors and General Managers for final comment before lodging the CRJO submission directly with Transport for NSW.
- 4. Offer to have further meetings with Council's be noted.

CARRIED

Transport for NSW representatives left the meeting at 10.17am.



Friday, 24 February 2023 9am-12pm Upstairs Foyer, Wagga Wagga Civic Theatre

9. Confirmation of Minutes

9.1. Confirmation of Previous Minutes

RESOLUTION 23/02 - 03

Moved: Cr Margaret Roles

Seconded: Cr Allan McGrath

That the CRJO Board Meeting Minutes from 9 December 2022 be confirmed.

CARRIED

10. Chair's Minute

Pursuant to Clause 9.6 of the Code of Meeting Practice the Chairperson, without notice, may put to the meeting a minute on any matter or topic that is within the jurisdiction of the CRJO.

Nil

11. Reports to Joint Organisation

Mr Warren Sharpe joined the meeting at 10.20am via Microsoft Teams.

11.1. Australian Government Inquiry on National Regional, Rural and Remote Road Network

RESOLUTION 23/02 - 04

Moved: Cr Narelle Davis

Seconded: Mr Viv May

That:

- The report of the Chief Executive on the Submission to the "Australian Government inquiry into the implications of severe weather events on the national regional, rural and remote road network".
- 2. The CRJO Board endorse the submission to the Australian Government and seek to heard at the senate enquiry.

CARRIED

Mr Warren Sharpe left the meeting at 10.45am.

Meeting paused for morning tea at 10.45am.

Meeting resumed at 11.05am.



Friday, 24 February 2023 9am-12pm **Upstairs Foyer, Wagga Wagga Civic Theatre**

11.5. State Government Update

Updates were received from the following State Agencies:

- Anna Wyllie, Regional NSW
- Karen Purser and Louise Taylor, NSW Office of Local Government
- Emma Watts, NSW Cross Boarder
- Heidi Stratford, Reconstruction Authority
- Dr David Clapham, ACT Government

11.2. Audit Review and Improvement Committee Charter

RESOLUTION 23/02 - 05

Moved: **Cr Margaret Roles**

Seconded: Cr Allan McGrath

That the Canberra Region Joint Organisation board adopts the Audit Review and Improvement

Committee Charter.

CARRIED

11.3. Operations Program Overview

RESOLUTION 23/02 - 06

Moved: Cr Russell Fitzpatrick

Seconded: Cr Ian Chaffey

That:

- 1. The report of the Chief Executive on the current operations projects be received.
- 2. The Chair of the CRJO Board be granted authority to call an extra-ordinary meeting(s) of the Board to discuss and approve the audit financial statement and any resolutions needed to approve a tender for the Circular Economy project.
- 3. The CRO Board express its concerns to the Minister of Local Government of the performance of the Audit Office in relation to some audits.

CARRIED

11.4. Financial Statements

RESOLUTION 23/02 - 07

Moved: Cr Allan McGrath

Seconded: **Cr Narelle Davis**

That Board receive the CRJO Finance Report and note the financial position of the Organisation at 31 January 2023.

CARRIED



Friday, 24 February 2023 9am-12pm Upstairs Foyer, Wagga Wagga Civic Theatre

12. Confidential Matters

The CRJO Board must resolve to move into Closed Session to deal with any items under s10 Local Government Act 1993.

Nil

13. Close

The Chairperson, Mayor Russell Fitzpatrick closed the meeting at 12.27pm.