



Yass Soldiers Memorial Hall Committee Meeting

Thursday 7 October 2021

2.30pm

Via Zoom/Council Chambers

209 Comur Street, Yass

Zoom Meeting ID: 810 8928 6628

Password: 279675

**ATTACHMENTS TO REPORT
ITEM UNDER SEPARATE COVER**

Yass Soldiers Memorial Hall Meeting

Attachments to Report
Item Under Separate Cover

Page No.

5.1 Memorial Hall Dilapidation Report

Attachment A. Special Purpose Inspection Dilapidation Report - Part 13

Attachment B. Special Purpose Inspection Dilapidation Report - Part 2 187



Building Consultants
~
Building Investigations
~
Expert Advice
~
Scopes of Work

SPECIAL PURPOSE INSPECTION DILAPIDATION REPORT

Inspector's Name:

George Pudja

ADDRESS:	Yass Memorial Hall 82-94 Comur Street YASS NSW 2582
REPORT PREPARED FOR:	Yass Valley Council 209 Comur Street YASS NSW 2582
PHONE:	(02) 6226 1477
EMAIL:	Seamus.McGurk@yass.nsw.gov.au
DATE ATTENDED:	27 – 29 April 2021

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Site Inspection

In accordance with your request, the consultant inspected the subject property.

The purpose of this inspection was to inspect the condition and compile a report listing areas that display visible dilapidation observed at the time.

The terms of reference are as follows:

Conduct a non-invasive, non-forensic, visual inspection and determine/identify the condition and dilapidation status, documenting each area / item assessed including recording digital photographs to demonstrate the inspection findings and report on:

1. Roof condition.
2. Subfloor and first floor condition. Provide additional separate report for the kitchen area if deemed warrantable based on the findings, opinions and any urgent recommendations that would be forthcoming based on the assessment of this kitchen area.
3. Condition of the exterior and interior wall surfaces.
4. Compliancy of access and egress points throughout the building.
5. Compliancy of the steps and stairs throughout the building.
6. Compliancy of electrical reticulation and installation throughout the building.
7. Compliancy of fire safety compliance installed throughout the building.
8. Presence and management of asbestos throughout the building.
9. Dilapidation status of paint application both internally and externally throughout the building.
10. Status of plumbing and drainage throughout the building.
11. Serviceability condition of exterior doors and windows of the building.
12. Condition and compliancy of balconies both internally and externally of the building.
13. Investigate the source of dampness emanating from areas presenting with evidence of mould throughout the building.
14. Assess and provide priority order of above items that require addressing in order to achieve safety and compliance and protect the amenity of the building.
15. Provide cost estimates for the above items assessed and reported on.

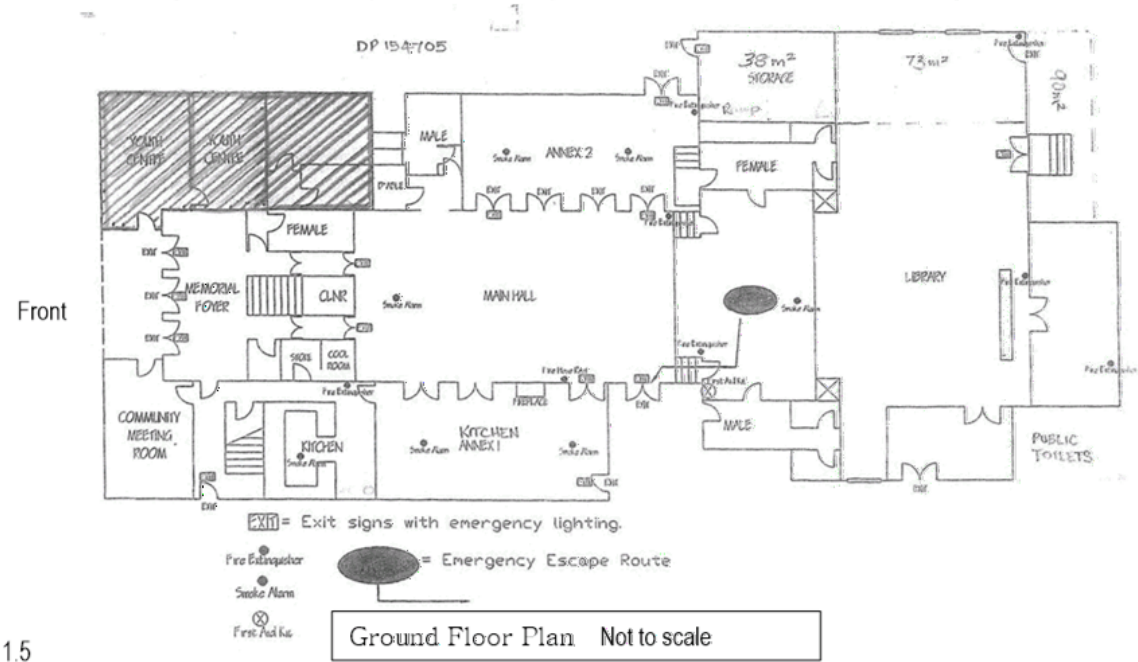
Google Maps Image of Property (for reference):



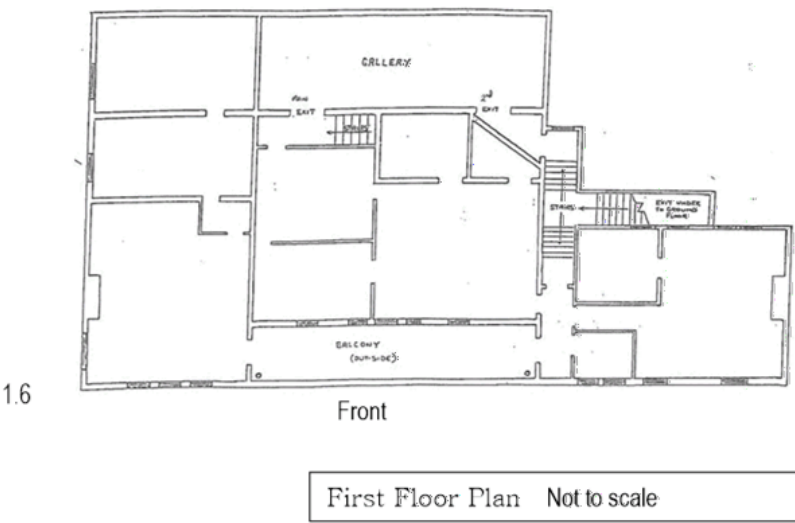
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1. Overview / Acceptance Criteria

- 1.1 The building is located at 82-94 Cornur Street, Yass NSW.
- 1.2 The building was established in the period 1922 to 1923 as a WWI memorial hall and is a two-storey building that forms a combination of Class 5 Office spaces and Class 9b Assembly building.
- 1.3 There have been additions to the building over the years and now the building is used as a WWI memorial, assembly building, historical archive store, a public library and public toilet facilities at the rear of the building.
- 1.4 The building construction is complete, and the floor plan sketches below illustrate the current layout.



1.5



1.6



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2. Executive Summary

- 2.1 The following table summarises the issues identified, assigns a priority of repairs and provides a cost estimate to carry out such remediation.
- 2.2 The priority designations are as follows;
- 2.2.1 **Priority #1** – This designation means that the defect should be addressed ‘ASAP’, and it affects the following aspects of the building (1) the ‘**structural integrity of the building**’ or (2) it affects the ‘**health and safety of the occupants**’, or (3) it is ‘**work needs to be carried out in order for other remediation to be allowed to proceed**’.
- 2.2.2 **Priority #2** – This designation means that the defect should be addressed ‘**within the next 12 months**’, and while the remediation is considered important, it is not considered urgent.
- 2.2.3 **Priority #3** - This designation means that the defect should be addressed ‘**within the next 24 months**’ and is considered part of normal, regular maintenance.
- 2.3 The cost estimate is based on current square metre rates for the various trades and materials, which also includes 20% Builders Margin and 10% GST. **Please Note:** These are estimates and allowances and are a guide only.
- 2.4 Special note: these cost estimates are that compiled by the author and are based on the skills and experience of the author and in some cases, enquiries made from the market place. These estimated costings should not be relied upon as firm prices for the rectification. Actual tenders from suitably qualified contractors should be sought in order to properly test the market in obtaining market dictated costs to upgrade and reinstate the items noted in this report herein.
- 2.5 The cost estimates in the tables below are based the consultant’s opinion and experience gained through building industry related practice spanning 26 years. The costs are based on the non-invasive inspection. Some rectification work may require removal and disassembly of components which may reveal further defects and latent damage. Additional rectification and subsequent cost may apply.

Issue.	Description.	Priority.	Scope of works.	Cost estimate.
Roof Defects	<ul style="list-style-type: none"> All roof sheeting to Memorial Hall, Annexes and Library. All water ingress is considered a ‘Structural defect’. 	#1	<ul style="list-style-type: none"> Include all traffic and pedestrian controls. Site establishment costs, waste disposal skip bins, Scaffolding. Removal and disposal of all current roofing. Modifications to roof framing and pitch to accommodate deeper box gutters and new overflows. Supply and install of new sheeting, flashing, capping and guttering throughout. Please Note: This work must be coordinated with any masonry wall repairs that require partial demolition and rebuilding. 	\$416,000.00



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Issue.	Description.	Priority.	Scope of works.	Cost estimate.
Window defects	<ul style="list-style-type: none"> All timber windows and doors that show exterior deterioration to paint or framing require repairs and repainting. This also applies to exterior doors. 	#3	<ul style="list-style-type: none"> Once roof repairs have been carried out, provide adequate scaffolding and safe work platforms around all windows. In accordance with Keane Environmental Lead Paint Register report, and in strict accordance with relevant codes, remove existing paint and repaint all windows and doors where required. 	\$130,416.00
Brick cracking	<ul style="list-style-type: none"> Areas of significant cracking that require partial demolition and rebuilding. Areas where cracking requires formation of an articulation joint. Areas where cracks can be sealed with a colour matched caulking or missing bricks can be inserted and repointed. 	#1 #2 #3	<ul style="list-style-type: none"> Support roof structure and deconstruct masonry walls that require partial rebuilding; rear corner of library and around right side entry to Memorial Hall. Where vertical cracking has occurred, cut 10mm wide articulation joints along line of cracks, insert foam backing rod and seal with colour matched polyurethane. Seal small cracks 4mm or less with colour matched polyurethane. 	\$59,136.00
Balcony waterproofing	<ul style="list-style-type: none"> Front balcony waterproofing and extension rail to balustrade to achieve compliance of 1000mm high. 	#1	<ul style="list-style-type: none"> Remove existing sheet membrane and screed. Improve size of drains to 90mmØ. Supply and install new screed and trafficable sheet membrane with adequate falls and upturn, with all details in accordance with AS 4654.2 	\$13,860.00



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Issue.	Description.	Priority.	Scope of works.	Cost estimate.
Floor repairs	<ul style="list-style-type: none"> Repair damage to kitchen floor and male toilet floor. 	#1	<ul style="list-style-type: none"> Remove existing floor covering. Replace damage flooring timbers and supply and fit new flooring to match existing finishes in strict accordance with relevant Australian Standards. 	\$27,256.00
Electrical	<ul style="list-style-type: none"> All electrical items listed in Austin Electrical report that are considered urgent. All other items listed in Austin Electrical report. 	<p>#1</p> <p>#2</p>	<ul style="list-style-type: none"> Replace recalled Eaton RCDs, tidy cabling that has bare cabling showing. Make safe all redundant cabling inside and outside. Remove lighting that is unsafe e.g. stage floor lighting, and any hanging lighting that is not properly fixed to structures. Remove lighting in water damaged areas. All redundant cabling be removed. Cabling to be replaced if any works are carried out. Light fitting to be replaced with suitable LED replacements. Extra GPO's in library due to power boards being currently used. Switchboards to be replaced and installed at heights that comply with AS3000. 	\$145,860.00
Plumbing, Drainage and sewerage.	<ul style="list-style-type: none"> The plumbing, drainage and sewerage services throughout the complex. Execute recommended maintenance and repairs as noted in the Beyond Plumbing report. 	#3	<ul style="list-style-type: none"> Conduct maintenance and repairs as noted in the report, although there is not much significant repairs to be done and the work is mostly maintenance, cleaning and repairs to stormwater lines and sewer lines. 	\$16,262.00



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Issue.	Description.	Priority.	Scope of works.	Cost estimate.
Asbestos	<ul style="list-style-type: none"> The Asbestos register report and the Asbestos management plan prepared by Keane Environmental identified mostly Low to Very Low risk of exposure. However, the asbestos materials will be disturbed by other during remediation works and therefore, should be removed prior to commencement of all other works. 	#1	<ul style="list-style-type: none"> The recommended actions are detailed in the asbestos register, however the asbestos material noted in the register must be removed prior to any refurbishment or demolition work commencing at the property. Remove and dispose of all asbestos materials in accordance with local government requirements and the Keane Asbestos Management Plan. 	\$65,049.00
Fire Safety	<ul style="list-style-type: none"> Refer to Item #5. Fire safety design assessment in the Warrington Fire – Fire Safety Design Advice report. 	#1	<ul style="list-style-type: none"> Since these recommendations affect the health and safety of the occupants and users of the Memorial Hall, they should be considered a priority. Conduct all recommended upgrades to fire exist doors, fire stairs, handrails and balustrades, door latch mechanisms, street fire hydrant reach issues for library, fire hose reel locations, fire extinguisher locations, exit and direction signage improvements, improvements to gallery seating spacing and balustrade height, and isle lighting requirements. Some of these items may require additional input from a fire engineer. 	\$114,048.00



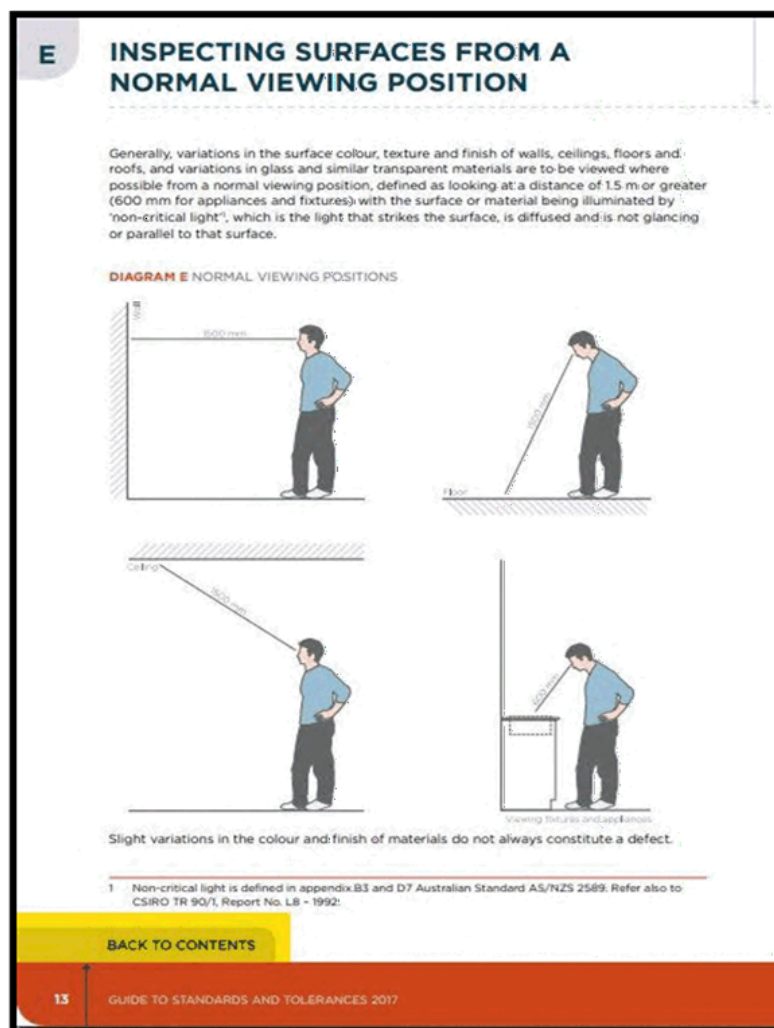
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Issue.	Description.	Priority.	Scope of works.	Cost estimate.
Plastering and Painting.	<ul style="list-style-type: none"> All walls, ceilings, cornice trims etc., that have suffered water damage throughout the complex. 	#2	<ul style="list-style-type: none"> Supply floor cover protection and dust covers as needed. Supply scaffolding for high ceiling areas. Ensure all archive items are covered and protected. Remove and replace damaged ceiling linings and cornice trims where required. Patch, sand and prepare all areas for painting. Supply and apply minimum two (2) coats of Interior wash and wear paint to all interior surfaces. Exterior painting, where required, to be coordinated with other exterior works. Clean all areas and dispose of debris. 	\$44,370.00
Timber flooring	<ul style="list-style-type: none"> Main memorial Hall 	#3	<ul style="list-style-type: none"> Replace any damaged timber floorboards with matching boards, as close as practicable. Sand and refinish all floorboard in Memorial Hall. 	\$29,568.00
TOTAL COST	Including 20% Builder's margin and 10% GST. Please Note: These are allowances and proper quotations should be sought.			\$1,061,825.00



3. Assessment (Methodology)

- 3.1 A digital camera was used to record images.
- 3.2 A measuring tool was used to measure the size and severity of cracks.
- 3.3 The assessment of items is based on careful visual examination of the Readily Accessible Areas of the property. The visual inspection was conducted in accordance with AS 4349.0 (Inspection of Buildings) and the Guide to Standards and Tolerances 2017 as shown in the following diagram:



4. Inspection Findings

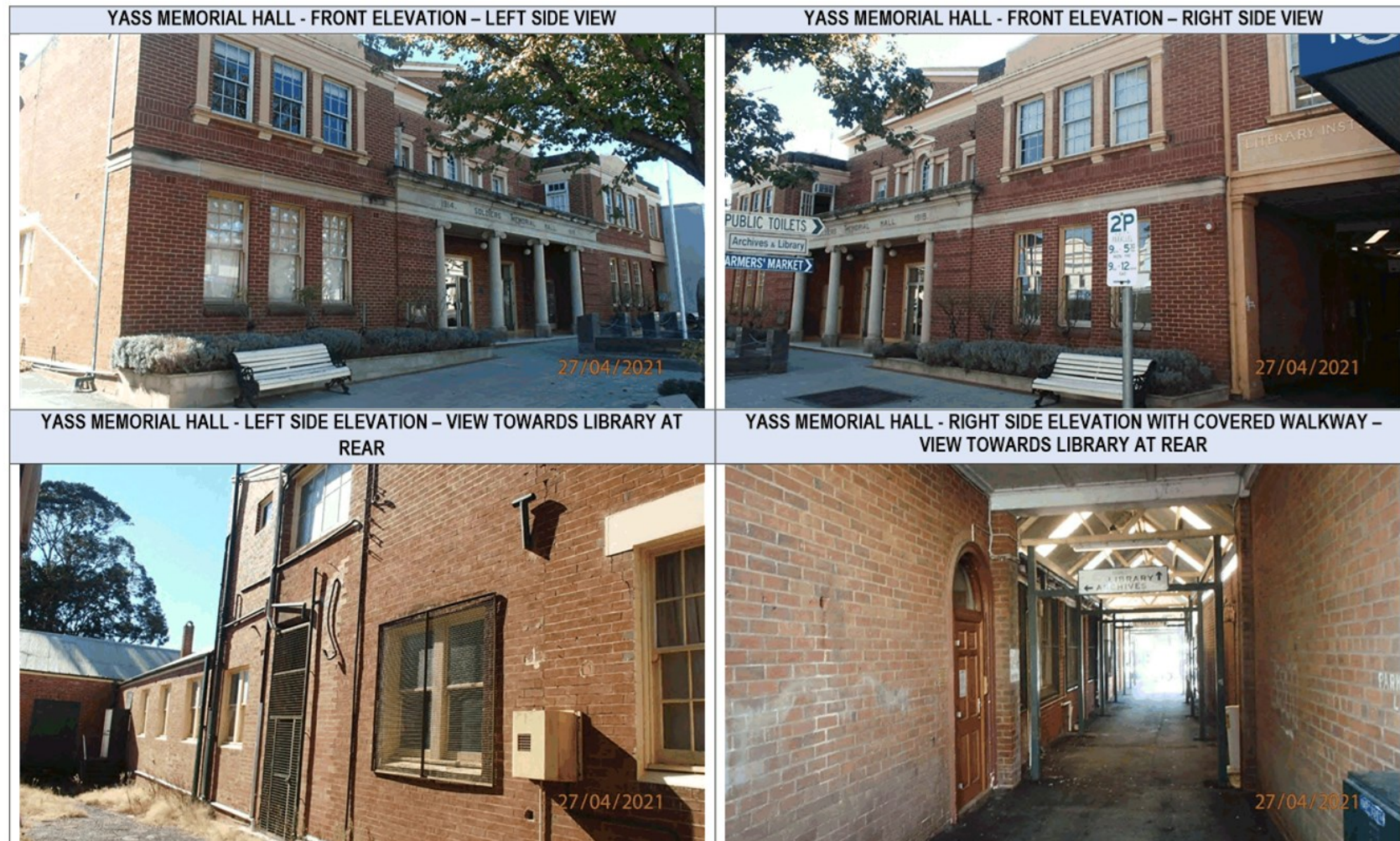
- 4.1 The following table defines items which were noted as defective or displaying cracking or any other form of damage at the time of the conducted inspection.
- 4.2 Areas of concern are underlined for easy reference, and generally require some remediation.



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Yass Memorial Hall





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YASS MEMORIAL HALL - RIGHT SIDE ELEVATION- VIEW OF COVERED WALKWAY



YASS MEMORIAL HALL - LEFT SIDE ELEVATION- VIEW FROM MAIN STREET



YASS MEMORIAL HALL - OVERVIEW OF FIRST FLOOR BALCONY - VIEW TO MAIN STREET



Library

LIBRARY - FRONT ELEVATION



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LIBRARY - RIGHT ELEVATION



LIBRARY - REAR ELEVATION – VIEW OF PUBLIC TOILET ACCESS



LIBRARY - LEFT REAR ELEVATION



Table 1: List of Findings





ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
1	First floor balcony above main entry to the Memorial Hall.	<p>The first-floor balcony above the main entry to the Memorial Hall measures 12.372m x 2.386m = 29.521m².</p> <p>The balcony consists of bituminous torch-on waterproof membrane burned up against the walls and the parapet approximately 150mm above balcony level which is reduced at doorways at either end to approximately 100mm and the doorway into the archive area has a step where the membrane upturn is approximately 20mm.</p> <p><u>There are sections of the balcony where sediment collects, which suggests inadequate falls in those areas.</u></p> <p>The balcony is serviced by two floor wastes with openings of approximately 60mm, which feed into ground PVC spigots, 90mm in diameter which then feeds into rectangular downpipes.</p> <p>A metal pressure flashing is fitted around the perimeter of the waterproofing upturn with nylon anchor fixings at approximately 320mm intervals.</p> <p>A digital level was used to measure gradient falls on the balcony which revealed slopes away from the doors and building envelope of approximately 23mm per metre, while areas where sediment watermarks can be seen have <u>falls of 3mm or less, which is consistent with the areas of ponding water.</u></p>	   



Table 1: List of Findings cont'd ...


ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
2	First floor balcony above main entry to the Memorial Hall.	<p>The sandstone balustrade measures at 850mm in height from the finished balcony level.</p> <p><u>The minimum required balustrade height is 1000mm and consideration should be given to fitting a sympathetic value straight extension rail in order to achieve compliance with current building code requirements.</u></p>	



Table 1: List of Findings cont'd ...

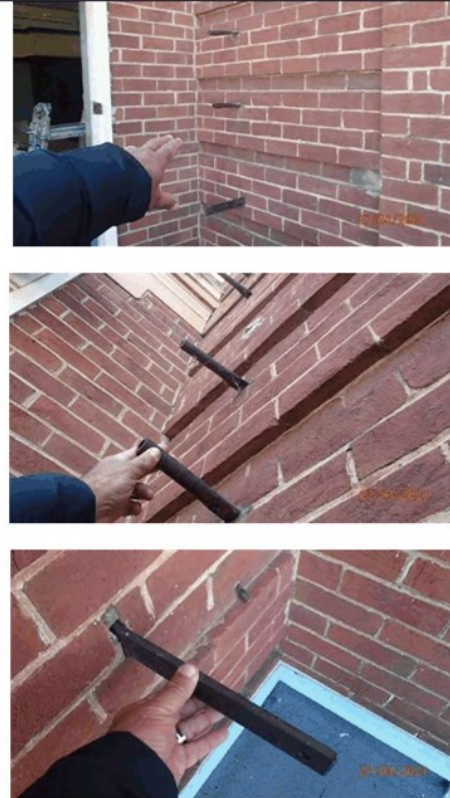
ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
FRONT EXTERIOR FAÇADE – BALCONY LEVEL			
3	Ends of first floor balcony.	<p>There are redundant embedded steel fixtures projecting from the brick façade at either end of the first floor balcony which appear to be remnants from previous roof access ladders.</p> <p><u>Consideration should be given to removal of these items which currently present as a potential safety hazard to anyone trafficking or working on the balcony.</u></p>	 <p>The image reference section contains three photographs. The top photo shows a hand pointing to a horizontal steel fixture embedded in a brick wall. The middle photo shows a hand holding a similar horizontal steel fixture. The bottom photo shows a hand holding a vertical steel fixture embedded in a brick wall. All three photos show the fixtures are redundant and project from the brickwork.</p>



Table 1: List of Findings cont'd ...



ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
4	Front façade, first floor balcony.	<p><u>Old, galvanised iron conduits/water pipes are surface mounted and not secured on the façade, and consideration should be given to removal.</u></p> <p><u>The electrical conduits that are surface mounted can also be seen which provide power for external power points and floodlights and consideration should be given to rerouting these, so they are not visible on the front elevation.</u></p>	 



Table 1: List of Findings cont'd ...


ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
5	Front façade, first floor balcony.	<u>The original light fixtures on the front façade show evidence of deterioration to the original timber mounting blocks and consideration should be given to salvaging the fixtures while sealing and upgrading the electrical wiring and mounting blocks.</u>	



Table 1: List of Findings cont'd ...



ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
6	Windows and doors facing first floor balcony.	<p><u>The external timber windows and doors facing the first-floor balcony present with weathering and deterioration to the paint finish and glazing party.</u></p> <p><u>These external timber elements could be treated holistically by stripping back old paint, conducting repairs and/or replacement of damaged timber elements and repainting for long-term protection.</u></p>	 



Table 1: List of Findings cont'd ...



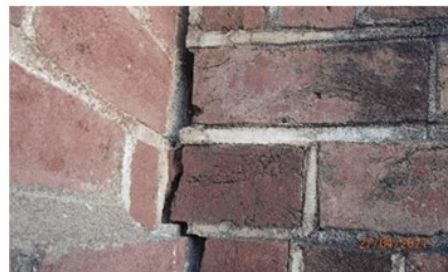

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
7	Right side wall at balcony level.	<p>The right-side wall projection at balcony level presents with movement cracks between perpendicular walls, which was measured at approximately 12mm at the top of the wall (parapet level).</p> <p>The left side wall projection also displays some movement and cracking, along with previous patching, although it is not as significant as that observed on the right side.</p> <p>The crack width indicates the cracking is classified as Category 3. The NSW Guide to Standards and Tolerances, Part 3.2 Damage to masonry walls (Refer to Table 3.02 On Page 24) states the following:</p> <p><i>"Category 3 or greater damage to walls is defective and requires investigation, stabilisation, monitoring and rectification work, which may include breaking out and replacing sections of the wall."</i></p> <p>Smaller cracks can be sealed with a colour matched polyurethane to prevent moisture entry and accommodate future movement.</p>	   



Table 1: List of Findings cont'd ...


ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
ROOF			
8	Roof, front left corner over the meeting room on the first-floor level of the archive area.	<p>These images are an overview of the roof over the meeting room on the first-floor level of the archive area at the front left corner of the building.</p> <p><u>The corrugated roof sheet, capping and flashing presents with gaps in multiple areas and the shallow gutters lack depth and overflow provisions.</u></p>	



Table 1: List of Findings cont'd ...








ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
9	Roof over the meeting room on the first-floor level of the archive area, front left corner of the building.	<p><u>The roof sheeting is corrugated iron, which presents with indentations, gaps at joints and around strip lead flashings.</u></p> <p><u>The box gutter design does not comply with current stormwater box gutter design requirements as it lacks depth and falls, along with non-compliant change of direction to main drainage points and a lack of any overflow provisions.</u></p> <p><u>There are also extensive loose or missing screws, some which have been replaced with new roofing screws.</u></p> <p><u>There are four makeshift roof safety anchor points visible on this section of roof which would not meet current roof safety standard requirements.</u></p> <p><u>Removal and replacement of the roof sheeting, flashing, capping and gutters is recommended, along with overflow improvements.</u></p>	      



Table 1: List of Findings cont'd ...





ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
10	Masonry parapet walls either side of valley gutter of the corrugated roofs at the front left corner of the building .	<p><u>There is evidence of cracking to the masonry parapet walls at either end of the valley gutter.</u></p> <p><u>This cracking extends the full height of the wall on the left side elevation and consideration should be given to providing an articulation joint in these areas.</u></p> <p>The crack width indicates the cracking is classified as Category 3. The NSW Guide to Standards and Tolerances, Part 3.2 Damage to masonry walls (Refer to Table 3.02 On Page 24) states the following;</p> <p><i>"Category 3 or greater damage to walls is defective and requires investigation, stabilisation, monitoring and rectification work, which may include breaking out and replacing sections of the wall."</i></p> 	  



Table 1: List of Findings cont'd ...


ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
11	Original cement into the parapet walls either side of valley gutter at the front left corner of the building .	<p>The original cement into the parapet walls has deteriorated and cracked in most areas leaving previously embedded flashings exposed and now present with gaps and potential bypass leaks.</p> <p>Without the cement into the parapet walls, water is then absorbed into the brickwork creating further deterioration.</p>	



Table 1: List of Findings cont'd ...



ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
12	Small roof, left side of building.	<u>The small roof on the left side of the building behind the meeting room also presents with similar defects are noted to the roof sheeting and flashing, with gaps, indentation and loose screws.</u>	 



Table 1: List of Findings cont'd ...






ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
13	Corrugated roof over the archives and Memorial Hall mezzanine seating level.	<p>These images are an overview of the corrugated roof over the archive and Memorial Hall mezzanine seating level.</p> <p><u>This roof also presents with roofing screw issues and sagging in the roof due to damaged roof batten below and flashing issues around the roof and box gutter.</u></p> <p>See below for further images.</p>	



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
14	Box guttering, corrugated roof over the archives and Memorial Hall mezzanine seating level.	<p>The box gutter servicing this roof has been replaced in the past, although there are still visible defects, gaps and fixing issues with the adjoining parapet flashing near the box gutter and around the perimeter of the roof.</p> 	  



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Table 1: List of Findings cont'd ...


ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
15	Corrugated roof over the archives and Memorial Hall mezzanine seating level.	<p><u>A section of the roof presents with movement underfoot, suggesting there may be cracking to the structure below.</u></p> <p><u>This area requires maintenance, repairs and stiffening.</u></p>	



Table 1: List of Findings cont'd ...



ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
16	Box gutter, corrugated roof over the archives and Memorial Hall mezzanine seating level.	<p>The box gutter is serviced by two main drainage points at either end of the roof which flow into rainwater heads on the other side of the parapet which then discharge onto roof valleys and roofs below.</p> <p>Every downstream overflow, rainwater head and downpipe is accepting more and more capacity from a larger roof area. Accordingly, these items need to increase in size in order to accept more consolidated roof areas, gutters and overall total water catchment.</p>	 



Table 1: List of Findings cont'd ...



ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
17	Adjoining roof parapet over the main Memorial Hall.	<p>This image illustrates timber louvres built into the adjoining roof parapet which provides roof ventilation over the main Memorial Hall.</p> <p><u>The timber louvres presents with weathering and deterioration which requires maintenance, repairs and repainting for long-term protection.</u></p>	
18	Pitched corrugated roof over the archive offices below, front right corner of the building.	<p>This image is an overview of the pitched corrugated roof over the archive offices below, front right corner of the building.</p> <p><u>This roof area suffers from significant leakage into the offices below and replacement of the roof sheeting, capping, flashing and guttering should be considered.</u></p>	





Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
19	Pitched corrugated roof over the archive offices below, front right corner of the building.	<p>The roof sheeting in this area also presents with gaps along sheet joints, loose roof fixings along with gaps around the perimeter flashing, which correspond with leakage marks to the ceiling of the rooms below.</p> <p>Removal and replacement of all the roof sheeting is recommended along with new flashing around the perimeter of the roof.</p>	   



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
19	Pitched corrugated roof, covered link, right-hand side of Memorial Hall building.	<p>This image is an overview of the pitched corrugated roof and covered link roof on the right-hand side of the building.</p> <p><u>This section of roof also presents with loose roof sheets fixing, indentation to roof sheeting, gaps between roof sheets, joints, visible gaps and defects to the apron flashing.</u></p>	
20	Pitched corrugated roof, covered link, right-hand side of building, Memorial Hall under discharge joint for the roof gutter.	<p><u>This image illustrates a makeshift patch of roof sheeting adjoining the original stepped apron flashing which has not been installed correctly and secured with screws, which are not proper roofing screws and have been sealed with sealant. It is located underneath the discharge point for the roof gutter above which corresponds with previous leakage below.</u></p>	



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Table 1: List of Findings cont'd ...


ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
21	Pitched corrugated roof, covered link, right-hand side of Memorial Hall building.	<u>This image illustrates loose roof sheeting over the same section of roof as shown in the images above.</u>	



Table 1: List of Findings cont'd ...




ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
22	Annex 1 - Pitched roofs right side of the main Memorial Hall.	<u>The pitched roofs on the right side of the main Memorial Hall are serviced by a box gutter which presents with areas of inadequate fall, significant cracking and deterioration to adjoining windows sill flashing and numerous potential bypass leakage points at the junction of the roof sheeting and gutter itself, where significant gaps between sheets are visible.</u>	  



Table 1: List of Findings cont'd ...






ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
23	Upper level windows, main Memorial Hall.	<u>The upper level windows of the main Memorial Hall present with significant weathering and deterioration which requires significant maintenance and repairs, and painting for long-term protection.</u>	 



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
24	Timber fascia and gutters, main Memorial Hall.	<p><u>The timber fascia on the edge of the main Memorial Hall roof presents with significant weathering and deterioration from numerous gutter leakage points.</u></p> <p><u>Consideration should be given to replacement of this section of fascia with a more durable colorbond fascia trim.</u></p> <p><u>The roof gutters themselves present with leakage sagging and consideration should be given to replacement.</u></p>	  



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Table 1: List of Findings cont'd ...


ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
25	Small skillion roof over male toilets right of the stage in the memorial hall.	<u>The small skillion roof over the male toilets on the right-hand side of the Memorial Hall building, presents with loose screw fixing, indentation to sheeting and gaps between sheeting.</u> (See also Item # 32, page 45 of this report).	



Table 1: List of Findings cont'd ...



ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
26	Main Memorial Hall, pitched roof.	<p><u>These are overview images of the main Memorial Hall pitched roof, which presents with the same defects as other corrugated pitched roofs.</u></p> <p><u>One of the roof vents is not secured properly and tends to lean over creating gaps around the surrounding flashing, creating potential bypass leakage points.</u></p> <p><u>The area below this exhaust shows water marks to the ceiling lining and staining to the floorboards within the Memorial hall.</u></p>	 



Table 1: List of Findings cont'd ...


ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
27	Roof over the archive and mezzanine floor level of Memorial Hall.	<p>The roof gutter discharge into the rainwater head from the roof over the archive and mezzanine floor level of Memorial hall does not have adequate fall and allows moisture to build up creating a leak past the underside of the gutter via capillary action.</p> <p>This, along with most other box gutters require reconfiguration to improve falls, provide additional overflows and improve the main discharge points along with the receiving rainwater heads.</p>	



Table 1: List of Findings cont'd ...

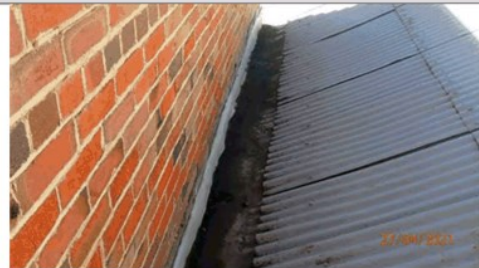


ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
28	Main Memorial Hall roof.	<u>The main Memorial Hall roof is pitched towards an adjoining brick wall, which is serviced by a box gutter that presents with cracking to the joining apron flashing, along with gaps to the adjoining sheeting which corresponds with the leakage evidenced to the ceiling below.</u>	  



Table 1: List of Findings cont'd ...



ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
29	Annex 2 - Pitched corrugated roof, left-hand side of main Memorial Hall roof.	<u>The pitched corrugated roof on the left-hand side of the Memorial Hall main roof (marked as Annex 2 on the floor plans) presents with the same gutter, flashing, fascia and window deterioration issues.</u>	 



Table 1: List of Findings cont'd ...





ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
30	Flat metal deck roof over storage facility left rear of memorial hall.	<u>The flat metal deck roof over the storage facility at the rear of the library presents with surface corrosion, loose screw fixings with roofing sheets and gaps between sheet joints which are all potential bypass leakage points which require additional maintenance and repairs.</u>	   



Table 1: List of Findings cont'd ...





ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
31	Junction between flat metal deck roof and pitched corrugated roof over library. Left rear of memorial hall.	<p><u>The junction between the flat metal deck roof and the pitched corrugated roof over the library presents with loose roofing sheets and gaps that are potential bypass leakage points.</u></p> <p><u>Consideration should be given to introducing an additional apron flashing between the junction of the two roofs to eliminate any potential leakage points.</u></p>	 



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
32	Small skillion roof over the male toilets right of the hall stage .	<u>The small skillion roof over the male toilets to the right of the main stage presents with surface corrosion, gaps to the roof sheeting, loose roof sheeting fixings, and potential leakage issues around the sheeting below the small spreader servicing the roof above.</u>	 



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Table 1: List of Findings cont'd ...


ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
33	Skillion roof between Memorial Hall roof and library.	<p><u>The timber fascia for the skillion roof between the main Memorial Hall roof and the library roof presents with weathering and deterioration.</u></p> <p><u>This has exposed roof framing, suffering weathering and has created holes for entry by birds, possums and rodents.</u></p>	



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
34	Right rear corner joining metal deck roof running between library and brick structure at end of Memorial Hall.	<u>The metal deck roof that runs between the library roof and the brick structure at the end of the main Memorial Hall, presents with gaps and deterioration to the cut-in reglet flashing exposing gaps to the upturned section of the metal deck roof.</u>	 



Table 1: List of Findings cont'd ...


ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
35	Library roof, entry at rear of building.	<p>These images illustrate the condition of the library roof in the pitched and skillion areas over the library entry at the rear of the building. The roof itself is generally in reasonable condition, although there is evidence of loose screw fixings, gaps between roof sheets, gaps between joints in the ridge capping and a cowl is missing to one of the vent pipes as well as inadequate penetration flashing.</p> <p>The overall condition appears to be reasonable, although maintenance is required.</p> <p>If roof replacement is carried out to the Memorial Hall, I would also recommend replacement of the library roof sheeting and associated cappings and flashings as well.</p> 	  



Table 1: List of Findings cont'd ...



ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
36	Skillion roof, rear end of main Memorial Hall.	<u>The skillion roof at the rear end of the main Memorial Hall shows evidence of loose screw fixings, gaps between sheets and surface corrosion in some areas.</u>	 



Table 1: List of Findings cont'd ...


ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
37	Skillion roof, rear end of main Memorial Hall.	<p><u>The cut-in lead apron reglet has been deliberately cut in some areas, which reduces the effective overlap and coverage from the flashing to the upturn of the metal deck roof against the adjoining brick wall.</u></p> <p><u>Removal and replacement of the lead reglet flashing is recommended along the entire length of the building.</u></p>	



Table 1: List of Findings cont'd ...



ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
38	Skillion roof, rear end of main Memorial Hall.	<p>The square penetrations in the metal deck roof are fitted with quad gutters around the perimeter which show evidence of debris buildup, absent joints and other minor alignment and sagging defects.</p> <p>Consideration should be given to removal and replacement of these gutters with new gutters with slotted overflow to the front to prevent potential overflowing of the gutter back into the building and roof areas.</p> <p>These penetrations extend down to subfloor level, where they are accessible through openings in the base brickwork. Moisture accumulating at the base of these shafts is affecting sections of masonry wall in the library.</p>	 



Table 1: List of Findings cont'd ...


ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
39	Left rear corner of the main Memorial Hall roof.	<p>The downpipe at the left rear corner of the main Memorial Hall roof shows evidence of deterioration to the downpipe timber fixing blocks along with damage and deterioration to the timber fascia corner allowing weathering of roof elements.</p> <p>Maintenance is required to the roof flashing, timber fascia and downpipe support in this area.</p>	



Table 1: List of Findings cont'd ...


ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
40	Junction between pitched corrugated roof and left-hand side of the main Memorial Hall roof.	<p><u>The junction between the pitched corrugated roof and on the left-hand side of the main Memorial Hall roof serviced by a box gutter with perimeter flashing to the windowsills and walls displays cracking and deterioration in several areas.</u></p> <p><u>The windows joining the roof and gutter in this area also show evidence of weathering and deterioration.</u></p> <p><u>Maintenance and repairs along with painting is required for long-term protection.</u></p>	



Table 1: List of Findings cont'd ...





ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
EXTERIOR FAÇADE			
41	Double doors servicing storage room for library.	<p>The external double doors servicing the storage room for the library on the left rear corner of the building presents with weathering and deterioration of the overhead panel, doorjamb and bottom of the left-hand side door.</p> <p><u>Repairs and maintenance along with additional painting is required for long-term protection.</u></p>	   



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
42	Exterior double doors servicing Annex 2, left rear side of main Memorial Hall.	<p>The exterior double doors servicing Annex 2 on the left rear side of the main Memorial Hall presents with significant weathering and deterioration of the overhead panel and both doors, which includes water damage and delamination.</p> <p><u>Consideration should be given to removal and replacement of the weathered and damaged doors along with overhead panel.</u></p>	   



Table 1: List of Findings cont'd ...









ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
43	Steel staircase servicing double doors for Annex 2, left-hand side of Memorial Hall.	<p>The steel staircase servicing the double doors for Annex 2 to the left side of the Memorial Hall present with some non-compliance issues.</p> <p>The bottom step measures at approximately 300mm above ground level, while the remaining steps are approximately 180mm. The height of the landing is 1250mm above ground level and the perimeter handrail is 910mm above the landing, which does not comply with current code requirements of 1000mm high and with no openings greater than 125mm in width.</p> <p>A removable section of handrail is poorly fitted and misaligned and presents as a potential hazard for hand injury.</p> <p>The junction of the steel landing with the brickwork presents with several holes in the brickwork (3x) which should be sealed to prevent moisture and pest entry.</p> <p><u>The steel handrail requires modification to achieve compliance with current code requirements and the bottom step requires modification at ground level to include a concrete landing and ensuring the first step is the same height as the remaining steps on the stair.</u></p>	       



Table 1: List of Findings cont'd ...



ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
44	Timber windows servicing Annex 2, left-hand side of building Memorial Hall.	<p>The timber windows servicing the Annex 2 to the left side of the building presents with weathering and deterioration and additional patching, repairs and painting are required for long-term protection.</p> <p>The same weathering deterioration can also be observed to the windows servicing the male toilet facilities adjacent to Annex 2.</p>	 



Table 1: List of Findings cont'd ...


ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
45	External wall, Youth Centre office, left-hand side of building Memorial Hall.	<p>These images illustrate redundant electrical services conduits on the external wall of the Youth Centre office on the left-hand side of the building.</p> <p><u>Confirmation by the licensed electrician regarding any redundant services should be made and removal of the services should be executed along with any external wall patching and painting required.</u></p>	



Table 1: List of Findings cont'd ...



ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
46	Masonry wall, left-hand side of Youth Centre offices.	Cracking to masonry wall on the left-hand side of the Youth Centre offices (above used centre offices) which extends from the parapet to the full height of the first floor level in line with the rainwater head and downpipe. <u>An articulation joints in this location is advisable, to be filled with a foam backing rod and colour matched caulking.</u>	 A photograph showing a vertical crack in a red brick masonry wall. A green downpipe runs vertically along the crack. The crack extends from the parapet down to the first floor level. A date stamp '28/04/2021' is visible in the bottom right corner.
47	Masonry wall, top left corner window servicing the Youth Centre offices.	Cracking to the masonry wall at the top left corner of the windows servicing the Youth Centre offices extends from the concrete lintel through six courses of brickwork below. The crack appears to be approximately 8mm or less and is as a result of differential movement between the masonry work and the concrete lintel above. <u>This cracking should be sealed with colour matched caulking.</u>	 A photograph showing a vertical crack in a red brick masonry wall. The crack starts at the top left corner of a window, extending upwards through the concrete lintel and down through six courses of brickwork. A date stamp '28/04/2021' is visible in the bottom right corner.



Table 1: List of Findings cont'd ...


ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
48	Masonry wall, left-hand side of Youth Centre offices.	<p>These images illustrate holes in the masonry wall on the left-hand side of the Youth Centre offices which should be sealed to prevent moisture entry and pest entry.</p> <p><u>There was also isolated evidence of brick fret observed which should be filled and patched.</u></p>	



Table 1: List of Findings cont'd ...





ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
49	Timber windows, left-hand side of Youth Centre offices.	<p><u>These images illustrate the weathering and deterioration to the timber windows on the left-hand side of the Youth Centre offices, which require patching and painting for long-term protection.</u></p> 	  



Table 1: List of Findings cont'd ...



ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
50	Front left corner of building Memorial Hall.	<u>Cracking to the cement wall corbelling at the front left corner of the building, which requires patching and repair.</u>	
51	Front left corner of building Memorial Hall.	<p>Stepped cracking along mortar joints in the masonry wall at the front left corner of the building emanating from the brick windowsill servicing the Youth Centre office and stepping down 10 courses of brickwork to DPC level.</p> <p><u>This is not considered serious or unusual, though patching to the cracking with colour matched mortar is recommended.</u></p>	



Table 1: List of Findings cont'd ...


ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
52	Masonry brickwork, window at front of Memorial Hall.	<p>There is evidence of cracking to the masonry brickwork below the window at the front of the building, servicing the Youth Centre offices which extends from the windowsill down to DPC level.</p> <p><u>There is also evidence of gaps and deterioration to the mortar around the brick sill, both which requires patching with colour matched caulking and cement.</u></p>	



Table 1: List of Findings cont'd ...


ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
53	Upper level windows, front left corner of Memorial Hall.	The upper-level windows at the front left corner of the building display evidence of weathering and deterioration, <u>which requires patching and repairs along with painting for long-term protection.</u>	



Table 1: List of Findings cont'd ...



ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
54	Lower-level windows, left corner Memorial Hall.	<p>The lower-level windows at the front left corner of the building servicing the Youth Centre offices are in reasonably good condition, although weathering can be seen to the timber elements.</p> <p><u>Additional protective painting is required for long-term protection.</u></p>	
55	Left downpipe, first-floor balcony, Memorial Hall.	<p>The downpipe servicing the first-floor balcony on the left-hand side of the building displays evidence of leakage.</p> <p>The joint of the downpipe and tapping of the downpipe itself reveals potential blockage to the downpipe in this area.</p> <p><u>Additional clearing may be required.</u></p>	



Table 1: List of Findings cont'd ...


ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
56	First-floor balcony soffit, Memorial Hall.	<p>The soffit to the underside of the first-floor balcony displays evidence of water damage to the third left panel of the soffit, which suggests failure of the waterproofing membrane in this area.</p> <p><u>A full refurbishment of the balcony waterproofing is recommended along with the required patching and repairs to the soffit lining, along with additional painting.</u></p>	



Table 1: List of Findings cont'd ...


ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
57	First-floor balcony soffit, Memorial Hall.	<p>The soffit lining around the right-hand side downpipe servicing the first-floor balcony displays evidence of water damage, suggesting failure of the waterproofing in this area.</p> <p><u>A full refurbishment of the balcony waterproofing along with necessary repairs and painting to the soffit is recommended.</u></p>	



Table 1: List of Findings cont'd ...


ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
58	First-floor balcony downpipe, Memorial Hall.	<p>The downpipe servicing the balcony on the right-hand side has been modified and redirected to discharge onto the pavement at the front entry to the Memorial Hall.</p> <p><u>Consideration should be given to clearing of the original stormwater line and reconnection of the downpipe to the stormwater line to prevent potential winter slip hazards being created to the public common areas at the front of the building.</u></p>	



Table 1: List of Findings cont'd ...


ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
59	Masonry wall above doorway, Memorial Hall.	<p>There is visible cracking to the brick masonry above the doorway</p> <p>The crack emanates from the right-hand side of the main entry and then extends from the brick lintel diagonally towards the downpipe on the right-hand side.</p> <p><u>Cracking appears to be approximately 8mm or less and requires patching with colour matched mortar and caulking.</u></p>	



Table 1: List of Findings cont'd ...


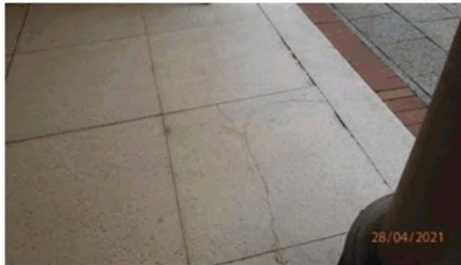


ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
60	Front entry, Memorial Hall.	<p>These images illustrate cracking to the Terrazzo pavement at the front entry to the Memorial Hall with cracks generally being 1mm or less.</p> <p><u>Replacement of the cracked Terrazzo panels is recommended.</u></p>	   



Table 1: List of Findings cont'd ...


ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
61	Main entry, Memorial Hall.	<p>The sandstone wall corbelling above the main entry to the Memorial Hall displays evidence of watermark staining, cracking and chipping across the full length of the main entry.</p> <p><u>Consideration should be given to cleaning, patching and sealing of the sandstone, which may require application of a unifying finish across the surface for a consistent presentation and long-term protection.</u></p>	



Table 1: List of Findings cont'd ...


ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
62	Upper-level windows, right front façade, Memorial Hall.	<p>The upper-level windows on the right-hand side of the front façade, servicing the archive area presents with weathering and deterioration, which requires patching, repair and painting for long-term protection.</p> <p><u>Visible cracking to the cement wall corbelling decorative columns between the windows also requires patching and repainting.</u></p>	



Table 1: List of Findings cont'd ...


ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
63	Front right façade, double hung windows.	<u>The timber double hung windows at the bottom level right-hand side of the front façade appear to have been replaced, although additional refinishing or repainting is required for long-term protection and to provide a uniform appearance with other original windows.</u>	



Table 1: List of Findings cont'd ...


ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
64	Base brickwork, front right, Memorial Hall.	<p>The base brickwork at the front right corner of the building presents with deterioration to the mortar across the façade in this area. It is generally caused by moisture absorption along with the freeze and thaw effect of the molecules causing expansion of the water molecule and deterioration of the mortar.</p> <p><u>Repointing with colour matched mortar is recommended.</u></p>	



Table 1: List of Findings cont'd ...


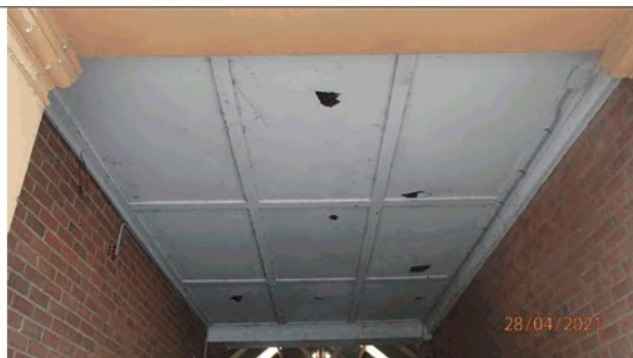
ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
65	Front right façade, masonry wall.	<p>This image illustrates cracking to the masonry walls between the upper and lower-level windows at the front right façade.</p> <p><u>Consideration should be given to patching and repair of the mortar along with sealing of cracked bricks with colour matched caulking to provide weathering protection.</u></p>	 A photograph showing a close-up of a red brick masonry wall. A horizontal white pipe or downspout runs across the middle of the frame. There is visible vertical cracking in the mortar joints between the upper and lower levels of windows. A date stamp '28/04/2021' is visible in the bottom right corner.
66	Soffit, public walkway.	<p>The soffit lining of the public walkway link for at the front right side of the building, presents with damage and cracking. It should be understood this lining material is likely to be bonded asbestos.</p> <p><u>Consideration should be given to removal and replacement with fibre cement and matching timber trims, to be painted to match existing.</u></p>	 A photograph looking up at the underside of a concrete or metal soffit structure. The surface is grey and shows signs of wear, including small holes and cracks. The structure is supported by metal brackets. A date stamp '28/04/2021' is visible in the bottom right corner.



Table 1: List of Findings cont'd ...




ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
67	Masonry wall, right of Memorial Hall.	<p>The masonry wall on the right-hand side of the building, adjoining the public walkway presents with deterioration to the mortar along with holes in the masonry.</p> <p><u>Repointing of the mortar and patching of the holes is recommended.</u></p>	  



Table 1: List of Findings cont'd ...


ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
68	Entry door, archive rooms, ground level.	<p>There is evidence of cracking to the masonry wall arch around the entry door to the archive rooms at ground level.</p> <p>The cracking appears to be approximately 10mm or less, starting from the soffit lining extending around the brick arch then radiating through 14 courses of brickwork below the arch into a diminishing fashion.</p> <p><u>Engineering advice is required as to the best method of repair which may entail partial demolition and rebuilding of the brickwork in this area.</u></p>	



Table 1: List of Findings cont'd ...


ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
69	Right of Memorial Hall, adjoining public walkways and library.	<p>The external brickwork on the right-hand side of the Memorial Hall, adjoining the public walkway and library, displays evidence of deterioration to the mortar joints along the full length of the wall. Deterioration is caused by moisture absorption being exacerbated by the freeze and thaw effect causing molecules to expand and deteriorate the mortar.</p> <p><u>Repointing of the mortar in a colour matched cement is recommended.</u></p>	



Table 1: List of Findings cont'd ...



ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
70	Right of Memorial Hall, public walkways and library.	<p>There is partial encroachment of the subfloor vents on the right-hand side of the Memorial Hall building, along the public walkway towards the library, however, since this area is covered, it is unlikely this section will be exposed to any direct rain or surface water. There appeared to be adequate subfloor vents in other areas, and I do not consider this a significant issue.</p> <p><u>The downpipe vent servicing the pitched corrugated roof along the walkway discharges onto the ground, which may create slippery conditions and consideration should be given to forming a spoon drain along the length of the wall to control surface water and stormwater being discharged from the roof.</u></p>	 



Table 1: List of Findings cont'd ...


ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
71	Timber windows, right of Memorial Hall adjoining public walkway and library.	<p>The timber windows along the right-hand side of the building, adjoining the public walkway towards the library, appear to be in reasonably good condition, as they are not exposed to significant weathering.</p> <p><u>These windows are covered with security screens, which makes access to periodic maintenance painting difficult.</u></p>	



Table 1: List of Findings cont'd ...


ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
72	Masonry wall, rear right corner, Memorial Hall adjoining public walkway and library.	<p>These images illustrate cracking to the masonry wall at the right rear corner of the Memorial Hall, adjoining the public walkway towards the library.</p> <p>This cracking appears to be approximately 8mm or less and extends from the top through 12 courses of brickwork to the walkway below.</p> <p><u>Additional repointing of colour matched mortar and caulking to cracked bricks is recommended.</u></p>	



Table 1: List of Findings cont'd ...

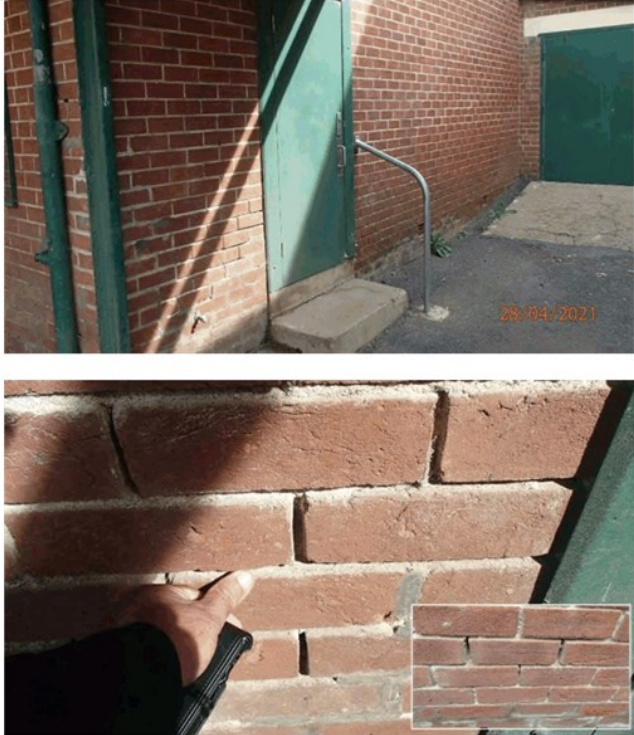
ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
73	Kitchen rear, right of Memorial Hall.	<p>These images illustrate the brickwork of the wall at the rear of the kitchen on the right-hand side of the Memorial Hall.</p> <p><u>There is visible deterioration to the brickwork mortar in this area and repointing in colour matched mortar is recommended.</u></p>	



Table 1: List of Findings cont'd ...


ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
74	Gable end fascia and soffit trim, kitchen annex.	<p>The gable end fascia and soffit trims to the kitchen annex, adjoining the Memorial Hall on the right-hand side show evidence of weathering and water damage.</p> <p><u>Maintenance, repairs and repainting for long-term protection is required.</u></p>	



Table 1: List of Findings cont'd ...



ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
75	Service doors, right Memorial Hall.	<p>The service doors on the right-hand side of the Memorial Hall presents with water damage to the left-hand side door along with deterioration to the paint finish on the doorjamb.</p> <p>Replacement of the damaged door, along with additional maintenance, repairs and painting to the doorjamb's is recommended.</p> <p><u>Consideration should also be given to fitting a protective cover flashing trim at the head of the door and a weather strip at the base of the doors.</u></p>	 



Table 1: List of Findings cont'd ...



ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
76	Original external door, male toilets, right of Memorial Hall.	<p>These images illustrate an original external door to the male toilets on the right-hand side of the Memorial Hall stage, which has had the landing removed, resulting in penetrations in the brickwork.</p> <p>Consideration should be given to patching all penetrations in the brickwork to prevent moisture, and pest entry.</p> <p><u>Since there is no landing on the outside of the door the door should be locked permanently or removal of the door and bricking up of the opening is recommended.</u></p>	 



Table 1: List of Findings cont'd ...



ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
77	Above, male toilets, right of Memorial Hall.	<p>These images illustrate water damage to the timber fascia with watermarks and staining to the adjoining brickwork resulting from leakage from the roof gutter over the male toilets facilities on the right-hand side of the Memorial Hall stage.</p> <p>The roof in this area was noted to have significant defects and consideration should be given to replacement of the entire roof sheeting along with timber fascia and new guttering.</p> <p><u>Additional cleaning to the brickwork is recommended.</u></p>	



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
78	Covered walkway, right of Memorial Hall leading to Library.	<p><u>There is visible damage to the gable and lattice screening of the covered walkway linked to the right-hand side of the Memorial Hall leading to the library.</u></p> <p><u>There is also evidence that the roof gutter on the right-hand side of the covered link has sagged.</u></p> <p><u>Adjustment to the roof gutter and support brackets is required.</u></p>	



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Table 1: List of Findings cont'd ...


ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
79	Roof extending from Library to kitchen annex.	<p>The roof guttering servicing the roof extending from the public library to the kitchen annex displays evidence of deformation and damage.</p> <p><u>Consideration should be given to replacement of that section of guttering, along with improvements to the support brackets.</u></p>	



Table 1: List of Findings cont'd ...


ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
80	Roof guttering, front public toilet facilities.	<p>The roof gutter at the front of the public toilet facility displays evidence of misalignment and leakage at the gutter joints, with excessive debris within the gutter itself.</p> <p><u>Consideration should be given to realignment of the gutter and support brackets along with periodic cleaning to remove debris and the potential for overflowing.</u></p>	



Table 1: List of Findings cont'd ...



ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
81	Masonry wall of office area adjoining Library.	<p>This image illustrates previous patching to the masonry wall of the office area adjoining the public library, which appears to be a result of previous vehicle impact damage.</p> <p><u>Consideration should be given to additional protective metal bollards and guard rail against the wall to prevent re-occurrence of vehicle impact.</u></p>	
82	Timber fascia, junction Library office and wall junction.	<p>The timber fascia at the junction of the public library office and public library wall junction presents with damage.</p> <p><u>Consideration should be given to replacement of a section of the fascia to conceal the existing hole along with securing any loose bricks in that area to prevent water and pest entry.</u></p>	



Table 1: List of Findings cont'd ...



ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
83	Service doors, rear of Library.	<u>The service doors at the rear of the public library present with weathering and deterioration and additional patching, and painting is required for long-term protection.</u>	
84	PVC rainwater head, rear of Library.	<u>The PVC rainwater head at the rear of the public library presents with damage and consideration should be given to replacement of the rainwater head.</u>	



Table 1: List of Findings cont'd ...


ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
85	Masonry wall above service door, rear of Library.	This image illustrates cracking to the masonry wall above the service door at the rear of the public library, with cracks presenting as approximately 6mm or less, and <u>consideration should be given to patching with colour matched mortar or caulking as required.</u>	



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
86	Steel steps and landing service second service door, rear left of Library.	<p>The steel steps and landing servicing the second service door at the left rear corner of the public library displays some non-compliance issues with current building codes.</p> <p>The bottom step is approximately 325mm which is considered excessive, and consideration should be given to fitting an additional raised concrete step to make the riser heights even.</p> <p>The landing is approximately 1100mm above ground level and the handrail is 900mm above the landing and does not meet current handrail designed requirements of gaps of less than 125mm, or the minimum height requirement of 1m.</p> <p><u>The steel staircase and landings are used as emergency exits, which is another reason for the riser heights of the stairs to be corrected at the bottom step and the handrails to be upgraded.</u></p>	   



Table 1: List of Findings cont'd ...


ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
87	Brickwork below steel landing, second service door, rear left of Library.	<p>There are holes in the brickwork below the steel landing servicing the second service door at the left rear corner of the library.</p> <p><u>Additional patching to the brick wall is required to prevent moisture, and pest entry.</u></p>	



Table 1: List of Findings cont'd ...






ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
88	Masonry wall, rear left of Library.	<p>There is visible cracking vertical stepping to the masonry wall at the left rear corner of the public library.</p> <p>These cracks present as approximately 12mm or less with vertical stepping of face alignment. The cracking can be seen on both sides of the corner which extends from the top right corner of the service door to the rainwater head at the rear of the library, and from the barge fascia to the top left corner of the window on the left-hand side of the library, which adjoins private property.</p> <p><u>Further investigation of the stormwater line in this area is recommended to determine if there are any cracks or breaks which may be discharging water into the soil around the corner of the building, which results in wetting and drying of the soil, and can result in seasonal settlement and cracking.</u></p> <p><u>Engineering advice is recommended as to the best method of repair.</u></p>	    



Table 1: List of Findings cont'd ...


ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
89	Masonry wall below window, rear left corner of Library.	<p>These images illustrate cracking below the window of the library at the left rear corner of the building which emanates from the windowsill and radiates downwards through 17 courses of brickwork and presents with cracks of approximately 4mm or less in width.</p> <p><u>Additional patching of the mortar and sealing of the cracked bricks with colour matched caulking is recommended.</u></p>	




Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
90	Double hung windows, rear left corner of Library.	<p>The timber double hung windows on the left-hand side of the library, with adjoining private property, presents with significant weathering and deterioration.</p> <p><u>Patching, repair and repainting is required for long-term protection.</u></p>	    



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
91	Masonry wall, left side façade.	<u>This image illustrates cracking to the masonry wall radiating from the top corners of the library windows on the left-hand side façade. The cracks appear to be approximately 3 mm or less and additional patching of the mortar and sealing of the cracked bricks with colour matched caulking is recommended.</u>	



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Table 1: List of Findings cont'd ...


ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
92	Subfloor vents, rear of Library.	<u>This image illustrates damaged subfloor vents and consideration should be given to removal and replacement with new matching vents.</u>	



Table 1: List of Findings cont'd ...



ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
INTERIOR – MEMORIAL HALL			
93	Female toilet facilities.	<p>The interior fixtures and finishes of the female toilet facilities on the left-hand side of the entry foyer to the Memorial Hall showed no obvious significant defects to the fixtures or finishes and no obvious leakage from the plumbing and drainage fixtures.</p> <p>The floor tiling showed no evidence of excessive cracking or lifting at the time of inspection.</p> <p>The small storeroom on the right-hand side of the main staircase was locked and not accessible at time of inspection.</p>	 



Table 1: List of Findings cont'd ...


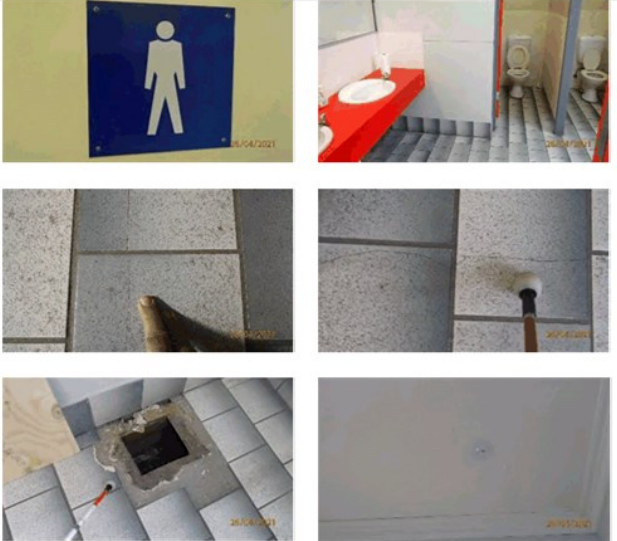
ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
94	Cleaner's storage room, beneath main foyer stairs.	<p>The cleaner's storage room beneath the main foyer stairs had no obvious structural faults, although not all areas could be inspected due to restricted access and vision from stored materials.</p> <p>There are three fire extinguishers stored in this room, one of which has a service tag which indicated it was last inspected in March 2020.</p> <p>An electrical distribution board DB 6 is located within the cleaner's room, which showed no obvious faults. The switches were tested and found to be active.</p>	



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
95	Male toilet facilities.	<p>The interior fixtures and finishes of the male toilet facilities on the left-hand side of the entry foyer to the Memorial Hall showed no obvious significant defects to the fixtures or finishes and no obvious leakage from the plumbing and drainage fixtures, and also the electrical items were functioning at the time of inspection.</p> <p>There was evidence of cracked tiling, with the cracking being in line which corresponds with the location of masonry walls adjacent, although the tiles did not appear to be loose or drummy at the time of inspection.</p> <p>A section of tiles adjacent to the urinal has been removed and the floor has been cut to provide a small access panel, although it is unclear why this was done. However, it does reveal that the tiling has been laid over the original timber floor, with fibro sheeting placed over the timber and then full notched trowel spread of adhesive, which is visible below the 150mm x 150mm tiles.</p> <p>There are minor cracking and peeling of the paint finish to the ceiling as well as minor cracking between the cornice trim and the ceiling lining, which require additional minor patching and painting.</p> <p><u>Repairs to the toilet floor are required and consideration should be given to replacement of the floor tiles throughout, along with new waterproofing.</u></p>	



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Table 1: List of Findings cont'd ...

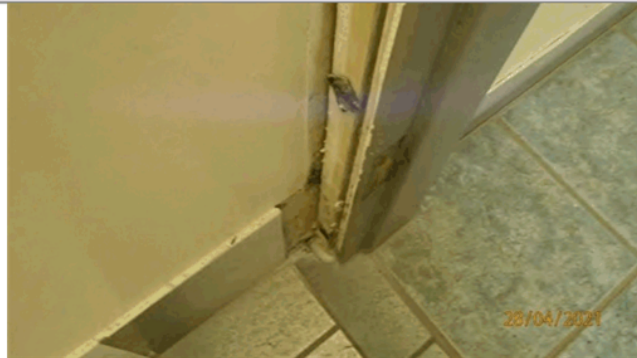
ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
96	Male toilet facilities.	<p>The timber architrave trim has been removed around the doorframe which was intended as an airlock entry to the male toilet.</p> <p><u>A small section of skirting tile has also been removed and it is unclear why this was done, although patching and repair and replacement of architrave is required.</u></p>	



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
97	Disabled toilet facilities.	<p>The disabled toilet facilities adjacent to the male toilets on the left-hand side of the main Memorial Hall showed no significant faults to the fixtures, or finishes. The plumbing and drainage fixtures were tested and found to be operable with no obvious signs of leakage.</p> <p>Electrical distribution board DB 2 is located in the cupboard within the disabled toilet, and the switches were tested with a voltage stick and found to be active. The light and fan function were both functioning at the time of inspection. <u>The door closer has been removed, and a new door closer should be fitted.</u></p>	 



Table 1: List of Findings cont'd ...

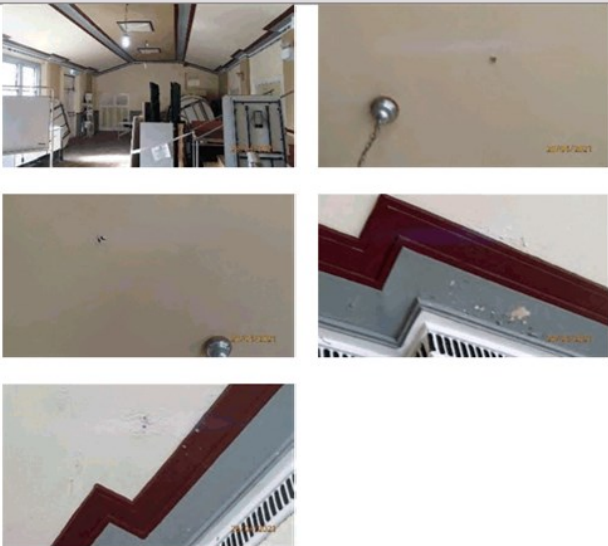
ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
98	Storage room, left-hand side of Memorial Hall.	<p>The storage annex for tables and chairs on the left-hand side of the main Memorial Hall showed evidence of minor water damage and staining to plasterboard ceilings below the ridgeline and along the right-hand side, which runs underneath the valley box gutter.</p> <p><u>Repairs to roof and gutter areas are required prior to patching and painting of the ceilings.</u></p> <p><u>The storage room area at the left rear corner of the annex was not accessible at the time of inspection.</u></p>	



Table 1: List of Findings cont'd ...





ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
99	Female dressing room and toilet facilities on the left-hand side of the Memorial Hall stage.	<p>The female dressing room and toilet facilities on the left-hand side of the Memorial Hall stage showed no significant faults to the fixtures, or finishes.</p> <p>The mosaic floor tiling did not present with any lifting or cracking at the time of inspection.</p> <p>The plumbing and drainage fixtures were tested and found to be operable.</p> <p>The lights were tested and found to be operable.</p> <p>The exit signage above exit doors was operable.</p> <p>The vinyl floor tiles in the dressing room area showed minor defects to isolated tiles but were generally in reasonable condition. <u>These damaged tiles should be replaced.</u></p> 	  



Table 1: List of Findings cont'd ...


ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
100	Main stage, left side and adjacent to female dressing room and toilet facilities.	There are two fire extinguishers adjacent to the female dressing room and toilet facilities, located on the left-hand side of the main stage. One is a water extinguisher and the other is a powder extinguisher. Both had service tags which indicated that the last inspection was carried out in March 2021.	   



Table 1: List of Findings cont'd ...





ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
101	Main stage, left side and adjacent to female dressing room and toilet facilities.	The electrical distribution board's numbered 4 and 5 are located adjacent to the female dressing room and toilet facilities at the left-hand side of the main stage. These were checked and found to be active.	 



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
102	Main stage left side adjacent to exit stairs.	<p>The house lighting and stage lighting is located on the main distribution board located on the left-hand side of the stage, adjacent to the left-hand side exit stairs.</p> <p>The switches and lights were tested and found to be active.</p>	
103	Stage.	<p><u>The smoke detector mounted on the timber truss located centrally within the stage requires servicing or replacement.</u></p>	



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Table 1: List of Findings cont'd ...



ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
104	Adjacent to right-hand side stage door exit.	The water-based fire extinguisher located adjacent to the right-hand side stage exit door has service tags which indicate it was last inspected in March 2021.	 



Table 1: List of Findings cont'd ...


ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
105	Male change room and toilet facilities, right-hand side of main stage.	<p>The male change room and toilet facilities on the right-hand side of the main stage showed <u>evidence of deteriorated carpet floor finish in the change room area with watermarks adjacent to the fixed external door.</u></p> <p>The toilet facilities were tested and found to be operable, <u>although both toilets have cracked rubber seals at the rear of the toilet suites which require replacement.</u></p> <p>The mosaic tiled floor finish showed no evidence of cracking or lifting at the time of inspection.</p> <p><u>The exit sign above the entry door to the change room was flickering at the time of inspection and requires a new lightbulb.</u></p>	



Table 1: List of Findings cont'd ...



ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
106	Male toilet facilities, right-hand side of main stage.	<p><u>The toilet doors are not fitted with privacy locks and new privacy locks should be supplied and fitted.</u></p> <p><u>The toilet facilities are not fitted with exhaust fans.</u></p> <p><u>The original louvre windows have been covered with small sliding aluminium windows.</u></p>	 



Table 1: List of Findings cont'd ...



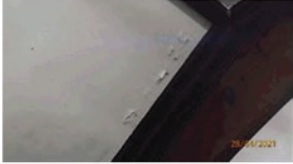


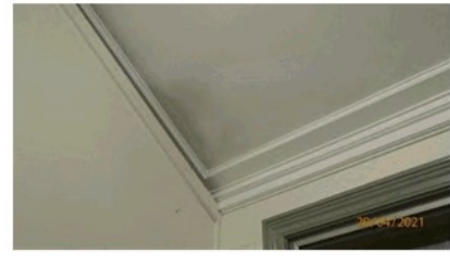
ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
107	Annex 1.	<p>These images illustrates Annex 1 adjoining the kitchen facilities on the right-hand side of the Memorial Hall.</p> <p><u>The ceiling linings show evidence of deterioration to the paint finish, along with watermarks which coincides with previously noted roof defects.</u></p> <p>The carpet floor finish in this area was generally in reasonable condition, although there were isolated areas of staining.</p> <p>The electrical fixtures were tested and found to be active.</p>	  



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
INTERIOR - KITCHEN			
108	Kitchen, Servery.	<p>The servery area of the kitchen facilities, <u>presents with minor deterioration to the fixed joinery</u>, although there was no obvious leakage from the plumbing or drainage fixtures or the electric hot water unit.</p> <p><u>The ceiling lining above the kitchen sink area showed evidence of watermarks and staining, which correspond with gaps in roof sheeting along the gutter line.</u></p>	  



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Table 1: List of Findings cont'd ...


ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
109	Kitchen, preparation and cooking area.	Images illustrating kitchen preparation and cooking area with dimensions and area of the kitchen cooking and servery area.	 



Table 1: List of Findings cont'd ...


ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
110	Kitchen, preparation and cooking area.	<p>The kitchen cooking and preparation area displays significant deterioration to the timber flooring which has suffered dry rot and wood decay.</p> <p>The kitchen floor appears to have two layers of vinyl flooring, with the original floor placed over Masonite sheeting and directly fixed to the hardwood timber flooring. The second layer of flooring has been placed over the original vinyl floor with 8 x 6mm sheets of medium density fibreboard covered with a sheet vinyl membrane. The deterioration to the floor seems to be as a result of years of mopping and cleaning where water has bypassed the vinyl floor and seeped into the timber flooring for an extended period of time. The covering of the original vinyl floor with new sheeting did not address the original damage caused to the solid timber flooring.</p> <p>Most of the observed damage seems to have occurred in the entry door to the kitchen preparation area, while other parts of the floor seem to be relatively stable and displayed no excessive movement.</p> <p><u>Recommend removal of all the vinyl flooring to allow for an inspection, and replacement and repair of the timber floor as needed.</u></p>	



Table 1: List of Findings cont'd ...


ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
111	Kitchen, floor framing and subfloor.	<p>These images illustrate the sizes of the existing floor framing, being 100 x 50mm hardwood joists spaced at approximately 450mm centres, sitting on a perimeter whaling plate of 100 x 25mm hardwood plate, with intermediate supports on timber bearers and brick piers, with bearers being approximately 100 x 75mm.</p> <p>Other images illustrate the appearance of the subfloor below the kitchen cooking and servery area.</p>	



Table 1: List of Findings cont'd ...


ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
112	Kitchen, cool room facilities.	<p>These images illustrate the cool room facilities adjacent to the kitchen facilities which show evidence of deterioration to the render finish on the concrete beam adjoining the timber ceiling, watermarks to the vinyl floor, along with deterioration to the paint finish on the base brickwork, which indicated elevated moisture levels of approximately 37% compared to brickwork higher on the wall which was 0%.</p> <p>There is no evidence of similar moisture on the outside of the cool room.</p>	



Table 1: List of Findings cont'd ...




ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
113	Storeroom, adjacent to the cool room.	<p>These images illustrate the storeroom adjacent to the cool room.</p> <p>This storage area displayed no significant faults to the walls and floor or timber lined ceiling, although not all areas could be inspected due to restricted access and vision from stored materials.</p> <p><u>There was evidence of exposed live wiring at a junction box for the light switch conduit which needs to be addressed and concealed by a licenced electrician.</u></p>	 









Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
114	Community meeting room. (The office suite at the front right corner of the building is labelled as the community meeting room on the plans).	These images illustrate the condition of the front office suite at the front right corner of the building, where the power was turned off at the time of inspection, with no power to light switches, power points or the exit sign at the time of inspection.	



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Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
115	Community meeting room. (The office suite at the front right corner of the building is labelled as the community meeting room on the plans).	<p><u>There was evidence of visible cracking to the masonry wall above the external entry door, which is also visible from the outside and watermarks to a section of ceiling which is below the first-floor balcony, as well as watermarks and staining to a brick column adjacent.</u></p> <p><u>The three windows for this area have been previously replaced, although installation of the new windows has resulted in some gaps visible around the windowsills, along with patching to the brickwork above the windows.</u></p> <p><u>Additional maintenance patching and repairs along with painting will be required.</u></p>	     



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Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
116	Front right office space.	The front office space at the front right corner of the building also presented with minor stepped cracking to the internal masonry walls above the fireplace and the wall separating the right side corridor. These cracks presented as 1mm or less and did not appear to be of significant structural concern.	



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Table 1: List of Findings cont'd ...



ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
117	Front right office space.	The CO2 fire extinguisher located within this office space has a service tag which indicates it was last checked in March 2021.	 



Table 1: List of Findings cont'd ...



ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
118	Corridor leading to right side stairs and exit.	<p>The corridor leading to the right-side stairs and exit also presents with hairline cracking, which corresponds with the cracking previously mentioned in the front right office interior wall. These cracks are also approximately 1mm or less and radiate from the top right corner of the adjoining perpendicular wall and door.</p> <p><u>These are related to external cracking and movement and would be addressed as part of any external remediation.</u></p>	 



Table 1: List of Findings cont'd ...


ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
119	Storage area under right side internal stairs.	<p>The storage space under the right-side internal stairs showed no significant faults to the general structure or floor, <u>although there was power to this space and the light switch was active; no lightbulb was fitted.</u></p> <p><u>The door to the storage space sticks at the threshold and requires adjustment for proper closure.</u></p>	



Table 1: List of Findings cont'd ...


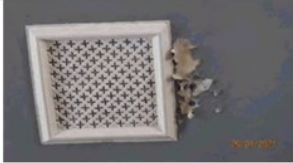







ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
120	Main hall, Memorial Hall.	<p><u>These images illustrate the main Memorial Hall, which displays sagging to the ceiling lining, along with water damage where previous repairs have occurred. Repairs to the roof above this area are required prior to any repair or replacement of ceiling linings.</u></p> <p><u>The timber flooring (80mm wide) in the Memorial Hall shows evidence of previous extensive patching and repairs, along with areas where additional patching and repairs are currently required. There is a section of bleached timber flooring below the area of previous leakage.</u></p>	        



Table 1: List of Findings cont'd ...

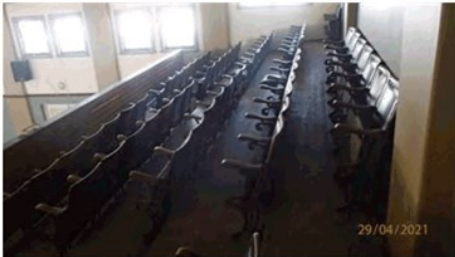








ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
121	Mezzanine level, Memorial Hall.	<p>These images illustrate the mezzanine seating level, <u>where water damage and sagging can be seen to the ceiling lining, as well as defects and damage to the timber flooring in this area.</u></p> 	       



Table 1: List of Findings cont'd ...


ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
122	Mezzanine level, Memorial Hall.	<p>The front balustrade to the mezzanine seating area measures at 810mm high, which is not considered adequate today in relation to safety standards in the Building Code of Australia.</p> <p>Consideration should be given to modifying the balustrade to achieve compliance with current requirements and eliminate public liability.</p>	



Table 1: List of Findings cont'd ...




ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
123	Right of main hall, Memorial Hall, mezzanine level.	<p>There is evidence of cracking to the render on the masonry engaged peers between the windows on the right side of the hall, which presents as cracks of 2mm or less, which are horizontal in nature and in line with the windowsill.</p> <p><u>The windows themselves at upper-level show evidence of significant weathering deterioration and require patching, repair repainting for long-term protection.</u></p>	  



Table 1: List of Findings cont'd ...






ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
124	Internal front left facade, Youth centre, Memorial Hall.	These images illustrate the condition of front left side of the building. <u>The installation of the new windows on the front façade requires additional patching and painting to the cement render bulk with maintenance to the windows where watermarks can be seen.</u>	    



Table 1: List of Findings cont'd ...





ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
125	Internal front left facade, Youth centre, Memorial Hall.	<p>The exterior walls, adjacent to the external entry door present with excessive moisture readings and deterioration to the render. Readings of between 81 and 87% were recorded at lower levels, with upper levels of the wall showing 0 percent.</p> <p>The areas of dampness to the wall corresponds with the external downpipe position which services the balcony above which was previously reported as showing evidence of leakage and blockage.</p> <p>Further investigation by a licenced plumber is required to alleviate the downpipe issues before patching and repairs to the walls can be carried out.</p>	   



Table 1: List of Findings cont'd ...





ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
126	Youth Centre.	<p><u>There was no power to the Youth Centre at the time of inspection.</u></p> <p><u>The ceiling linings showed evidence of watermarks in isolated areas, which corresponds with roof sheeting defects above.</u></p> <p><u>The condition of the carpets and vinyl flooring in the Youth Centre is in poor condition and requires replacement.</u></p>	   



Table 1: List of Findings cont'd ...










ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
127	Main internal stairs, Memorial Hall central lobby.	<p><u>These images illustrate the condition of the main internal stairs located centrally within the entry lobby.</u></p> <p><u>There is evidence of cracking to the marble capping on the right side baluster pillar, although the sections do not appear to be loose. The stair balustrade measures approximately 700mm from the nosing to the top of the timber railing, which is not considered adequate under today's Building Code requirements. The timber handrail on the flight of stairs leading from the landing to the first-floor level measures approximately 750mm from the stair nosing to the top of the handrail which is also considered not adequate under today's standards.</u></p> <p><u>The first-floor ceiling above the entry stair and top landing presents with significant damage to the ceiling lining, which is located below the box gutter at roof level. While some improvements have been made to the box gutter, there are still defects in this area which need to be addressed before any internal ceiling repairs can be carried out.</u></p> 	       



Table 1: List of Findings cont'd ...

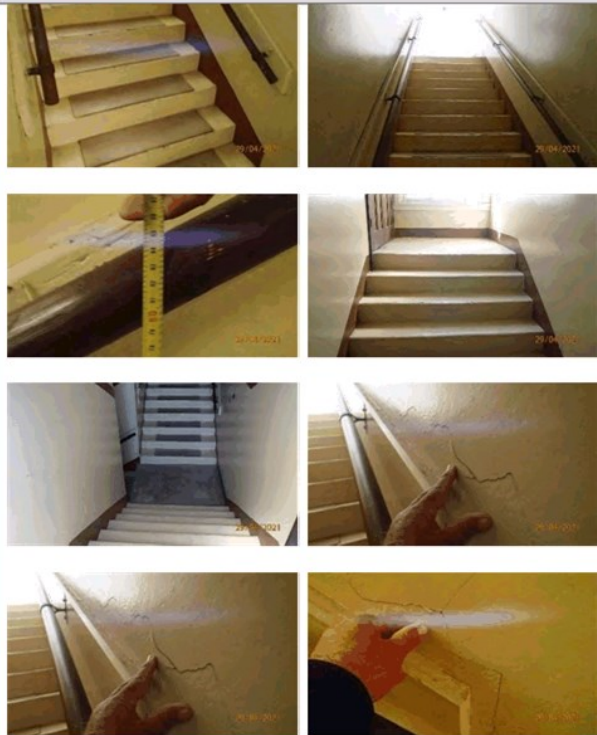
ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
128	Internal access stairs, right side Memorial Hall servicing the Archive room on the first-floor level and the Mezzanine viewing gallery.	<p><u>These images illustrate the internal access stairs on the right-hand side of the building providing access to the archive rooms at first floor level and the mezzanine viewing gallery.</u></p> <p><u>The stair risers and goings appear to be compliant and within Building Code tolerances, while the timber handrails on the first flight of stairs measures 850mm from nosing to top of handrail, while the second flight of stairs leading to the archive area measures approximately 780mm from nosing to top of handrail.</u></p> <p><u>The second flight of stairs leading to the mezzanine viewing gallery above the main hall does not have any handrails. (A handrail on one side at least is required).</u></p> <p><u>The door between the stair landing and the gallery areas overlooking the main Hall swings the wrong way (inwards) and this should be corrected as it is an emergency exit point.</u></p>	



Table 1: List of Findings cont'd ...









ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
128 Cont'd ...	Internal access stairs, right side Memorial Hall servicing the Archive room on the first-floor level and the Mezzanine viewing gallery Cont'd ...	<p><u>The soffit linings within the stairway display significant water damage, confirming periodic leakage that coincides with roof sheeting and flashing defects. This would be best addressed by removal and replacement of all roof sheeting, flashing, capping and guttering.</u></p> <p><u>The going and riser heights for the 2nd flight leading to the mezzanine viewing gallery shows bottom step and top step variation. After checking the ratios, they still comply with the acceptable range, and while they may well have been compliant when built, the tolerance for variation in riser and going height has changed since then.</u></p> <p><u>The window at the top of the 2nd flight leading to the mezzanine viewing gallery displays significant deterioration and patching, repairs and repainting are required for long-term protection.</u></p>	       



Table 1: List of Findings cont'd ...


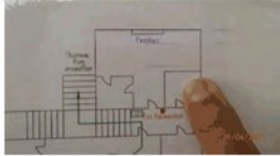






ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
129	Internal access stairs, right side Memorial Hall servicing the Archive room on the first floor level and the Mezzanine viewing gallery.	<p>Cracking was also observed to the rendered masonry walls of the stairwell, with cracks located above the handrail level on the first flight of stairs and radiating around the corner and up to the second flight of stairs towards the window adjacent to the mezzanine viewing gallery doors.</p> <p>These cracks present as approximately 1mm or less and follow the direction of handrails in a stepped fashion until they reached the top of the second landing to the mezzanine level where a horizontal crack extends along the length of the top landing to the window itself.</p>	



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
130	First floor - Archive Room.	<p>These images illustrate the main archive office space on the first floor level at the top right corner of Memorial Hall building.</p> <p><u>This office space presents with numerous areas of water damage to walls, ceilings and corner streams, which correspond with roof and gutter defects.</u></p> 	       



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Table 1: List of Findings cont'd ...


ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
131	First floor - Common corridor outside of main office and archive room.	The powder based fire extinguisher in the common corridor outside the main office area and the archive rooms indicates on the service tag that it was inspected in March 2021.	



Table 1: List of Findings cont'd ...



ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
132	First floor - Main entry door, top of internal stair.	<p>The exit signage above the main entry door at the top of the internal stair flight was functioning. This exit sign also acts as the exist sign for the adjoining archive room (room 3) as viewed from within the archive room.</p> <p><u>Additional directional signage is required.</u></p>	 



Table 1: List of Findings cont'd ...


ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
133	First floor - Alternative exit within the archive room.	<p>The alternative exit in the archive room leads to an adjoining office space that is <u>fitted with a privacy latch and cannot be used as an emergency exit.</u></p> <p><u>This exit sign was not illuminated at the time of inspection.</u></p>	 <p>The top photograph shows a green 'EXIT' sign mounted on a wooden door frame. The bottom photograph shows a close-up of a silver door handle and a privacy latch on a wooden door. Both images have a date stamp '29/04/2021' in the bottom right corner.</p>



Table 1: List of Findings cont'd ...

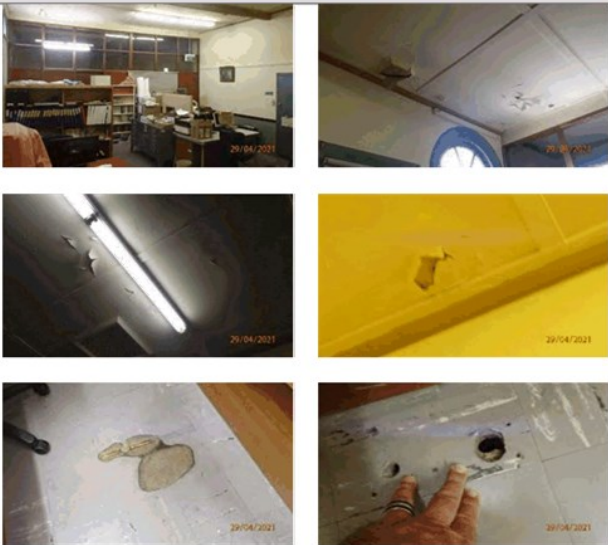
ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
134	First floor - Main Archive Room (Room 3).	<p>These images illustrate the Main Archive Room (Room 3), which shows numerous points of water damage and leakage at ceiling level, which correspond with noted roof defects.</p> <p>There is also evidence of damage to the vinyl floor where exposed timber flooring can be seen.</p>	



Table 1: List of Findings cont'd ...


ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
135	First floor - Safe Room (Room 5).	These images illustrate the Safe Room (Room 5), which showed no significant faults to the ceiling or walls at the time of inspection. There was evidence of minor cracking to the concrete floor in this area, although this did not appear to be a significant structural concern.	



Table 1: List of Findings cont'd ...





ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
136	First floor - Archive Room (Room 6).	<p>These images illustrate the interior of Archive Room (Room 6), which houses works of art, portraits and other images and maps.</p> <p><u>The ceiling within this area shows no significant damage, although the wall finish which adjoins the mezzanine viewing gallery shows evidence of significant deterioration to the paint finish, which is consistent with excessive moisture. These areas are located below sections of roof which showed evidence of gaps to roof sheeting and other defects.</u></p> <p><u>The electrical light switches and power points were tested and found to be active, although there are isolated old switches which did not seem to have power.</u></p> <p><u>Any renovations to the building should include rationalization of the electrical system with removal of all redundant electrical wiring.</u></p>	   



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
137	First floor - Archive Storage Room (Room 4).	<p>These images illustrate the condition of Archive Storage Room (Room 4), which presents with significant water damage to ceiling linings from roof leakage. These areas of leakage correspond with previously noted defects at roof level.</p> 	  



Table 1: List of Findings cont'd ...

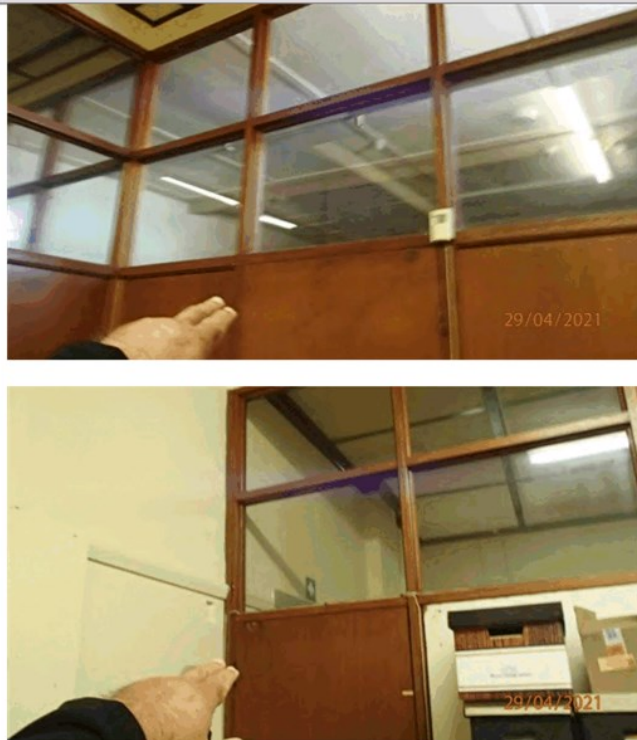
ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
138	First floor - Archive Storage Room (Room 4).	<u>Archive Storage Room (Room 4) also lacks any exit signage above the two main doors within the space.</u>	



Table 1: List of Findings cont'd ...




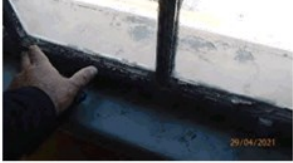


ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
139	First floor - Meeting Room, first floor level, front left corner of Memorial Hall.	<p>These images illustrate the condition of the meeting room at the first floor level at the left front corner of the building.</p> <p><u>The ceiling lining shows evidence of water damage in several areas along with damage to the render and paint finish on exterior walls and significant deterioration to the front facing windows.</u></p> <p>The electrical light switches and power points were tested and found to be active.</p> <p>The powder based fire extinguisher in this room was tagged as being inspected in March 2021.</p>	     



Table 1: List of Findings cont'd ...







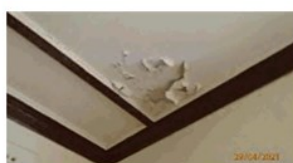
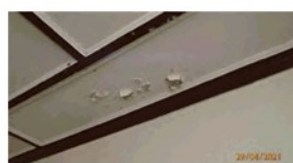
ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
140	First floor – Kitchen.	<p>The kitchen facilities at first floor level servicing the archive areas <u>show significant wear and tear to the joinery.</u></p> <p><u>The vinyl floor within this area shows evidence of damage and staining and the floor itself appears to be out of level in areas.</u></p> <p>The plumbing and drainage facilities showed no obvious signs of leakage at the time of inspection.</p> <p><u>Ceilings within this area also show evidence of water damage from previous leakage.</u></p>	       



Table 1: List of Findings cont'd ...





ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
141	First floor - Room leading to male toilet facilities.	<p>The room leading to the male toilet facilities on the first-floor level appears to have been an outdoor deck previously which was subsequently enclosed.</p> <p><u>The floorboards in this area are weathered and creaky with some unevenness in the floor around what appears to previously have been a hatch or opening in the floor.</u></p> 	  



Table 1: List of Findings cont'd ...


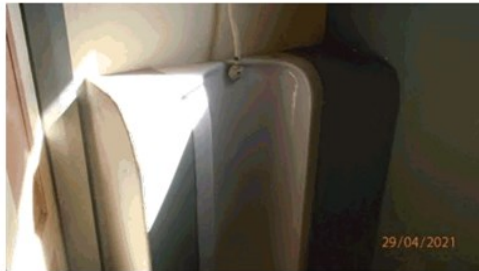






ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
142	First floor - Male toilet facilities.	<p>The male toilet facilities located on the first-floor level do not appear to have been used in some time.</p> <p><u>There is evidence of previous attempts to patch the mosaic floor tiles, and while the plumbing and drainage fixtures have not been used in some time, they were tested and found to be operable with no obvious leakage at the time of inspection.</u></p> <p>The ceiling lining shows evidence of deterioration although this is mostly to the paint finish, there does not appear to be any significant water damage.</p>	   



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
143	First floor - Ladies toilet facilities.	<p>These images illustrate the condition of the ladies toilet facilities.</p> <p>The plumbing and drainage fixtures were tested and found to be operable, although the rubber seal at the rear of the toilet suite is cracked and should be replaced.</p> <p><u>The ceiling lining above the ladies toilet facilities and the adjoining room shows evidence of deterioration to the ceiling lining paint finish, along with some isolated evidence of water damage.</u></p> 	  



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Table 1: List of Findings cont'd ...


ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
144	First floor - Room adjoining kitchen facilities.	<p>The ceiling lining over the room adjoining the kitchen facilities has evidence of sagging and discolouration.</p> <p>This is consistent with potential water leakage from the roof sheeting above, and as with other areas of roof leakage, these areas require repair.</p>	



Table 1: List of Findings cont'd ...


ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
145	First floor – Kitchen, male toilet facilities and adjoining room.	<u>All the rooms comprising the kitchen area, male and female toilet facilities, and adjoining storage area are not serviced by any emergency exit signage over the relevant doors. It should be addressed in order to achieve compliance with current code requirements.</u>	



Table 1: List of Findings cont'd ...



ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
146	First floor – Kitchen, male toilet facilities and adjoining room.	The electrical switches, fuses, lights and power points were tested and found to be active.	
147	First floor - Kitchen.	The powder-based fire extinguisher located in the kitchen area has a service tag which indicate it was last inspected in March 2021.	



Table 1: List of Findings cont'd ...





ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
INTERIOR - LIBRARY			
148	Library, interior.	<p>The interior of the main library building shows no significant faults to the ceiling lining.</p> <p><u>However, the exterior wall which adjoins Memorial Hall stage presents with excessive moisture readings to the lower level of the masonry wall behind this wall which adjoins the previously mentioned shafts that penetrate the flat roof.</u></p> <p><u>The guttering, flashing and drainage provisions within this void is allowing moisture to saturate into the brickwork.</u></p> <p><u>Improvements to the overall roof and ground drainage are required to eliminate excessive moisture in the masonry wall before any patching and repainting of the wall is done.</u></p>	  



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
149	Rear of Library, storage annex.	<p>These images illustrate the storage annex at the rear of the library which adjoins the storage annex on the left side of the Memorial Hall.</p> <p><u>This area is covered with the flat roof sheeting (metal deck roofing), and minor watermarks and damage can be seen to the ceiling, which corresponds with areas where there are loose roof sheets as identified previously in the roof section of this report.</u></p>	



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Table 1: List of Findings cont'd ...



ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
150	Rear of Library	<u>The rear section of the library shows evidence of watermarks to the ceiling lining, which roughly corresponds with the ridgeline of the main roof and is consistent with the gaps observed in the ridge capping at roof level.</u>	



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
151	Rear left corner of Library.	<p>The left rear corner of the library presents with significant cracking to the masonry walls, which was previously observed to the exterior building envelope inspection. The internal cracks present as being approximately 12mm or less and diminish as they radiate downward towards the top right corner of the adjoining window.</p> <p>Further engineering advice is recommended for the best method of repair, which may entail partial demolition and rebuilding.</p>	



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Table 1: List of Findings cont'd ...


ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
152	Library.	Minor cracking to the rendered masonry wall can be seen radiating from the top right corner of the window adjacent to the library reception desk. This has been previously patched and does not appear to be of significant concern.	



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
153	Library administration office.	<p>The library administration office was observed with no significant faults to the ceiling lining at the time of inspection, although a section of floor midway within the room, adjacent to the left rear exterior wall, shows evidence of unevenness of approximately 20mm within a short distance.</p> 	  



Table 1: List of Findings cont'd ...


ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
154	Library, toilet facilities.	<p><u>These images illustrate the toilet facilities within the library, which show evidence of previous leakage around the skylight and some cracking to the wall lining adjacent to the vanity unit.</u></p> <p><u>Movement occurs along a sheet joint and while it is unclear what has caused the movement, it does not appear to be overly significant.</u></p>	



Table 1: List of Findings cont'd ...









ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
155	Male public toilet facilities, side of Library.	<p>The male public toilet facilities to the side of the library showed no significant faults to the fixtures and finishes.</p> <p>The plumbing and drainage fixtures were tested and found to be operable.</p> <p>The electrical light switches were tested and found to be active.</p> <p>The ceiling lining and floor tiling showed no significant faults at the time of inspection.</p>	   



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
156	Disabled public toilet facilities, side of Library.	<p>The disabled toilet facilities were inspected and showed no significant faults of the fixtures and finishes.</p> <p>The plumbing and drainage fixtures were tested and found to be operable.</p> <p>The electrical light switches were tested and found to be active.</p> <p>There was no significant faults to the ceiling lining or floor tiling at the time of inspection, however, a small section of shaft lining around the skylight over the disabled toilet requires additional re-fixing.</p>	   



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Table 1: List of Findings cont'd ...



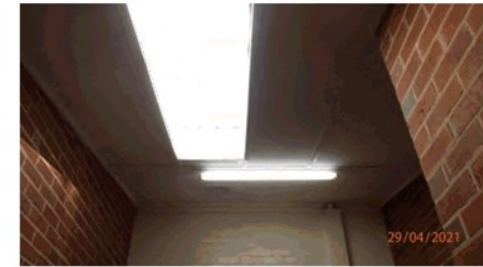
ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
157	Female public toilet facilities, side of Library.	The female public toilet facilities showed no significant faults to the fixtures and finishes and no obvious faults to the ceiling lining, floor and wall tiling.	  



Table 1: List of Findings cont'd ...


ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
SUBFLOOR			
158	Memorial Hall main stage, subfloor.	These images illustrate the subfloor void and storage area below the main stage in the Memorial Hall.	



Table 1: List of Findings cont'd ...


ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
159	Memorial Hall main stage, subfloor.	<p><u>The floor structure supporting the stage consists of deep joists supported on whaling plates resting on core brickwork at the perimeter, and a central 150 x 75 bearer mid span of the joists with 75 x 75 posts extending to the concrete floor.</u></p> <p><u>Water enters this subfloor void area from adjacent exposed voids and the bottom of the timber posts shows evidence of minor decay, although the majority of the post is still structurally stable.</u></p>	 <p>The top photograph shows the internal timber structure of the subfloor, including deep joists and a central bearer. The bottom photograph is a close-up of a timber post where a gloved hand is pointing to the base, showing signs of decay and debris on the concrete floor.</p>



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
160	Memorial Hall main stage, subfloor.	Parts of the timber bearer posts supporting the mid span of the deep joists has a cracked edge, although the overall integrity of the joist is maintained.	 



Table 1: List of Findings cont'd ...




ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
161	External shaft void, between Memorial Hall and Library.	<p>The external shaft voids between the Memorial Hall and the library building are serviced by drains.</p> <p>Some of these voids appear to be draining adequately, although there is debris such as tennis balls within this area which could block the drainage since the grate is missing.</p> <p><u>Consideration should be given to supplying and fitting a new grate and removing any potential blockages from loose debris.</u></p>	  



Table 1: List of Findings cont'd ...




ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
162	Service voids behind storage area, between Memorial Hall and Library.	<p>There are service voids behind the storage area, between the library and Memorial Hall, which house the plumbing and drainage pipework.</p> <p><u>The old vitreous clay pipes show evidence of damp soil around them at the joints, which suggests all the joints are leaking. Some recent upgrades to water pipes can be seen where copper pipes join GAL iron pipes.</u></p>	  



Table 1: List of Findings cont'd ...









ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
163	Service shaft voids behind storage area, between Memorial Hall and Library.	<p>The long void on the left side of the building collects water from the roof into a rainwater head, although the downpipe is now disconnected, and the subsequent storm water runs down the brickwork and into an area where the drain position is not obvious from the significant amount of silt build-up in that area.</p> <p><u>The service void correlates with the water damage and high moisture readings to the masonry wall in the library displays excessive silt build-up, which has blocked the drain provision and as a result at a time of significant rainfall, the water level rises to approximately two brick courses subsequently soaking into the brickwork.</u></p> <p><u>Improvements to the stormwater and surface water drainage in this area is critical in order to prevent further moisture absorption.</u></p>	       



Table 1: List of Findings cont'd ...






ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
164	Access hatch to service shaft void.	<u>The access hatch into the service void is missing a door, and it seems blockages occur regularly, resulting into water spilling into the subfloor area causing staining to the base brickwork and damage to the concrete floor finish within the subfloor void below the stage.</u>	 



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
165	Drainage and plumbing void.	<p>The drainage and plumbing void on the right-hand side shows no significant leakage to the plumbing and most drainage pipes, although dampness around the cast-iron drainage pipe servicing the male toilets may be leaking and some maintenance is required.</p> <p>Smoke detectors within the subfloor void appeared to be in good condition with no loose or damaged wiring.</p>	  



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Table 1: List of Findings cont'd ...



ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
166	Underside of staircase, stage right side of Memorial Hall.	The underside of the staircase on the right of the Memorial Hall stage showed no obvious faults to the stair structure.	




Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
167	Underside of staircase, stage left side Memorial Hall.	<p>There is what appears to be a significant amount of redundant electrical wiring and plumbing pipes which have been capped.</p> <p><u>Consideration should be given to rationalizing the plumbing and electrical services to eliminate any redundant services.</u></p>	



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Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
168	Underside of stage.	Image showing the deep joists under the stage floor structure supported on whaling plate and corporate brickwork.	



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Table 1: List of Findings cont'd ...







ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
169	Subfloor, below main Memorial Hall.	<p>These images illustrate the subfloor void below the main Memorial Hall.</p> <p>Access to this void is via penetrations in the base brickwork where the ducted heating units are located and appeared to be in good condition.</p>	



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
170	Subfloor, below main Memorial Hall.	<p>The subfloor void below the main hall showed no obvious faults to the supporting brick piers <u>which are not fitted with ant capping</u>.</p> <p>The timber floor structure generally appeared to be well supported, and <u>although there are areas where watermarks can be seen, which correspond with leakage from above, the structural integrity of the floor framing appears to be intact</u>.</p> <p><u>There are visible watermarks to the underside of the floorboards as well,</u> although this does not appear to have caused any significant structural damage.</p>	    



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Table 1: List of Findings cont'd ...


ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
171	Subfloor, below main Memorial Hall.	The ducted heating ducts appear to be well supported and suspended from the floor in all areas.	



Table 1: List of Findings cont'd ...





ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
ROOF VOIDS			
172	Void over first-floor archive offices.	<p>The roof void over the archive areas shows evidence of birds nesting, and deterioration to the sarking paper, which allows condensation and other moisture penetrating past the gaps in the roof sheeting to enter the roof void, thus creating water damage to ceilings below.</p> <p>There is a roof rafter, which has cracked, which corresponds with previous observations at roof level where the roof exhibited movement and sagging over the archive room.</p> <p>While there is loose insulation over some office areas, there are significant portions of the roof or ceiling that are not insulated.</p>	



Table 1: List of Findings cont'd ...

ITEM	LOCATION	DESCRIPTION / OVERVIEW / FINDINGS	IMAGE REFERENCE
173	Main roof void over Memorial Hall.	<p>This section of roof void has limited access, with only partial views available from the stage end of the roof and a gable end hatch at roof level, which had difficulty opened.</p> <p>The limited view of the roof truss structure and ceiling joists showed no obvious faults however, sagging ceiling lining, water damaged areas and areas with paint defects will require repair and replacement of linings along with extensive painting.</p> <p><u>In general, all ceiling areas that display water damage from leakage, will require replacement of roof sheeting, addition of new anticon insulation blankets, modification of gutters, overflow provisions, flashing, capping and roof safety anchor provisions.</u></p> <p><u>There may well be unanticipated roof structure repairs that will only be revealed once roof sheets are removed, but that will require a witness point inspection prior to fitting of new sheeting.</u></p>	  



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END OF REPORT



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DISCLAIMER:

The opinions expressed in this report are that of the author and are to be taken into account in conjunction with the reports referred to herein.

We trust the above is sufficient to meet your request. Please do not hesitate to contact our office should you require any further information or assistance.

The author hereby makes himself available to provide verbal evidence, clarification or expansion of any information provided herein.

This report refers specifically to the matters requested for opinion of the author. Therefore, this report may not contain the full extent of our investigations, nor does it contain all information gathered during our investigations.

This report is intended for the use of the addressee only and might contain sensitive or legally privileged information. If you are NOT the intended recipient, you are notified that any use or dissemination of this information is strictly prohibited. If you receive this information in error, please notify the author immediately by telephone and delete all copies of this transmission together with any attachments.

If you have any queries with this report or require further information, please do not hesitate to contact Peak Consulting.

DISPUTE RESOLUTION PROCEDURE

Please note: Peak Consulting has a dispute resolution system available. For details of this please contact our office IN THE FIRST INSTANCE.

CERTIFICATION

This document certifies that the property described in this Inspection Report has been inspected by the Building Consultant in accordance with the level of service requested by the Client and the terms and conditions as set out in this Report, and in strict accordance with AS 4349.1 2007

TERMS AND CONDITIONS

A SCOPE OF INSPECTION AND REPORT

Pre-purchase Property Inspection Report only deals with the detection or non-detection of Structural Damage, Conditions Conducive to Structural Damage and any Significant Defect in the general condition of Secondary Elements and Finishing Elements of construction discernible at the time of inspection, with or without ancillary testing. All other reports are Special-Purpose Inspection Reports.

As requested by the Client, the inspection assessment was based solely on the following inspection carried out by a Building Consultant of the Readily Accessible Areas of the property:

Service Requested A visual examination of surface work, and the carrying out of Tests.

NOTE: In the case of strata and company title properties, the inspection is limited to the interior and immediate exterior of the particular unit being inspected. The complete inspection of other common property areas would be the subject of a Special-Purpose Inspection Report which is adequately specified.

LIMITATIONS

The Client acknowledges:

1. This Inspection Report does not include the inspection and assessment of items or matters outside the scope of the requested inspection and report. Other items or matters may be the subject of a Special-Purpose Inspection Report which is adequately specified (see Exclusions below).
2. This Inspection Report does not include the inspection and assessment of items or matters that do not fall within the consultant's direct expertise.
3. The inspection only covered the Readily Accessible Areas of the property. The inspection did not include areas which were inaccessible, not readily accessible or obstructed at the time of inspection. Obstructions are defined as any condition or physical limitation which inhibits or prevents inspection and may include – but are not limited to – fixed ceilings, wall linings, floor coverings, fixtures, fittings, furniture, clothes, stored articles/materials, thermal insulation, sarking, pipe/duct work, builder's debris, vegetation, pavements or earth.
4. Australian Standard Inspection of Buildings. Part 1 Property Inspections – Residential Buildings recognises that a standard property report is not a warranty or an insurance policy against problems developing with the building in the future.
5. This Inspection Report was produced for the use of the Client. The Building Consultant is not liable for any reliance placed on this report by any third party.



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EXCLUSIONS

The Client acknowledges:

A Standard Property Inspection Report does not cover or deal with:

- Any 'minor fault or defect', i.e., a matter, in view of the age, type and condition of the building being inspected, does not require substantial repairs or urgent attention and rectification;
- Solving or providing costs for any rectification or repair work;
- The structural design or adequacy of any element of construction;
- Detection of wood destroying insects such as termites and wood borers;
- The operation of fireplaces and chimneys;
- Any services including building engineering (electronic), fire and smoke detection or mechanical;
- Any swimming pools and associated pool equipment or spa/baths and spa equipment or the like;
- Any appliances such as dishwashers, waste disposal units, ovens, stoves and ducted vacuum systems;
- A review of occupational, health or safety issues such as asbestos content, or the provision of safety glass or swimming pool fencing;
- Whether the building complies with the provisions of any building Act, code, regulation(s) or by-laws; and
- Whether the ground on which the building rests has been filled, is liable to subside, is subject to landslip, earthquakes or tidal inundation, or if it is flood prone.
- Any of the above matters may be the subject of a Special-Purpose Inspection Report which is adequately specified and undertaken by an appropriately qualified inspector.

DEFINITIONS

Structural Damage means a significant impairment to the integrity of the whole or part of the Structure falling into one or more of the following categories:

Structural Cracking and Movement – major (full depth) cracking forming in primary elements resulting from differential movement between or within the elements of construction, such as foundations, footings, floors, walls and roofs.

Deformation – an abnormal change of shape of primary elements resulting from the application of load(s).

Dampness – the presence of moisture within the building, which is causing consequential damage to primary elements.

Structural Timber Pest Damage – structural failure, i.e., an obvious weak spot, deformation or even collapse of timber primary elements resulting from attack by one or more of the following wood destroying agents: chemical delignification; fungal decay (rot); wood borers (borers); and termites (white ants).

Conditions Conducive to Structural Damage means noticeable building deficiencies or environmental factors that may contribute to the occurrence of Structural Damage.

Structure means the load bearing part of the building, comprising the Primary Elements.

Primary Elements means those parts of the building providing the basic load bearing capacity to the Structure, such as foundations, footings, floor framing, load bearing walls, beams or columns. The term 'Primary Elements' also includes other structural building elements including: those that provide a level of personal protection such as handrails; floor-to-floor access such as stairways; and the structural flooring of the building such as floorboards.

Significant Defect means a matter, in view of the age and type of the building being inspected, requires substantial repairs or urgent attention and rectification.

Secondary Elements means those parts of the building not providing load bearing capacity to the Structure, or those non-essential elements which, in the main, perform a completion role around openings in Primary Elements and the building in general such as non-load bearing walls, partitions, wall linings, ceilings, chimneys, flashings, windows, glazing or doors.

Finishing Elements means the fixtures, fittings and finishes applied or affixed to Primary Elements and Secondary Elements such as baths, water closets, vanity basins, kitchen cupboards, door furniture, window hardware, render, floor and wall tiles, trim or paint. The term 'Finishing Elements' does not include furniture or soft floor coverings such as carpet and vinyl or the like.

Client means the person or persons, for whom the Inspection Report was carried out or their principal.

Principal means the person or persons for whom the report is being obtained.

Building Consultant means a person, business or company who is qualified and experienced to undertake a Standard Property Inspection Report in accordance with Australian Standard AS 4349. "Inspection of Buildings. Part 1: Property Inspections – Residential Buildings".



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Readily Accessible Areas means areas which can be easily and safely inspected without injury to person or property, are up to 3.6 metres above ground or floor levels, in roof spaces where the minimum area of accessibility is not less than 600 mm high by 600 mm wide and subfloor spaces where the minimum area of accessibility is not less than 400 mm high by 600 mm wide, providing the spaces or areas permit entry. Or where these clearances are not available, areas within the consultant's unobstructed line of sight and within arm's length.

Tests mean where appropriate the carrying out of tests using the following procedures and instruments:

Dampness Tests means additional attention to the visual examination was given to those accessible areas which the consultant's experience has shown to be particularly susceptible to damp problems. Instrument testing using an electronic moisture detecting meter of those areas and other visible accessible elements of construction showing evidence of dampness was performed.

Physical Tests means the following physical actions undertaken by the consultant: opening and shutting of doors, windows and draws; operation of taps; water testing of shower recesses; and the tapping of tiles and wall/plaster.

ACCESSIBILITY

Unless specified in writing, the inspection only covered the Readily Accessible Areas of the Building and Site. The inspection did not include areas which were inaccessible, not readily accessible or obstructed at the time of inspection.

Building Interior. The Consultant did not move or remove any ceilings, wall coverings, floor coverings (including carpeting and wooden floorboards), furnishing, equipment, appliances, pictures or other household goods. In an occupied property, furnishings or household items may be concealing defects which may only be revealed when the items are moved or removed.

NOTE. In the case of strata and company title properties or other Class 2 buildings or equivalent, if the inspection was limited to assessing the interior of a particular unit or lot, the Client may have additional liability for defects or faults in the common property. This additional liability can only be addressed through the undertaking of a Special-Purpose Inspection Report which is adequately specified.

Building Exterior, Roof Exterior and Site. In inspecting the building exterior, roof exterior and site the Consultant did not move or remove any obstructions such as wall cladding, awnings, trellis, earth, plants, bushes, foliage, stored materials, debris or rubbish. Such items may be concealing defects that may only be revealed when the items are moved or removed.

Roof Space In inspecting the roof space of any pitched roof there was no inspection of areas where accessibility was less than 600 mm high by 600 mm wide (but includes areas at the eaves of accessible roof spaces, that are within the consultant's unobstructed line of sight and within arm's length from a point with conforming clearance, i.e., 600 mm high by 600 mm wide).

Bodily access should be provided to the interior of all accessible roof spaces. In accordance with Australian Standard AS 4349 the minimum requirement is a 450 mm by 400 mm access manhole.

Obstructions such as roofing, stored articles, thermal insulation, satking and pipe/duct work may be concealing evidence of defects which may only be revealed when the obstructions are moved or removed.

Subfloor Space Storage of materials in subfloor areas is not recommended as it reduces ventilation and makes inspection difficult. Obstructions may be concealing evidence of damage or faults which may only be revealed when the obstructions are moved or removed.

Bodily access should be provided to all accessible subfloor areas. In accordance with Australian Standard AS 4349 the minimum requirement is a 500 mm x 400 mm access manhole. In the case of suspended floors, if the clearance between the ground and structural components is less than 400 mm, Australian Standard 3660 recommends that the ground should be excavated to provide the required clearance, subject to maintaining adequate drainage and support to footings.

BUILDING STANDARDS

Building standards changed significantly in the 1970's when the Building Act was passed and again in 1990 when the Building Code of Australia was introduced. Materials and construction techniques are constantly changing and Building Legislation must change to address the latest developments.

Unless a dwelling has been constructed recently it may not comply with current standards. That does not necessarily mean that established dwellings are poorly constructed.

Generally, this assessment is based on the building standards that were current when the dwelling was constructed, which may be different from the current requirements of the Building Act.



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The author is a licenced ~~Builder~~ (123582C NSW), (19957795 ACT).

The author is a licenced Building Consultant (BC737 NSW) (now obsolete). Copies of these licences are available upon request.

The opinions expressed in this report are that of the author and are based on the skills, training and experience gained throughout 26 years licenced practice.

Peak Consulting trust the information included in this report, being impartial to any party is of assistance.

This report should not be relied upon 180 days from the date hereon.

Should you need further information regarding this report please do not hesitate to contact the author.

Signed:



George Pudja

Wednesday, 1 September 2021





Building Consultants
~
Building Investigations
~
Expert Advice
~
Scopes of Work

SPECIAL PURPOSE INSPECTION DILAPIDATION - OTHER EXPERTS REPORTS

ADDRESS:	Yass Memorial Hall 82-94 Comur Street YASS NSW 2582
REPORT PREPARED FOR:	Yass Valley Council 209 Comur Street YASS NSW 2582
PHONE:	(02) 6226 1477
EMAIL:	Seamus.McGurk@yass.nsw.gov.au
DATE ATTENDED:	27 – 29 April 2021

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Request for Service Details

As requested, Peak Consulting were requested to inspect the subject property.

The purpose of this inspection was to inspect the condition and compile a report listing areas that display visible dilapidation observed at the time.

The terms of reference are as follows:

Conduct a non-invasive, non-forensic, visual inspection and determine/identify the condition and dilapidation status, documenting each area / item assessed including recording digital photographs to demonstrate the inspection findings and report on:

1. Roof condition.
2. Subfloor and first floor condition. Provide additional separate report for the kitchen area if deemed warrantable based on the findings, opinions and any urgent recommendations that would be forthcoming based on the assessment of this kitchen area.
3. Condition of the exterior and interior wall surfaces.
4. Compliancy of access and egress points throughout the building.
5. Compliancy of the steps and stairs throughout the building.
6. Compliancy of electrical reticulation and installation throughout the building.
7. Compliancy of fire safety compliance installed throughout the building.
8. Presence and management of asbestos throughout the building.
9. Dilapidation status of paint application both internally and externally throughout the building.
10. Status of plumbing and drainage throughout the building.
11. Serviceability condition of exterior doors and windows of the building.
12. Condition and compliancy of balconies both internally and externally of the building.
13. Investigate the source of dampness emanating from areas presenting with evidence of mould throughout the building.
14. Assess and provide priority order of above items that require addressing in order to achieve safety and compliance and protect the amenity of the building.
15. Provide cost estimates for the above items assessed and reported on.

1. Overview / Acceptance Criteria

- 1.1 The building is located at 82-94 Comur Street, Yass NSW.
- 1.2 The building construction is complete.


2. Other Experts Reports

- 2.1 An assessment for asbestos, electrical, fire safety, lead paint and plumbing for Yass Memorial, 82-94 Comur Street, Yass NSW were conducted by other experts.
- 2.2 Reports provided by the other experts are as follows:
 - 2.2.1 Austin Electrical - Electrical Report, undated.
 - 2.2.2 Beyond Plumbing - Plumbing Report, dated 25 May 2021.
 - 2.2.3 Keane Environmental Pty Ltd - Asbestos Register, Report #KE3544 dated May 2021.
 - 2.2.4 Keane Environmental Pty Ltd - Asbestos Management Plan, Report # KE3544 dated 8 July 2021, and
 - 2.2.5 Warrington Fire - Fire safety design advice, Job number: CA210057 dated 27 July 2021, Revision: FSDA1.0.



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2.3 Austin Electrical – Electrical Report.



Electrical Report
82 Comur Street, Yass

Fault Reported:
Carry out electrical report.

Inspection Details:
Meters and mains fuses: - The meter and main five area consists of multiple meters, multiple feeds protected by ceramic fuses with fuse wire, and HRC fuses. We recommend this be replaced with a new dedicated P.O.E with attached meter panels and submain circuit protection for each DB. This should be installed at heights that comply with AS3000 which will be much lower than existing heights.
DB6: - This DB has one Eaton Elq circuit breaker/RCD which is a recalled product. This needs to be replaced ASAP as a matter of urgency. Cabling above switchboard should have mechanical protection due to height.
House DB2: - This DB has two Eaton Elq circuit breaker/RCDs which are recalled products. These need to be replaced ASAP as a matter of urgency. Cabling above switchboard should have mechanical protection due to height.
DB (not labelled) at left of front main entrance: - This DB consists of one light and three power circuits. No issues seem to be present at this DB. DB panel should be tested in case of asbestos.
DB 2: - This DB has five Eaton Elq circuit breaker/RCDs which are recalled products. These need to be replaced ASAP as a matter of urgency. This DB also three submain feeds which will require further investigation to determine compliance.
DB 4, Stage DB: - This DB has eight Eaton Elq circuit breaker/RCDs which are recalled products. These need to be replaced ASAP as a matter of urgency. This DB also has a 15amp 3 phase outlet which should be RCD protected and is currently not.
House DB 5: - This DB has ten Eaton Elq circuit breaker/RCDs which are recalled products. These need to be replaced ASAP as a matter of urgency. This DB also has a 3 Phase 40amp circuit breaker that requires further investigation to determine what it powers and if it is compliant.
The combination of DB4 stage DB and DB5 house DB look like they have a combination of live power in each DB. This requires labelling or separation as each board cannot be isolated correctly.

3-4, 96 Gladstone Street Fyshwick ACT 2609 - PO Box 1312, Fyshwick ACT 2609
Phone (02) 6162 0044
ABN 27 128 899 712 ACN 128 899 712
ACT Licence # 20121546 NSW Licence # 190670c



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Stage control Board: - Further investigation is required to determine safety and functionality of this switching panel.

DB Kitchen: - this board has five circuits that need RCD added to meet current safety compliance. Conduit work in food preparation area may not comply with health regulations.

DB (upstairs): - This distribution board looks to be recently replaced and is up to date with AS3000. Further labelling needs to be carried out on this DB.

DB Library: - Labelling needs to be updated. Emergency lighting in the library should be fed from the Library DB. This will allow emergency lighting to activate when power is affected to the library DB or local lighting circuit in this vicinity.

DB7: - All circuits on this DB are RCD protected. All seems fine at this DB.

Lighting: - Throughout this inspection we found majority of lighting to be very old and in need of repairs or LED replacement fittings. Stage lighting in floor has smashed globes, sharp edges and seem very unsafe. Library lighting has been upgraded to LED for the ceiling lights. The library wall lights are fluorescent tube lights.

Light switches and power outlets: - Most are of heritage style but are not consistent in the style or brand.

Cabling: - Majority of cabling is of age where it should be replaced if works were to be carried out to the building. There is also a lot of redundant cabling and bare wires that have not been made safe. There is also cabling clipped onto woodwork that should have mechanical protection covering the cables at accessible heights and areas with conduit, ducting, etc.

Results:

Urgent: - Replace recalled Eaton RCDs, tidy cabling that has bare cabling showing. Make safe all redundant cabling inside and outside. Remove lighting that is unsafe e.g. Stage floor lighting, any hanging lighting that isn't properly fixed to structures. Remove lighting in water damaged areas.

Not so urgent: - all redundant cabling be removed. Cabling to be replaced if any works are carried out. Light fitting to be replaced with suitable LED replacements. Extra GPO's in library due to power boards being used currently. Switchboards to be replaced and installed at heights that comply with AS3000.

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1 September 2021

2.4 Beyond Plumbing – Plumbing Report.



Simon Gallie
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e. simon.gallie@beyondplumbing.com.au

25/05/21

Peak Consulting

Plumbing Report : Yass Memorial Soldiers Hall

I attended the property to inspect all plumbing in the building and CCTV inspection of all drainage.

On arrival I first made my way through the building testing and inspecting visually all plumbing fixtures and pipe work and results are as follows :

Youth centre - kitchen sink good condition and good operation, new drainage.

Female toilets Ground floor – 4 x toilets all in good working order 3 x Basins good working order also, although one of the mixers on the middle basin is leaking from body. All water lines and valves look good, drains under basins and floor waste all in good condition looks like all been repaced to plastic.

Male toilets Ground floor – 2 x toilets good working order, 2 x basins good also and large urinal with 2 x cisterns all working fine drainage and water lines all good has been updated

Disabled toilet Ground floor – toilet basin and floor waste all good, toilet has very slow leak into bowl but would be easily fixed. All drains and water pipes updated.

Female toilets next to stage – 2 x toilets and basin all in good working order, all drainage and water pipes original, cisterns have been updated and new basin mixer.

Male toilets next to stage – 2 x toilets and basin good working order original pipework

Upstairs kitchen sink – good working order new drainage, original water lines but good condition, 50L hot water heater connected ok condition

Female toilet Upstairs – toilet and basin very old but still working ok original water pipes and drainage, basin is slow to drain but well vented.

Male toilets Upstairs – urinal, toilet and basin all original plumbing and very old fixtures but still working ok, showerhead does not work and shower drain very slow to drain.



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Kitchen Ground floor – 1 double bowl sink with and single sink in prep room all good working order pipework has been updated, hot water heater next to sink in ok condition.

Library at rear of Hall – toilet basin and floor waste all in good working condition however there has been complaints of smelly drains. All has been updated.

Public toilets – Male urinal and toilets x 2 and basin all working, pipework updated

Female – 3 x toilets all working besides one toilets buttons broken, basin working well.

CCTV inspections Stormwater :

Front downpipes all drain direct to road and in fair condition would recommend jetting, downpipe at left hand side of main doors is blocked.

Stormwater drains down right hand side all clear down to manhole, downpipes at right side of hall drain direct to ground.

Stormwater drains at left side very old and in bad condition needs jetting and found blockage underneath storage room water was backing up when I was flushing the line possible collapsed pipe. Otherwise downpipes all clear both sides.

CCTV Inspections Sewer :

Bathrooms on ground floor internal really good condition all been updated to plastic and well vented, earthenware pipe work external down left hand side of building ok condition draining well but found blockage underneath storage shed as well, would recommend jetting. Drainage pipework to upstairs bathrooms original and in ok condition, all draining well and well vented.

Sewer right hand side good condition replaced to plastic at some stage all draining well and vented, changes to earthenware down at library and is in fair condition but draining well no blockages or cracked pipes however where the drain changes from plastic to earthenware has a lip which could cause blockage.

Stage toilets drainage original condition (old) draining well .

Drains for library and public toilets all plastic and in good condition no blockages or broken pipes all draining well into sewer manhole at rear of building.

All plumbing and fixtures that I have inspected at the hall is all mostly really good, working well only a few things need attention, a few drainage issues but all meets regulations I didn't find anything illegal or dodgy.



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If there are any questions about the property please don't hesitate to call.

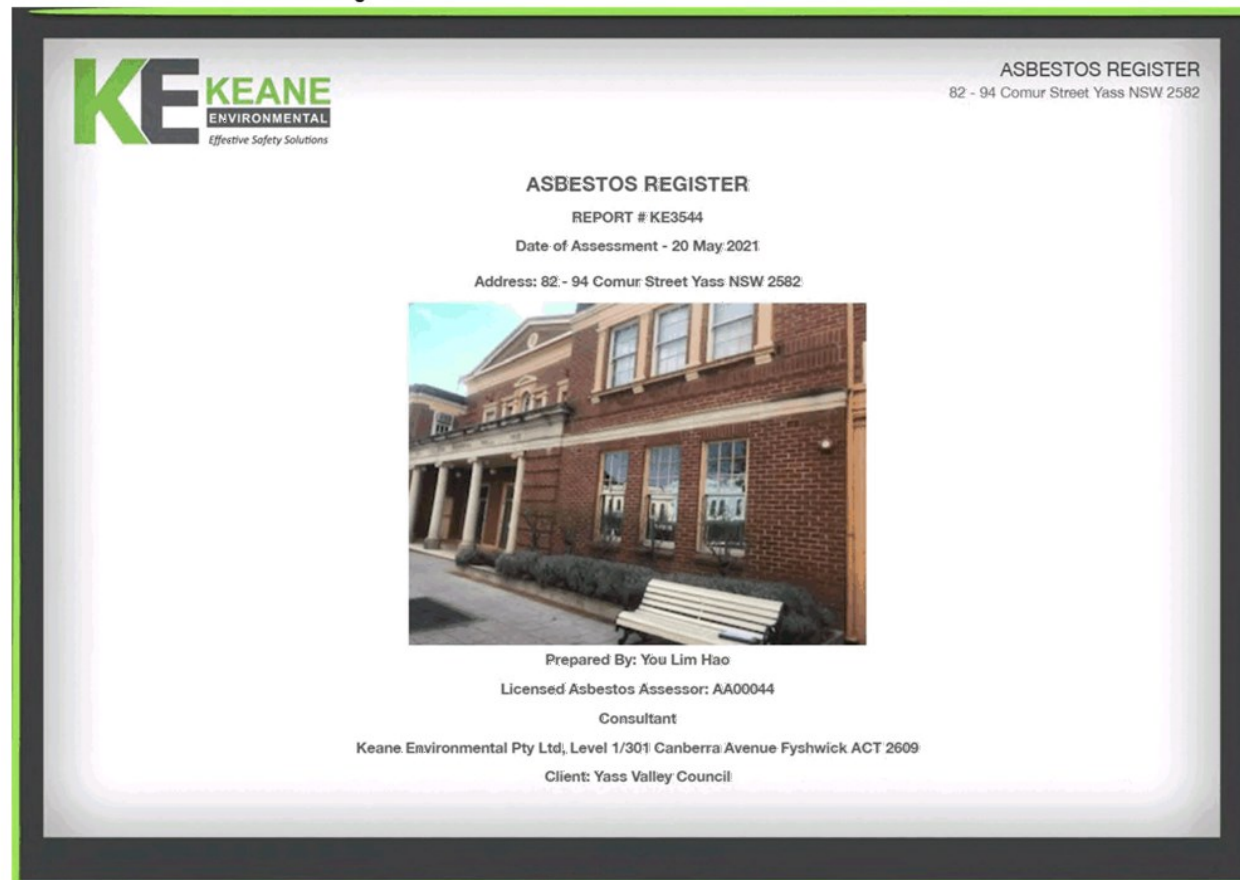
Sincerely,

Simon Gallie



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2.5 Keane Environmental – Asbestos Register.



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KE KEANE
ENVIRONMENTAL
Effective Safety Solutions.

ASBESTOS REGISTER
82 - 94 Comur Street Yass NSW 2582

DOCUMENT CONTROL

CURRENT

REPORT NO.	DATA ENTRY		APPROVED		DESCRIPTION
	DATE	PERSON	DATE	PERSON	
REPORT # KE3544	Date of Assessment - 20 May 2021	You Lim Hao 	09 July 2021	G Keane 	Asbestos Register

HISTORICAL

DOCUMENT NO.	DATE UPDATED	COMPANY	DESCRIPTION
KE-AR	-	Keane Environmental Pty Ltd	Asbestos Register Version 1

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ASBESTOS REGISTER
82 - 94 Comur Street Yass NSW 2582

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ASBESTOS REGISTER
82 - 94 Comur Street Yass NSW 2582

EXECUTIVE SUMMARY

Keane Environmental Pty Ltd was requested by the Kim Granger to undertake an Asbestos Survey at the 82 - 94 Comur Street Yass NSW 2582. The survey took place on the 20 May 2021. The assessment involved a visual inspection and investigation of areas likely to contain asbestos in the property and sampling of suspected asbestos containing material (ACM).

Samples collected during the audit were sent to a National Association of Testing Authorities (NATA) accredited laboratory under controlled chain of custody (CoC). The sample results can be found on the attached at Appendix A of this document.

The following area was found to contain asbestos and found to be in a good condition:

- **Mastic around windows frames**
- **Electrical switchboard backing sheet to all units.**
- **Snooker room ceiling**
- **Balcony sheet above Air-condition unit**
- **Meeting room ceiling**
- **Hallway Kitchen ceiling adjacent to meeting room**
- **Kitchen small ceiling and walls panels**
- **Gallery exit hallway ceiling**
- **Sheet behind fire place**
- **Archive - Blue floor tiles**
- **Black adhesive under floor tiles**



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ASBESTOS REGISTER
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- Male toilet ceiling Electrical Switch Board
- Male toilet suspension ceiling
- Male toilet ceiling debris
- Stage female toilet VFT/Grey
- Stage female toilet black adhesive under VFT
- Stage female toilet ceiling
- Stage male toilet ceiling
- Ceiling under female toilet stage
- Subfloor sheet debris
- Annex ceiling
- Annex Kitchen ceiling
- Kitchen storage walls
- Hallway, stairway and Community room ceiling
- Outdoor walkway ceiling
- Library staff toilet ceiling
- Library walls panels
- Public toilet ceilings throughout



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ASBESTOS REGISTER
82 - 94 Comur Street Yass NSW 2582

STATEMENT OF LIMITATIONS

The register was designed to be read as a whole document and must only be reproduced in full. All relevant legislation and best practice was followed during the time the assessment was conducted. All conclusions and recommendations are written by the assessor using their professional judgement and are based on the condition of the materials at the time the assessment was conducted.

While every effort was made to identify all ACM on site, no determination can be made for areas such as formwork under concrete slabs or inaccessible areas that the asbestos assessor could not be reasonably expected to identify (e.g. subterranean asbestos pipes, formwork or ACM behind ACM).

ASBESTOS MANAGEMENT PLAN INFORMATION

This document forms part of building's overall asbestos management plan. The overarching Asbestos Management Plan (AMP) contains information such as the background to asbestos, management of asbestos, and reviewing of the asbestos register.

This register should be kept on site and updated accordingly by a licensed assessor, as documented in the overarching Asbestos Management Plan. This document incorporates findings from the survey investigation. The inspection and sampling was undertaken by You Lim Hao a licensed asbestos assessor on the 24/05/2021.

Legislation requires all buildings constructed prior to the 31 December 2003 to have an asbestos management plan and register. Any commercial buildings constructed after the 31 December 2003 do not require to have an asbestos management plan and register and are deemed asbestos free.

The building occupiers must understand their obligation to ensure that all the asbestos containing material identified on site is managed in accordance with current legislative requirements to prevent health risks towards employees, contractors and the public.

ASBESTOS REMOVAL

A licensed asbestos removalist must be engaged for all asbestos removal work and must notify Safework NSW five (5) days prior to work commencing. A licensed asbestos assessor must be engaged to conduct a clearance inspection once the removal work is complete and issue a clearance certificate. Air monitoring is mandatory for all friable removal works.



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ASBESTOS REGISTER
82 - 94 Comur Street Yass NSW 2582

RISK ASSESSMENT & RECOMMENDATIONS

Identified ACM is risk assessed based on the following criteria:

- the condition of the material at the time of the assessment;
- the accessibility of the material;
- the likelihood of the material being disturbed resulting in a release of asbestos fibre.

The recommended actions are detailed in the asbestos register, however the asbestos material noted in the register must be removed prior to any refurbishment or demolition work commencing at the property.


CONTRACTORS

Any contractor engaged to conduct work at this property must be given the asbestos register to determine if the work will disturb any of the asbestos identified. No work must be carried out that may cause any disturbance ACM.

Unexpected Finds:

The survey was not intrusive and due to the limitations noted in this document, the unexpected finds procedure at Appendix C should be followed if material is uncovered suspected to be asbestos and is not noted in the asbestos register.






 <p>KE KEANE ENVIRONMENTAL Effective Safety Solutions</p>			<p>ASBESTOS REGISTER 82 - 94 Comur Street Yass NSW 2582</p>				
RISK SCORE MATRIX			RISK OF EXPOSURE				
			<p>VERY HIGH (High traffic / occupied area or activities occurring likely to cause damage to the material e.g. Populated office area)</p>	<p>HIGH (Moderate traffic / occupied area or potential activities likely to cause damage to the material e.g. Corridor or change room)</p>	<p>LOW (Low traffic / occupied areas with activities unlikely to cause damage to the material e.g. Warehouse / storage rooms)</p>	<p>LOW (Rooms / ceiling areas within a building/ house)</p>	<p>VERY LOW (E.g. Outdoors/plant rooms)</p>
			Critical	Major	Moderate	Minor	Minor
T Y P E & C O N D I T I O N	<p>FRIABLE & POOR e.g. Limpet spray or friable debris</p>	Almost certain	Very High	Very High	High	High	High
	<p>FRIABLE & FAIR e.g. Exposed pipe insulation</p>	Likely	Very High	High	High	High	Moderate
	<p>FRIABLE & GOOD e.g. Boiler gasket</p>	Possible	Moderate	Moderate	Moderate	Low	Low
	<p>NON FRIABLE & POOR e.g. Weathered cement products with visible debris or residual friable asbestos</p>	Unlikely	Low	Low	Low	Low	Low
	<p>NON FRIABLE AND FAIR / GOOD e.g. Vinyl floor tiles, cement sheet</p>	Rare	Low	Very Low	Very Low	Very Low	Very Low

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ASBESTOS REGISTER
82 - 94 Comur Street Yass NSW 2582


ASBESTOS REGISTER - YOUTH CENTRE

Asbestos detected				Presumed to contain asbestos			No asbestos detected	
LOCATION	MATERIAL	SAMPLE ID	Approx Qty m ²	TYPE & CONDITION	RISK OF EXPOSURE	RESULT	COMMENTS	PHOTO
Around front windows	Mastic	A1		Non Friable & fair	Low	Chrysotile Asbestos Detected	Label and Manage Inspect every 5 years	
To timber windows	Putty	A2	-	N/A	N/A	No Asbestos Detected	No further action required	
Youth centre Electrical Switch Board	Sheet	A3	1	Non Friable & good	Very Low	Chrysotile Asbestos Detected	Label and Manage Inspect every 5 years	




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Asbestos detected				Presumed to contain asbestos		No asbestos detected		
LOCATION	MATERIAL	SAMPLE ID	Approx Qty m ²	TYPE & CONDITION	RISK OF EXPOSURE	RESULT	COMMENTS	PHOTO
Snooker/Kitchen room ceiling	Sheet	A4	30	Non Friable & good	Very Low	Chrysotile Asbestos Detected	Label and Manage Inspect every 5 years	
Snooker room vinyl floor covering	VFC	A5	-	N/A	N/A	No Asbestos Detected	No further action required	
Snooker room brown vinyl floor tiles	VFT	A6	-	N/A	N/A	No Asbestos Detected	No further action required	

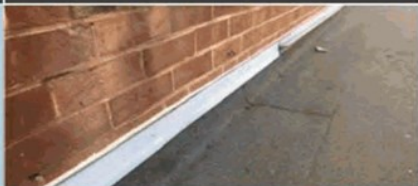
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Asbestos detected				Presumed to contain asbestos			No asbestos detected	
LOCATION	MATERIAL	SAMPLE ID	Approx Qty m ²	TYPE & CONDITION	RISK OF EXPOSURE	RESULT	COMMENTS	PHOTO
Walls panels above kitchen sink	Sheet	A7	-	N/A	N/A	No Asbestos Detected	No further action required	No Photo
Bitumen pad to underside of kitchen sink	Bitumen	A8	-	N/A	N/A	No Asbestos Detected	No further action required	

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Asbestos detected				Presumed to contain asbestos			No asbestos detected	
LOCATION	MATERIAL	SAMPLE ID	Approx Qty m ²	TYPE & CONDITION	RISK OF EXPOSURE	RESULT	COMMENTS	PHOTO
Balcony - on metal skirting	Mastic	A9	-	N/A	N/A	No Asbestos Detected	No further action required	
Balcony - bitumen membrane	Bitumen	A10	-	N/A	N/A	No Asbestos Detected	No further action required	
Balcony - to timber windows	Putty	A11	-	N/A	N/A	No Asbestos Detected	No further action required	


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Asbestos detected				Presumed to contain asbestos			No asbestos detected	
LOCATION	MATERIAL	SAMPLE ID	Approx Qty m ²	TYPE & CONDITION	RISK OF EXPOSURE	RESULT	COMMENTS	PHOTO
Balcony - to brickwork	Mastic	A12	-	N/A	N/A	No Asbestos Detected	No further action required	
Balcony - sheet above air conditioning unit	Sheet	A13	-	Non Friable & good	Very Low	Chrysotile Asbestos Detected	Label and Manage Inspect every 5 years	
Room 1 red vinyl floor covering and black adhesive	VFC	A14	-	N/A	N/A	No Asbestos Detected	No further action required	

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82 - 94 Comur Street Yass NSW 2582

Asbestos detected				Presumed to contain asbestos			No asbestos detected	
LOCATION	MATERIAL	SAMPLE ID	Approx Qty m ²	TYPE & CONDITION	RISK OF EXPOSURE	RESULT	COMMENTS	PHOTO
Room 1 Bitumen under vinyl floor covering adjacent meeting room	Bitumen	A15	-	N/A	N/A	No Asbestos Detected	No further action required	
Meeting room sheet behind heater	Sheet	A16	-	N/A	N/A	No Asbestos Detected	No further action required	
Rope to meeting room heater	Insulation	A17	-	N/A	N/A	No Asbestos Detected	No further action required	

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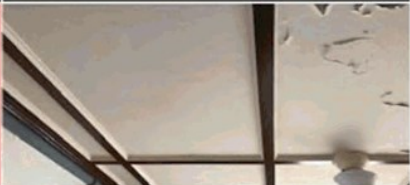


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ASBESTOS REGISTER

82 - 94 Comur Street Yass NSW 2582

Asbestos detected				Presumed to contain asbestos			No asbestos detected	
LOCATION	MATERIAL	SAMPLE ID	Approx Qty m²	TYPE & CONDITION	RISK OF EXPOSURE	RESULT	COMMENTS	PHOTO
Meeting room ceiling	Sheet	A18	~34	Non Friable & good	Very Low	Chrysotile Asbestos Detected	Label and Manage Inspect every 5 years	
Hallway and kitchen ceiling adjacent to meeting room	Sheet	A19	~40	Non Friable & good	Very Low	Chrysotile Asbestos Detected	Label and Manage Inspect every 5 years	
Kitchen brown vinyl floor covering	VFC	A20	-	N/A	N/A	No Asbestos Detected	No further action required	

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Asbestos detected				Presumed to contain asbestos			No asbestos detected	
LOCATION	MATERIAL	SAMPLE ID	Approx Qty m ²	TYPE & CONDITION	RISK OF EXPOSURE	RESULT	COMMENTS	PHOTO
Red vinyl floor covering to store room and female toilet	VFC	A21	-	N/A	N/A	No Asbestos Detected	No further action required	
To kitchen windows adjacent to meeting room	Putty	A22	-	N/A	N/A	No Asbestos Detected	No further action required	
Kitchen and small room ceiling and wall panels	Sheet	A23	22	Non Friable & good	Very Low	Chrysotile Asbestos Detected	Label and Manage Inspect every 5 years	




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Asbestos detected				Presumed to contain asbestos			No asbestos detected	
LOCATION	MATERIAL	SAMPLE ID	Approx Qty m ²	TYPE & CONDITION	RISK OF EXPOSURE	RESULT	COMMENTS	PHOTO
Hallway to gallery vinyl with paper backing under floor covering	VFC & paper	A24	20	Friable & fair	Low	Chrysotile Asbestos Detected	Label and Manage Inspect annually	
Gallery exit hallway ceiling	Sheet	A25	24	Non Friable & good	Very Low	Chrysotile Asbestos Detected	Label and Manage Inspect every 5 years	
Sheet behind fire place to Archive	Sheet	A26	2	Non Friable & good	Very Low	Amosite, Crocidolite & Chrysotile Asbestos Detected	Label and Manage Inspect every 5 years	




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Asbestos detected				Presumed to contain asbestos			No asbestos detected	
LOCATION	MATERIAL	SAMPLE ID	Approx Qty m ²	TYPE & CONDITION	RISK OF EXPOSURE	RESULT	COMMENTS	PHOTO
Archives area grey vinyl tiles covering	VFT	A27	-	N/A	N/A	No Asbestos Detected	No further action required	
Blue vinyl floor tiles	VFT	A28		Non Friable & good	Very Low	Chrysotile Asbestos Detected	Label and Manage Inspect every 5 years	
Black adhesive under VFT - in Archives	Sheet	A29		Non Friable & good	Very Low	Chrysotile Asbestos Detected	Label and Manage Inspect every 5 years	




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Asbestos detected				Presumed to contain asbestos			No asbestos detected	
LOCATION	MATERIAL	SAMPLE ID	Approx Qty m ²	TYPE & CONDITION	RISK OF EXPOSURE	RESULT	COMMENTS	PHOTO
Ceiling insulation	Insulation	A30	-	N/A	N/A	No Asbestos Detected	No further action required	
Wire insulation oyster light	Insulation	A31	-	N/A	N/A	No Asbestos Detected	No further action required	
Female toilet walls and panels	Sheet	A32	-	N/A	N/A	No Asbestos Detected	No further action required	



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Asbestos detected				Presumed to contain asbestos			No asbestos detected	
LOCATION	MATERIAL	SAMPLE ID	Approx Qty m ²	TYPE & CONDITION	RISK OF EXPOSURE	RESULT	COMMENTS	PHOTO
Male toilet ceiling Electrical Switch Board	Sheet	A33	1	Non Friable & good	Very Low	Chrysotile Asbestos Detected	Label and Manage Inspect every 5 years	
Male toilet suspended ceiling	Sheet	A34	10	Non Friable & good	Very Low	Chrysotile Asbestos Detected	Label and Manage Inspect every 5 years	
Male toilet ceiling debris	Sheet	A35	-	Non Friable & fair	Low	Chrysotile Asbestos Detected	Remove	

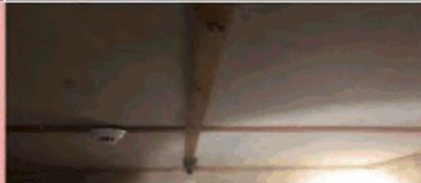


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Asbestos detected				Presumed to contain asbestos			No asbestos detected	
LOCATION	MATERIAL	SAMPLE ID	Approx Qty m ²	TYPE & CONDITION	RISK OF EXPOSURE	RESULT	COMMENTS	PHOTO
Male toilet walls and panels	Sheet	A36	-	N/A	N/A	No Asbestos Detected	No further action required	
Male toilet sheet under floor tiles	Sheet	A37	-	N/A	N/A	No Asbestos Detected	No further action required	
Stage female toilet VFT/Grey/blue	VFT	A38	30	Non Friable & good	Very Low	Chrysotile Asbestos Detected	Label and Manage Inspect every 5 years	




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Asbestos detected				Presumed to contain asbestos			No asbestos detected	
LOCATION	MATERIAL	SAMPLE ID	Approx Qty m ²	TYPE & CONDITION	RISK OF EXPOSURE	RESULT	COMMENTS	PHOTO
Stage female toilet black adhesive under VFT	Adhesive	A39	30	Non Friable & good	Very Low	Chrysotile Asbestos Detected	Label and Manage Inspect every 5 years	
Stage female toilet ceiling	Sheet	A40	8	Non Friable & good	Very Low	Chrysotile Asbestos Detected	Label and Manage Inspect every 5 years	
Stage male toilet ceiling	Sheet	A41	8	Non Friable & good	Very Low	Chrysotile Asbestos Detected	Label and Manage Inspect every 5 years	




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Asbestos detected				Presumed to contain asbestos			No asbestos detected	
LOCATION	MATERIAL	SAMPLE ID	Approx Qty m ²	TYPE & CONDITION	RISK OF EXPOSURE	RESULT	COMMENTS	PHOTO
Ceiling under female toilet stage	Sheet	A42	30	Non Friable & good	Very Low	Chrysotile Asbestos Detected	Label and Manage Inspect every 5 years	
Subfloor sheet packers	Sheet	A43	-	N/A	N/A	No Asbestos Detected	No further action required	
Subfloor sheet debris	Sheet	A44	-	Non Friable & fair	Very Low	Chrysotile Asbestos Detected	Prohibit access until removed	




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Asbestos detected				Presumed to contain asbestos			No asbestos detected	
LOCATION	MATERIAL	SAMPLE ID	Approx Qty m ²	TYPE & CONDITION	RISK OF EXPOSURE	RESULT	COMMENTS	PHOTO
Annex ceiling	Sheet	A45	34	Non Friable & good	Very Low	Chrysotile Asbestos Detected	Label and Manage Inspect every 5 years	
Annex Kitchen ceiling	Sheet	A46	14	Non Friable & good	Very Low	Chrysotile Asbestos Detected	Label and Manage Inspect every 5 years	
Annex Kitchen VFC/Grey	VFC	A47	-	N/A	N/A	No Asbestos Detected	No further action required	

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Asbestos detected				Presumed to contain asbestos			No asbestos detected	
LOCATION	MATERIAL	SAMPLE ID	Approx Qty m ²	TYPE & CONDITION	RISK OF EXPOSURE	RESULT	COMMENTS	PHOTO
Annex Kitchen VFC/Brown	VFC	A48	-	N/A	N/A	No Asbestos Detected	No further action required	
Kitchen storage walls	Sheet	A49	16	Non Friable & good	Very Low	Amosite, Crocidolite & 7 Chrysotile Asbestos Detected	Label and Manage Inspect every 5 years	
Hallway, stairway and Community room ceiling	Sheet	A50	20	Non Friable & good	Very Low	Amosite, Crocidolite & Chrysotile Asbestos Detected	Label and Manage Inspect every 5 years	

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Asbestos detected				Presumed to contain asbestos			No asbestos detected	
LOCATION	MATERIAL	SAMPLE ID	Approx Qty m ²	TYPE & CONDITION	RISK OF EXPOSURE	RESULT	COMMENTS	PHOTO
Community room Grey/VFT under carpet	VFT	A51	-	N/A	N/A	No Asbestos Detected	No further action required	
Outdoor walkway ceiling	Sheet	A52	20	Non Friable & good	Very Low	Chrysotile Asbestos Detected	Label and Manage Inspect every 5 years	
Library staff toilet ceiling	Sheet	A53	12	Non Friable & good	Very Low	Chrysotile Asbestos Detected	Label and Manage Inspect every 5 years	

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				ASBESTOS REGISTER 82 - 94 Comur Street Yass NSW 2582				
Asbestos detected				Presumed to contain asbestos			No asbestos detected	
LOCATION	MATERIAL	SAMPLE ID	Approx Qty m ²	TYPE & CONDITION	RISK OF EXPOSURE	RESULT	COMMENTS	PHOTO
Public toilet ceilings throughout	Sheet	A54	14	Non Friable & good	Very Low	Chrysotile Asbestos Detected	Label and Manage Inspect every 5 years	
Insulation to hot water pipes in masonry walls	Insulation	-	-	Presumed	Low	Presumed	Investigate prior to refurbishment	

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82 - 94 Comur Street Yass NSW 2582

APPENDICES



ASBESTOS REGISTER
82 - 94 Comur Street Yass NSW 2582

Hazmat Labs

Heatset Lake Canberra
Canberra Site Number 195331
Level 1, 301 Canberra Avenue, Pyramus ACT 2608
P 02 6226 0212 | E info@canberra.com.au | W canberra.com.au
Auss 02 138 200 000

TEST METHOD:

SAMPLE REFERENCE	LABORATORY REFERENCE	SAMPLE INFORMATION	SAMPLE DIMENSIONS (mm)(WEIGHT)(g)	ANALYTICAL RESULT
------------------	----------------------	--------------------	-----------------------------------	-------------------

Advantages and notes

- Greater measurement reliability across trials for all materials. In particular, for sample volume in 50–10000 approximately 50 to 2500 g, it is the sampling ratio's responsibility to ensure RSD recommendations.
- Other analytical methods require consistent method execution to not cause an NEN 6034 exception, such as **NEN 6034**.
- Chemical tests require volume of sample size in check against, however NEN 6034 accept responsibility for the sampling methodology/execution/operation or packaging of samples from external sources. Please note these tests apply only to the sample as received.
- The NEN 6034 sampling plan is in accordance with the NEN 6034 reference in conjunction with Dispersion sampling techniques. This client is advised to obtain a further result from an independent confirming analytical technique due to the nature of sample, e.g. sampling analytical technique (SAC).

JHEP01(2020)170


Neemat Latta Carberry
Carberry Site Number 205222
Level 1, 301 Carberry Avenue, Pyrmont NSW 1509
P 02 8328 0212 | E info@nml.com.au | W neematlatta.com.au
Appl 92 100 200 000

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JHEP01(2020)106

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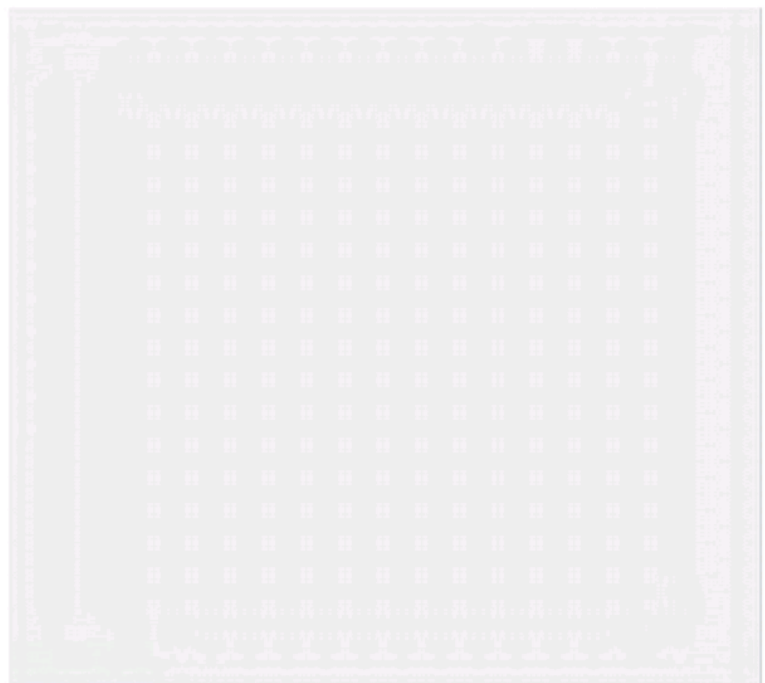
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Hazmat Labs


Certificate of analysis - asbestos identification - KE3544597/2521AD

Sample ID	Location	Material	Weight (g)	Result
A37	KE3544-A37	Male toilet under floor tiles	4.00 g	NAD, CRD
A38	KE3544-A38	Stage female toilet Grey vinyl floor tiles	3.00 g	CHR
A39	KE3544-A39	Stage female toilet black adhesive under Grey vinyl floor tiles	1.00 g	CHR
A40	KE3544-A40	Stage female toilet ceiling	1.00 g	CHR
A41	KE3544-A41	Stage male toilet ceiling	1.00 g	CHR
A42	KE3544-A42	ceiling under stage	3.00 g	CHR
A43	KE3544-A43	Subfloor sheet packers	5.00 g	NAD, CRD
A44	KE3544-A44	Subfloor sheet debris	3.00 g	CHR
A45	KE3544-A45	Annex ceiling	1.00 g	CHR
A46	KE3544-A46	Annex kitchen ceiling	1.00 g	CHR
A47	KE3544-A47	Annex kitchen grey vinyl flooring	3.00 g	NAD, BMP
A48	KE3544-A48	Annex kitchen brown vinyl under grey vinyl flooring	3.00 g	NAD, BMP, CRD
A49	KE3544-A49	Kitchen storage walls	1.00 g	CHR, AMD
A50	KE3544-A50	Ceiling Sheet	2.00 g	CHR, AMD
A51	KE3544-A51	Grey vinyl tiles under carpet	4.00 g	NAD, CRD



Notes:

- 1. No asbestos detected.
- 2. No asbestos detected in any material sampled.
- 3. No asbestos detected in any material sampled.
- 4. No asbestos detected in any material sampled.
- 5. No asbestos detected in any material sampled.
- 6. No asbestos detected in any material sampled.
- 7. No asbestos detected in any material sampled.
- 8. No asbestos detected in any material sampled.
- 9. No asbestos detected in any material sampled.
- 10. No asbestos detected in any material sampled.



NATA
NATIONAL ASSOCIATION OF TESTING AND ANALYSIS

APPROVED ANALYST:

Name: *David Evans* Signature: *[Signature]*

APPROVED MONITOR:

Name: *David Evans* Signature: *[Signature]*

Disclaimer:
 Asbestos removal clearance samples are for all materials, in particular, and sample volume is 50-100g approximately 50-100g. It is the sampling party's responsibility to meet the recommendations.
 Other sampling methods, such as bulk sampling, are not used by NATA. Asbestos removal clearance is not used by NATA. Asbestos removal clearance is not used by NATA. Asbestos removal clearance is not used by NATA.
 The results of this report are valid for 12 months from the date of sampling. The results of this report are valid for 12 months from the date of sampling. The results of this report are valid for 12 months from the date of sampling.
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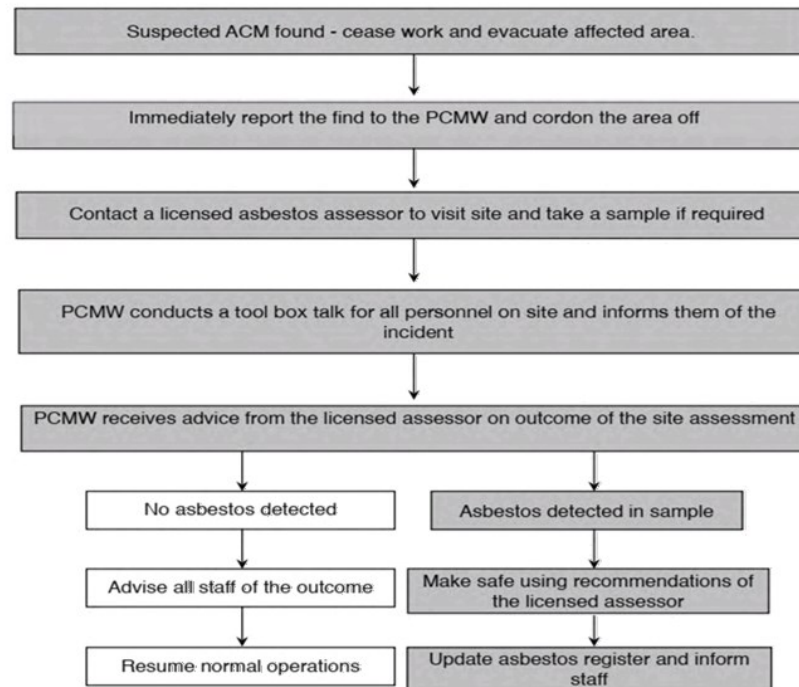
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APPENDIX B - ASBESTOS REMOVAL CLEARANCE CERTIFICATES



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APPENDIX C - ASBESTOS UNEXPECTED FINDS PROCEDURE



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APPENDIX D - APPLICABLE LEGISLATION

The latest edition of the following legislation is applicable to Asbestos Assessments in Workplaces:

Work Health and Safety Act 2011.

Work Health and Safety Regulation 2017.

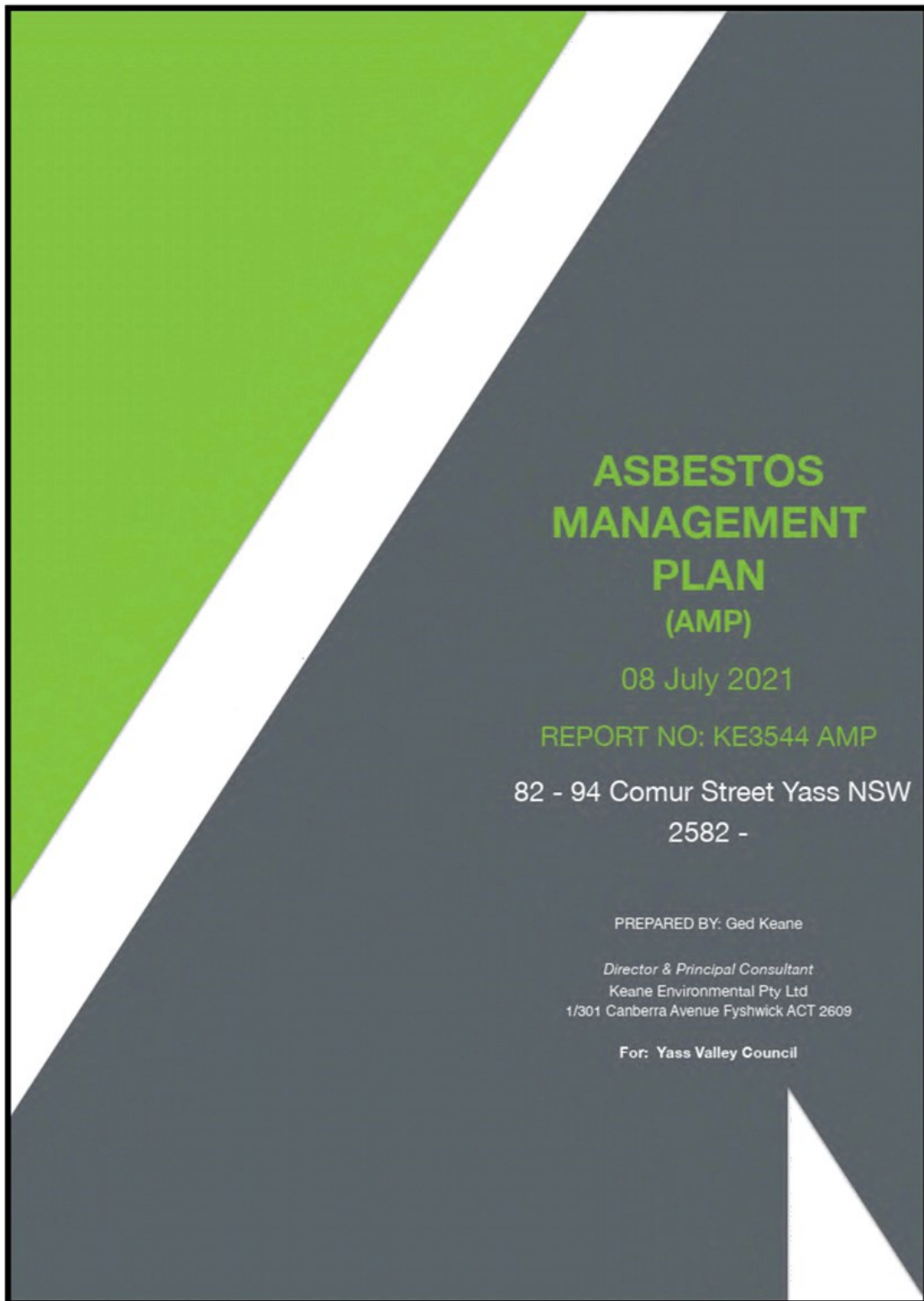
Work Health and Safety (How to Manage and Control Asbestos in the Workplace Code of Practice) 2019.

Work Health and Safety (How to Safely Remove Asbestos Code of Practice) 2019.



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2.6 Keane Environmental - Asbestos Management Plan.



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ASBESTOS MANAGEMENT PLAN
82 - 94 Comur Street Yass NSW 2582

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ASBESTOS MANAGEMENT PLAN

82 - 94 Comur Street Yass NSW 2582

INTRODUCTION

The building management team at the Yass Valley Council, understand their obligation to manage asbestos containing material (ACM) in the building if identified. Please refer to the building register asbestos when reading the AMP.

Due to the age of the building on site and the sampling conducted it is unlikely that any further asbestos containing materials are present that may not yet have been identified apart from possibly formwork in the original building foundations. The non destructive limitations can be found in the building asbestos register.

Legislation requires all buildings constructed prior to the 31 December 2003 to have an asbestos management plan and register. This AMP forms the overarching policy document on how the occupants of the building should manage ACM in their building and a separate asbestos register kept detailing the ACM present in the building along with a current risk assessment.

Any buildings constructed after the 31 December 2003 do not require to have an asbestos management plan and register and are deemed asbestos free.

The building owners will arrange an intrusive / destructive asbestos survey on any building areas constructed prior to 1990 or machinery installed prior to December 2003 that are to undergo major renovation/demolition works.

The occupiers of the building must understand their obligation to ensure that all the asbestos containing materials identified on site are managed in accordance with current legislative requirements to prevent health risks towards employees, contractors and the public.

In order to comply with the Work Health and Safety (WHS) Act 2011 and associated regulation, the owners of 82 - 94 Comur Street Yass NSW 2582, have engaged Keane Environmental Pty Ltd (KEC) to prepare this Asbestos Management Plan (AMP) to assist with the management of asbestos containing materials throughout their building.

MISSION STATEMENT

- To aim for an asbestos free or asbestos safe workplace long term.
- In the interim the objective is to reduce the risks of all asbestos containing materials on site to as low as is reasonably practicable, ideally this will be a low or very low risk.
- The low risk ACM will be managed through a process of awareness, administrative controls and frequent inspection.



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ASBESTOS MANAGEMENT PLAN

82 - 94 Comur Street Yass NSW 2582

BACKGROUND

BACKGROUND

Asbestos is a naturally occurring mineral fibre, consisting of two groups:

- Serpentine Group – comprised of only chrysotile (white asbestos)
- Amphibole Group – comprised of anthophyllite, amosite (brown asbestos or grey asbestos), crocidolite (blue asbestos), tremolite, and actinolite.

Due to its flexibility, tensile strength, insulating properties (both heating and electrical), chemical inertness and affordability, asbestos was widely regarded as one of the most versatile materials.

These properties made asbestos a very popular material, and it was used in many industries and applications worldwide. Australia was one of the highest users per capita in the world up until the mid 1980s. It is approximated that one-third of all homes built in Australia contain asbestos products. Raw asbestos was mined extensively throughout Australia the mid 1980s.

Asbestos containing materials (ACMs) can be categorised as friable and non-friable:

- Non-friable asbestos is usually bonded in a matrix after it has been mixed with other materials like cement resins or plastics. Non friable asbestos is most commonly found in the built environment.
- Friable asbestos is defined as any asbestos material that can be crumbled, pulverised or reduced to a powder by hand pressure when dry and is much more likely to produce airborne fibres.

Both friable and non-friable asbestos pose a significant health risk to all workers and others, and as such are governed by strict regulations and codes of practice. ACM must be identified and then properly managed until a time when they are to be carefully removed.

The Work Health Safety (WHS) Regulations set out the training and competency requirements for asbestos assessors, asbestos removal workers and supervisors. Under the Regulations, two licenses have been established – Class A and Class B. Businesses with a Class A licence are permitted to remove all types of asbestos, including both friable and non-friable asbestos. Businesses with a Class B license can only remove non-friable asbestos. The WHS Regulations have also created a new license for asbestos assessors, whom must be employed to carry out air monitoring and clearance inspections following removal of friable asbestos.



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ASBESTOS MANAGEMENT PLAN

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LEGISLATIVE REQUIREMENTS

This Asbestos Management Plan has been prepared in accordance with the following documentation:

NO.	DOCUMENT NAME
1	Work Health and Safety Act (2011)
2	Work Health and Safety Regulation (2017)
3	How to Manage and Control Asbestos in the Workplace – Code of Practice
4	How to Safely Remove Asbestos – Code of Practice
5	Guidance Note on the Membrane Filter Method for Estimating Airborne Asbestos Fibres 2nd Edition (NOHSC: 3003(2005))

DUTIES UNDER THE WHS REGULATION 2017

The Work Health and Safety (WHS) legislation, Section 422 of the WHS Regulations 2017 placed the following duties on a person with management or control of a workplace (PMCW) a PMCW within the building this would be a Compliance, Facilities or Building Manager.

422 Asbestos to be identified or assumed at workplace

(1) A person with management or control of a workplace must ensure, so far as is reasonably practicable, that all asbestos or ACM at the workplace is identified by a competent person.

Maximum penalty:

- (a) in the case of an individual—\$3,600, or
- (b) in the case of a body corporate—\$18,000.

(2) A person with management or control of a workplace must:

- (a) if material at the workplace cannot be identified but a competent person reasonably believes that the material is asbestos or ACM—assume that the material is asbestos, and
- (b) if part of the workplace is inaccessible to workers and likely to contain asbestos or ACM—assume that asbestos is present in the part of the workplace.

(3) Subclause (1) does not apply if the person:

- (a) assumes that asbestos or ACM is present, or
- (b) has reasonable grounds to believe that asbestos or ACM is not present.

(4) If asbestos or ACM is assumed to be present at a workplace, it is taken to be identified at the workplace. The above only applies to a workplace built **before 31 December 2003**.

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ASBESTOS MANAGEMENT PLAN
82 - 94 Comur Street Yass NSW 2582

THE MANAGEMENT PLAN

INTRODUCTION

This AMP applies to 82 - 94 Comur Street Yass NSW 2582, where asbestos containing materials (ACM) are present and follows the general principles of the asbestos management plan set out in current legislation.

The AMP sets out the steps on how the PMCW will manage any identified ACM and provide a safe and healthy work environment for its workers, contractors and visitors by:

KEY ASPECTS

The key aspects of the this Asbestos Management Plan are to:

- Aim for an asbestos free or asbestos safe workplace
- Aim to label all identifiable ACM and record them in the register where reasonably practicable, or deemed appropriate to do so
- Perform a risk assessment on all ACM
- Implement appropriate control measures based on the risk assessment
- Ensure consultation across all stakeholders
- Ensure legislative compliance

GENERAL PRINCIPLES

In accordance with the management plan the PMCW will:

- Continue to assess and/or survey the site buildings to ascertain the presence of asbestos (e.g. demolition asbestos surveys before major building works occur).
- Maintain the register containing the location or suspected location of asbestos, and review annually, or beforehand if there are any changes to the asbestos on site (e.g. Removal or remediation of asbestos).
- Assess potential health risks and implement control mechanisms.
- Remove or control asbestos materials that pose an immediate health risk.



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ASBESTOS MANAGEMENT PLAN

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ONGOING MANAGEMENT

The following hierarchy of controls, as recommend by current legislation, will be used as a driver to the ongoing management of the ACM identified on site:

1. Elimination or removal
2. Isolation, enclosure or sealing
3. Engineering controls
4. Safe work practices (administrative controls)
5. Personal protective equipment (least preferred)

If no single highest order control is suitable, then a combination of the above may be required.

REVIEW OF THE MANAGEMENT PLAN

The PMCW must ensure the AMP is reviewed and revised if necessary, but no longer than five years or when:

- There is a review of the asbestos registers or a control measure.
- ACM is removed from or disturbed, sealed or enclosed at the property.
- The plan is no longer adequate for managing ACM at the property.
- A health and safety representative requests a review if they reasonably believe that any of the matters listed in the above points affects or may affect the health and safety of a member of their work group and the AMP was not adequately reviewed.

THE ASBESTOS REGISTER

The Asbestos Register covers the recording of ACM or sample locations, survey and analysis results in a register, which forms the basis of the asbestos register for recording and documenting asbestos remediation and mitigation information.

The PMCW will maintain an accurate register of ACM. This register shall contain the following information:

- The locations, form, types, and condition of any ACM identified.
- Details of any material presumed to contain asbestos.
- Asbestos identification NATA laboratory results (kept in a separate document).
- Date the survey or re-inspection was conducted.
- The name of the licensed asbestos assessor who carried out the survey/re-inspection.
- Risk assessment ratings.



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ASBESTOS MANAGEMENT PLAN

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- Results and date of any air monitoring testing and clearance inspections.
- Control measures recommended and implemented.
- Remediation and maintenance measures and records.

An asbestos register is not required if a workplace/building has been constructed after 31 December 2003 or if no asbestos has been identified.

REVIEW OF THE ASBESTOS REGISTER

The PMCW must ensure an asbestos register is reviewed and where necessary revised by a licensed asbestos assessor if:

- the asbestos management plan is reviewed
- if asbestos or ACM is identified at the workplace
- asbestos is removed from or disturbed, sealed or enclosed at the workplace.

ACM noted in the asbestos register should be reinspected within the timeline stipulated by the asbestos assessor who originally assessed the ACM. The interval between assessments will be based on risk.

When reviewing the asbestos register, the assessor should carry out a visual inspection of any ACM listed to determine its condition and revise the asbestos register as appropriate. Previous asbestos registers and records relating to asbestos removal jobs, for instance clearance certificates, can assist in identifying all ACM in the workplace.

ACCESS TO THE ASBESTOS REGISTER

The PMCW must ensure the asbestos register is readily accessible to:

- a worker who has carried out, carries out or intends to carry out work at the workplace.
- health and safety representatives who represent workers who carry out or intend to carry out work at the workplace.
- a person conducting a business or undertaking who has carried out, carries out or intends to carry out work at the workplace.
- a person conducting a business or undertaking who has required, requires or intends to require work to be carried out at the workplace.

A copy of the asbestos register will be kept on site to ensure it is accessible.



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ACM Risk Assessment Criteria

The Purpose of the risk assessment is to allow informed decisions to be made about asbestos control measures, including training, air monitoring and health surveillance requirements.

Only Licensed Asbestos Assessors or a competent person must perform risk assessments or any subsequent reviews or revisions of risk assessments.

Decisions about control measures to protect employees, contractors, visitors and personnel who hire the buildings will depend on the assessed risk. The risk assessment shall take into account of the information in the register of ACM including:

- The condition of the ACM (e.g. whether they are friable or non friable and stable, and whether they are liable to damage or deterioration).
- The likelihood of exposure.
- Whether the nature or location of any work to be carried out is likely to disturb the ACM.
- The results of the risk assessment should be documented in the register of ACM.

KECs risk assessment matrix can be found in the asbestos register for the Building.



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CONSULTATION AND COMMUNICATION

The PMCW must understand the importance of education and awareness surrounding asbestos containing materials. This plan aims to provide consultation between relevant stakeholders at each step of the process.

RESPONSIBLE PERSONS

NAME	COMPANY	POSITION	CONTACT
Ged Keane	Keane Environmental Pty Ltd	Licensed Asbestos Assessor	0418 289 182

STAFF

The PMCW must ensure staff are informed that an asbestos register is present on site.

All training, including asbestos awareness should be captured in a document similar to the Staff Training Register found in *Appendix A*.

CONTRACTORS

An asbestos register has been created for the property and the register should be kept available on site. Any contractors who conduct work on site must be given a copy of the asbestos register before work has commenced. Where direct marking of asbestos has not been carried out (see below), identifying the presence and location of asbestos to contractors before they commence work may be achieved by implementing a sign off or permit-to-work system.

Contractors general responsibilities are:

- Read the building asbestos registers and sign off to acknowledge their duties and responsibilities in respect to asbestos management.
- Checking the Asbestos Register before undertaking work at the building.
- Ensure their employees have the required asbestos awareness training.
- Stop work if ACM is suspected in the work area not previously identified and immediately notify the PMCW who will arrange testing for the suspected ACM.
- Notify the PMCW prior to any works that could directly disturb any existing or known ACM.
- Prepare and implement safe work method statements for work on or in the vicinity of ACM.
- Notify and get approval from the PMCW for licensed asbestos removal contractor engagement and scope of work prior to any work beginning.



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Contractors must sign off that they have received and understood information regarding ACMs at the building. An example Contractors Sign Off Register can be found in *Appendix B*.

EMERGENCY PROCEDURES

If asbestos containing materials have been disturbed, or damaged on site, the area must be isolated, and a licensed asbestos assessor should be contacted for advice (see responsible persons section). The licensed asbestos assessor would provide advice on how the emergency should be handled.

Please refer to Appendix D - Emergency Procedures further instructions.

RECORDS

Records must be kept of any works performed on asbestos containing materials. They should be kept on site with this document and all asbestos registers. This includes any removals works, air monitoring etc. Records should show:

- Details and scope of the work performed.
- Names of those performing the work.
- Date or dates of the work.
- Include copies of any clearance certificates or permits.



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MANAGING THE ASBESTOS ON SITE

There are a variety of maintenance and service work processes that have the potential to disturb asbestos containing materials. These include any process that is likely to release asbestos fibres from the materials found on site and the PMCW must recognise the following to be potentially a hazardous process:

REFURBISHMENT OR DEMOLITION AUDIT

ACM may be present in a building/facility (hidden within the fabric of the building) but not recorded in the register. Prior to any major fit out, refurbishment work, major upgrade work on plant and machinery or demolition work which could disturb known or presumed ACM an intrusive survey should be conducted.

An intrusive asbestos audit can involve investigating areas and surfaces not previously accessed in the previous asbestos survey (i.e. hot water pipes in masonry walls, tiled or linoleum lined wall surfaces, eaves, voids, service risers and under carpeted areas for example).

The PMCW is responsible for organising an assessor to conduct an intrusive asbestos building audit to identify all ACM, so far as reasonably practicable. Any intrusive asbestos audit must be conducted by a suitably qualified person.

LABELLING

All Identified ACM should be labelled with approved asbestos warning labels or signs. Due to stigma associated with asbestos and to avoid malicious damage to ACM, labelling can be kept to discreet areas. Where labelling cannot be undertaken, the building management team will adopt strict administrative controls to ensure ACM is not subject to accidental damage.

Examples of compliant labels can be seen in Appendix C.

LICENCED ASBESTOS REMOVALS CONTRACTORS

Planned asbestos removal works should be conducted in accordance with the Code of practice for the Safe Removal of Asbestos. It is important to note that Safework NSW requires 5 working days notification/permit, submitted by the Class A Class A licensed asbestos removalist prior to any removal work commencing – unless emergency conditions apply.

A Class A licensed asbestos removal contractor will conduct works involving the removal of ACM within the building. Any amount of non-friable asbestos is specified for mandatory engagement of a Class A licensed asbestos removalist and for all friable asbestos product or material. The Class A licensed asbestos removal contractor must submit an asbestos removal control plan (ARCP) for review to a licensed asbestos assessor before work can commence. Attached at appendix E is a table of what should be in an ARCP.

Contractors must ensure that all asbestos related works are carried out in accordance with the legislative documents and guidance material listed on page 4.

Where asbestos remediation work is required, the PMCW of the workplace will nominate the Class A licensed asbestos removalist and a licensed asbestos assessor. The licensed asbestos assessor must be engaged to conduct clearance inspections on all asbestos removal work.



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Air monitoring is mandatory during the removal of friable asbestos. A Licensed Asbestos Assessor must also be employed to undertake the air monitoring and clearance inspection, which involves a visual inspection and clearance monitoring of the asbestos work area.

The licensed assessor must be totally independent of the asbestos removalist.

Once it has been established that the removal work has been completed satisfactorily, a clearance certificate and copy of the air monitoring certificate must be issued to provide assurance that the area is safe for normal reoccupation.

Any asbestos that remains in-situ following asbestos removal works must be communicated to the ASC and the AMP and asbestos register must be updated.

The following Elements are required prior to any asbestos removal work:

- Review of proposed work by the PMCW with the service contractor or builder.
- Review of ARCP and SWMS submitted by Class A licensed asbestos removalist prior to work commencing.
- Review of licensed asbestos removal contractor's ARCP and SWMS by the PMCW, prior to work commencing.
- Review of proposed licensed asbestos assessor services relating to any supervision, air monitoring and clearance inspections.
- Review of previous asbestos remediation records.
- Inform all stakeholders who could be affected by the remediation works.

NON LICENSED REMOVAL WORKS

Removal of asbestos must be conducted by Class A or Class B asbestos removal licence holders.

Friable asbestos materials must not be removed by a person who does not have a Class A asbestos licence.

The PMWC shall provide information on the presence of ACM to contractors engaged to conduct work at the Buildings. Minor work must be performed in accordance with the safe work practices for minor work with ACM at the appendices of the Codes of Practice for the Management and Control of Asbestos in the Workplace.

Minor work usually involves:

- Cleaning of gutters for asbestos roofs.
- Drilling of asbestos cement sheeting.
- Patch repairing damaged asbestos cement sheeting or vinyl floor coverings.
- Preparation and painting of asbestos cement sheet claddings.

All contractors who carry out any asbestos minor work that does not require a licence must have insurance cover for working with ACM and have the necessary training requirements.



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ACCIDENTAL EXPOSURE TO ASBESTOS CONTAINING MATERIAL

Where staff have been exposed to asbestos through an accidental event, but the Exposure Standards not breached (air monitoring required to prove this) they would not normally be required to undergo health surveillance monitoring, staff are to be made aware of their opportunity to consult Health and Safety Staff for counselling or assessment.

REPORTING ASBESTOS CONTAINING MATERIAL INCIDENTS

Part 3 of the WH&S Act 2011 deals with notifiable incidents and explains what a notifiable incident is. Under the Act exposure to a substance is classed as a notifiable incident and must be reported to the regulator (SafeWork NSW) ASAP.

The incident is to be reported to the building/facilities manager and the asbestos emergency procedures detailed at appendix D followed.

AIR MONITORING RESULTS

Once the results of the air monitoring are received the PMCW must use the table below to determine if any action is required. The Class A licensed asbestos removalist must take action depending on the respirable asbestos fibre level. Where the results show that respirable asbestos fibre levels exceed the action levels outlined in the table on the following page, action must be taken immediately.



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Action level	Control	Action
Less than 0.01 fibres/ml	No new control measures are necessary	Continue with control measures
At 0.01 fibres/ml or more than 0.01 fibres/ml but less than or equal to 0.02 fibres/ml	1. Review	Review control measures
	2. Investigate	Investigate the cause
	3. Implement	Implement controls to eliminate or minimise exposure and prevent further release
More than 0.02 fibres/ml	1. Stop removal work	Stop removal work
	2. Notify PMCW	Phone and email PMCW
	3. Notify Safework NSW	Notify Safework NSW by phone followed by fax or written statement that work has ceased and send a copy of the results of the air monitoring.
	4. Investigate the cause	Conduct a thorough visual inspection of the enclosure (if used) and associated equipment in consultation with all workers involved with the removal work
	5. Implement controls to eliminate or minimise exposure and prevent further release	Extend the isolated/barricaded area around the removal area/enclosure as far as reasonably practicable (until fibre levels are at or below 0.01 fibres/ml, wet wipe and vacuum the surrounding area, seal any identified leaks (e.g. with expandable foam or tape) and smoke test the enclosure until it is satisfactorily sealed.
	6. Do not recommence removal work until further air monitoring is conducted	Do not recommence until fibre levels are at or below 0.01 fibres/ml

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HEALTH MONITORING

The PMCW will arrange health monitoring where a member of staff, contractor or visitor is at risk of exposure to asbestos due to work at a building that has exposed them to asbestos. Health monitoring must also be undertaken where there is a risk of exposure including for example ongoing unlicensed removal work, undertaking maintenance work on ACM regularly as part of another job (for instance, electricians or building maintenance staff in older buildings). The need for health monitoring for these people should be determined on the basis of:

- the potential for exposure
- the frequency of potential exposure
- the duration of the work being undertaken.

Health monitoring must be carried out under the supervision of a registered medical practitioner with the relevant competencies. Prior to deciding who the registered medical practitioner will be, the PMCW will consult the person.

The person who commissions health monitoring must provide the following information to the registered medical practitioner:

- their name and address
- the name and date of birth of the person
- a description of the work the person is, or will be, carrying out that has triggered the requirement for health monitoring
- whether the person has started the work or, if the person has commenced carrying out the work, how long this has been for.

A person who commissions health monitoring must take all reasonable steps to obtain a report from the registered medical practitioner as soon as practicable after the monitoring is carried out.

The health monitoring report must include the following information:

- the name and date of birth of the person
- the name and registration number of the registered medical practitioner
- the name and address of the person who commissioned the health monitoring
- the date of the health monitoring
- any advice that test results indicate the person may have contracted a disease, injury or illness as a result of carrying out the work that triggered the need for health monitoring any recommended remedial measures, including whether the person can continue to carry out the work
- whether medical counselling is required for the person.



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That person must also give a copy of the report, as soon as reasonably possible after obtaining it from the medical practitioner, to:

- the person
- the regulator, if the report contains:
- any test results that indicate the person may have contracted a disease, injury or illness as a result of the work that triggered the need for health monitoring.
- any recommended remedial measures, including whether the person can continue to carry out the work.

Reports must be kept as a confidential record for at least 40 years after the record is made and identified as a formal record for the particular person. The report and results must not be disclosed to anyone unless the person has provided their written consent. However, if the person was releasing the record under a duty of professional confidentiality, the person's written consent is not required.



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APPENDICES





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APPENDIX A: STAFF TRAINING REGISTER

[illegible]



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APPENDIX B: CONTRACTORS SIGN IN FORM

[illegible]

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APPENDIX C: EXAMPLES OF LABELS AND WARNING SIGNS

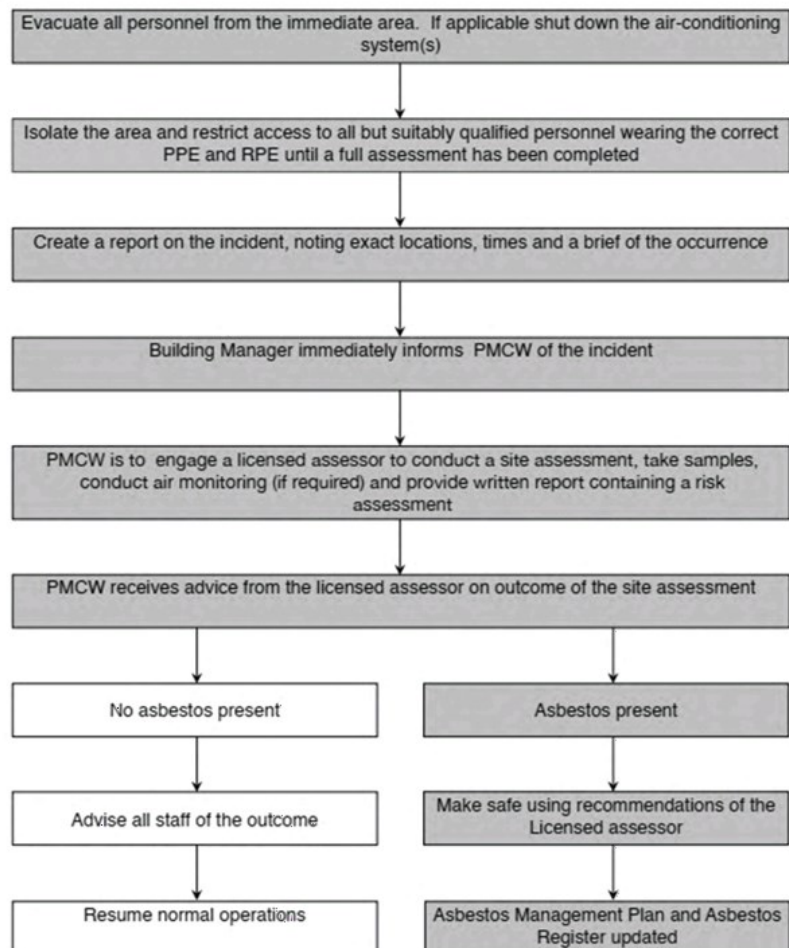


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APPENDIX D: EMERGENCY PROCEDURES





APPENDIX E: CONTENTS OF AN ASBESTOS REMOVAL CONTROL PLAN

A licensed asbestos removal contractor must submit an asbestos removal control plan (ARCP) for review to a competent person before work can commence.

It is prudent that a licensed asbestos assessor must review the ARCP prior to works commencing.

The table on the following page contains a summary of what should be contained in the ARCP.

	Building & structures		Plant & equipment	
	Friable	Non-Friable	Friable	Non-Friable
Notification				
Notification requirements have been met and required documentation will be on site (e.g. removal licence, control plan, training records)	Yes	Yes	Yes	Yes
Identification				
Details of asbestos to be removed (e.g. the locations, whether asbestos is friable/non-friable, its type, condition and quantity being removed)	Yes	Yes	Yes	Yes
Preparation				
Consult with relevant parties (health and safety representative; workers; person who commissioned the removal work, licensed assessors)	Yes	Yes	Yes	Yes
Assigned responsibilities for the removal	Yes	Yes	Yes	Yes
Program commencement and completion dates	Yes	Yes	Yes	Yes
Emergency plans	Yes	Yes	Yes	Yes
Asbestos removal boundaries, including the type and extent of isolation required and the location of any signs and barriers	Yes	Yes	Yes	Yes
Control of other hazards including electrical and lighting installations	Yes	Yes	Yes	Yes
PPE to be used including RPE	Yes	Yes	Yes	Yes



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Removal				
Details of air-monitoring program Control and clearance	Yes	No	Yes	No
Waste storage and disposal program	Yes	Yes	Yes	Yes
Method for removing the asbestos (wet and dry methods)	Yes	Yes	Yes	Yes
Asbestos removal equipment (e.g. spray equipment, asbestos vacuum cleaners, cutting tools)	Yes	Yes	Yes	Yes
Details of required enclosures, including their size, shape, structure etc, smoke testing enclosures and the location of negative pressure exhaust units	Yes	No	Yes	No
Details on temporary buildings required by the asbestos removalist (e.g. decontamination units) including details on water, lighting and power requirements, negative pressure exhaust units and the locations of decontamination units	Yes	May be required depending on the job	Yes	May be required depending on the job
Other risk control measures to prevent the release of airborne asbestos fibres from the area where asbestos removal is undertaken	Yes	Yes	Yes	Yes
Decontamination				
Detailed procedures for workplace decontamination, the decontamination of tools and equipment, personal decontamination and the decontamination of non-disposable PPE and RPE	Yes	Yes	Yes	Yes
Waste Disposal				
Method of disposing of asbestos wastes, including details on: the disposal of protective clothing	Yes	Yes	Yes	Yes
the structures used to enclose the removal area	Yes	No	Yes	Yes
Clearance and air monitoring				



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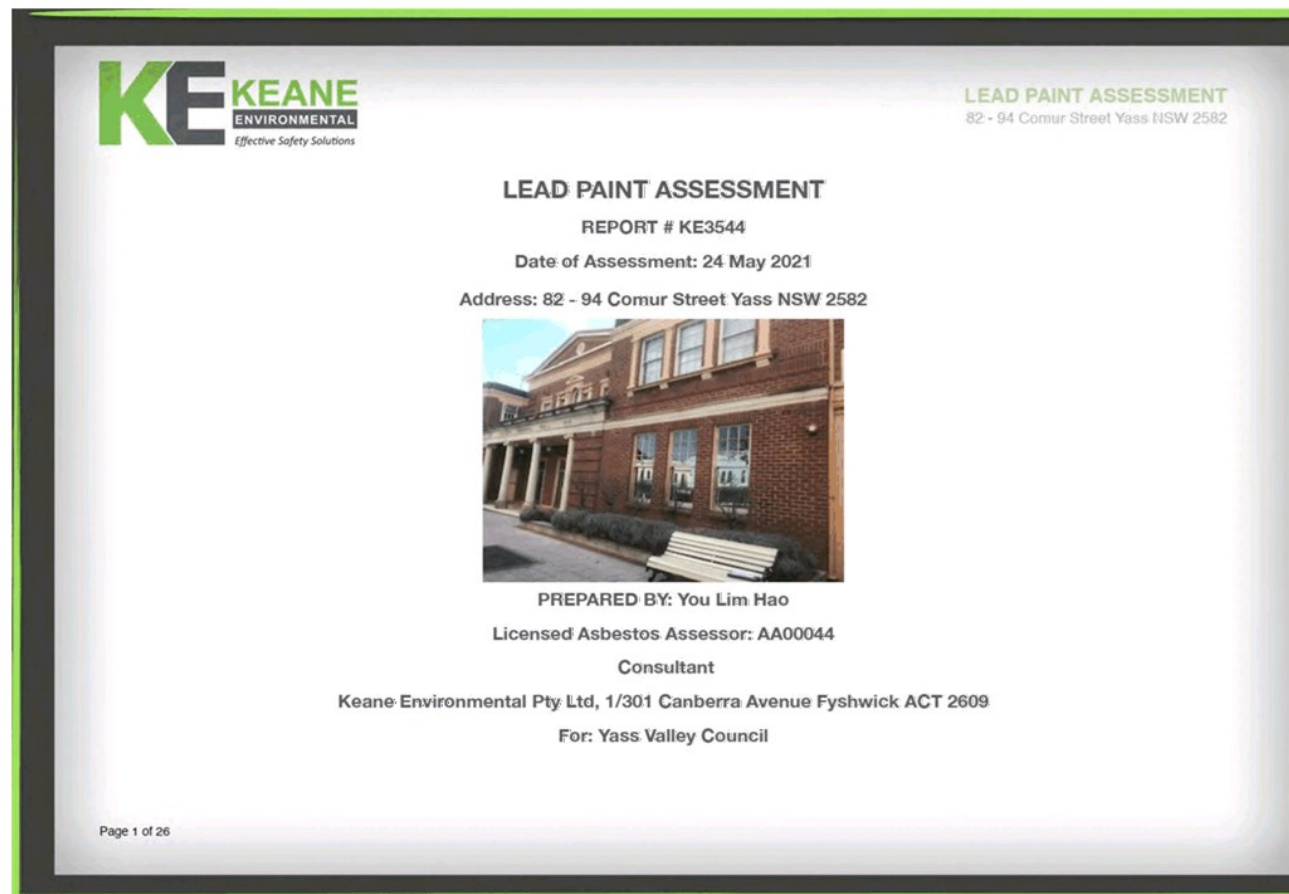
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Name of the independent licensed asbestos assessor or competent person engaged to conduct air monitoring (if any)	Yes	Clearance only	Yes	Clearance only
Consultation				
Consult with any people who may be affected by the removal work, including neighbours	Yes	Yes	Yes	Yes



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2.6 Lead Paint Assessment – Keane Environmental.



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DOCUMENT CONTROL

CURRENT

REPORT NO	DATA ENTRY		WRITTEN BY		APPROVED BY		DESCRIPTION
	DATE	PERSONEL	DATE	PERSONEL	DATE	PERSONEL	
REPORT # KE3544	Date of Assessment: 24 May 2021	You Lim Hao	06 July 2021	Ged Keane <i>GKeane</i>	08 July 2021	Ged Keane <i>GKeane</i>	Version 1

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LEAD PAINT ASSESSMENT
82 - 94 Comur Street Yass NSW 2582

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LEAD PAINT ASSESSMENT

82 - 94 Comur Street Yass NSW 2582

INTRODUCTION

You Lim Hao licensed a licensed Asbestos Assessor of Keane Environmental was engaged by Peak Consulting to conduct a lead paint assessment at 82 - 94 Comur Street Yass NSW 2582, to determine if any lead based paint was in the areas of concern. The survey took place on the 24 May 2021.

SCOPE OF WORKS

The assessment involved a visual inspection and sampling of the paint likely to contain lead in the areas of concern.

The sample collected during the assessment was sent to a National Association of Testing Authorities (NATA) accredited laboratory under controlled chain of custody (CoC). The sample results can be found on the Certificate of Analysis attached at Appendix A of this report.

LEAD-PAINT BACKGROUND

Lead-based paint is paint containing lead that was used as pigment. The heavy metal was added to paint to speed drying, increase durability and for moisture resistance. Like all paint systems, leaded paint will chip, flake and peel over time, leading to contamination of indoor dust and exterior surrounding soils. Lead does not biodegrade, and so lead dust is a long-term exposure problem.

Lead is especially damaging to young children who are still developing, and to pregnant women. Lead affects the hematopoietic, neurologic, gastrointestinal, and reproductive systems, but predominantly the nervous system. High levels of exposure can result in miscarriage in women, and may affect fertility in men. Lead has also been proven to affect a child's mental and physical growth. Unborn children can be exposed through their mothers. Harmful effects include premature birth, smaller babies, decreased mental ability in the infant, learning difficulties and reduced growth in young children.

Lead paint has been used extensively throughout residential and commercial buildings in Australia, and it was only in 1997 that the allowable level of lead in residential and commercial paint in Australia went down to 0.1% which is still higher than the US 1978 standard of less than 0.06% lead.



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LEAD PAINT ASSESSMENT

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The new AS4361.2-2017 Guide to lead paint management Residential and commercial buildings now defines lead paint as paint film or component coat of a paint system in which the lead content (calculated as lead metal) is in excess of 0.1% by weight of the dry film as determined by laboratory testing. Additionally the Work Health and Safety Regulation 2017 Section 7.2 (h) states that 'Lead machine sanding or buffing surfaces coated with paint containing more than 1% by dry weight of lead' constitutes a lead process.

REGULATORY REQUIREMENTS - WORK HEALTH SAFETY (WHS) ACT 2011

Under Section 19 of the WHS Act, a person conducting a business or undertaking must ensure, so far as is reasonably practicable, that the conditions at the workplace are monitored for the purpose of preventing illness or injury of workers. The WHS Regulations also require a person conducting a business or undertaking to carry out monitoring for airborne contaminants in certain situations. Where monitoring of airborne contaminants is done to estimate a person's exposure, the monitoring must be carried out in the breathing zone of the person.

Section 17 of the WHS Act requires risks to health and safety be eliminated so far as is reasonably practicable. If it is not reasonably practicable to eliminate risk, it must be minimised. To comply with this duty under the WHS Act, you must ensure that exposure to any hazardous chemical, or any substance with an exposure standard, is kept as low as reasonably practicable.

The Work Health Safety (WHS) Regulations 2011 - Chapter 3, Division 3.2.7 Managing risks from airborne contaminants section 49 - Ensuring exposure standards for substances and mixtures not exceeded and section 50 - Monitoring airborne contaminant levels, places a number of duties on a workplace regarding airborne contaminants.

1. A person conducting a business or undertaking (PCBU) at a workplace must ensure that air monitoring is carried out to determine the airborne concentration of a substance or mixture at the workplace to which an exposure standard applies if:
 - (a) the person is not certain on reasonable grounds whether or not the airborne concentration of the substance or mixture at the workplace exceeds the relevant exposure standard; or
 - (b) monitoring is necessary to determine whether there is a risk to health.



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2. A person conducting a business or undertaking at a workplace must ensure that the results of air monitoring carried out under subsection (1) are recorded, and kept for 30 years after the date the record is made.

3. A person conducting a business or undertaking at a workplace must ensure that the results of air monitoring carried out under subsection (1) are readily accessible to persons at the workplace who may be exposed to the substance or mixture.

Note: A reference to an Act includes a reference to statutory instruments made or in force under the Act, including a regulation and any law or instrument applied, adopted or incorporated by the Act (see Legislation Act, s 104).

WORK HEALTH SAFETY (WHS) MANAGEMENT

The following hierarchy of controls, as recommend by current legislation, must be used as a driver to the ongoing management of WHS on site:

1. Elimination or removal
2. Isolation, enclosure or sealing
3. Engineering controls
4. Safe work practices (administrative controls)
5. Personal protective equipment (least preferred)

If no single highest order control is suitable, then a combination of the above may be required.





LEAD PAINT ASSESSMENT
82 - 94 Comur Street Yass NSW 2582

RISK ASSESSMENT

During a lead based paint assessment, the following criteria are considered by a Licensed Asbestos Assessor when assessing the risk associated with lead based paint. This qualitative assessment determines the risk of exposure and remedial action priority. This is shown below and in table 1.

- Location of the lead based paint e.g. - Occupied rooms, communal areas or external areas.
- Surface area of the lead based paint damaged e.g. <10m2, 10 - 50m2 or >50m2
- Condition of the lead based paint e.g. - good, fair or poor (degree of flaking or visible flake debris).
- Concentration (%lead) of the lead based paint e.g. <1%, 1 to 10% or >10%.
- Accessibility of the lead based paint e.g. Easily accessible, limited accessibility or inaccessible.
- Likelihood of ingesting and/or inhaling lead paint particles e.g. Unlikely, possible or likely.

Table 1

Risk of Exposure	Recommended Action
Low	Lead is present in paint that is still in good or fair condition (i.e. minor cracking, flaking, chalking or the paint chipped to small areas) and is not a friction or impact surface. It is not likely to present a health hazard unless significantly disturbed. Action to remediate the area during routine maintenance or refurbishment, normally within 6 months.
Moderate	Lead is present in paint that is in fair condition (i.e. some cracking, flaking, chalking and peeling observed). It covers a small surface area and/or is on a surface that is not easily accessible to children. It may present a health hazard with moderate disturbance. Action should be taken as soon as practicable to reduce exposure risk normally within 3 months.
High	Lead is present in paint that is in poor condition (i.e. bad cracking, flaking, chalking peeling and flakes observed on the floor). It covers a large surface area and/or is on a surface that is easily accessible to children. It may present a health hazard with minor disturbance. Action should be taken immediately to reduce exposure risk, prohibit access until remediated.



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LEAD PAINT ASSESSMENT
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LEAD-PAINT REGISTER:

Lead Paint (> 0.1% Pb)

Lead-free Paint (< 0.1% Pb)

LOCATION	COLOUR	SAMPLE ID	TYPE & CONDITION	RESULT %	RISK OF EXPOSURE	RECOMMENDATIONS	PHOTO
Youth Centre - Entrance door jambs and skirting	Cream	P1	Lead Free	0.05	N/A	No further action required	
Youth Centre - Office walls	Cream	P2	Lead Free	<0.005	N/A	No further action required	
Youth Centre - Office fire place	Maroon	P3	Lead Paint Good/Fair	0.30	Low	Manage	

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LOCATION	COLOUR	SAMPLE ID	TYPE & CONDITION	RESULT %	RISK OF EXPOSURE	RECOMMENDATIONS	PHOTO
Youth Centre - Pool room door jambs and skirting	White/ Green	P4	Lead Free	0.092	N/A	No further action required	
Youth Centre - Timber windows	Cream	P5	Lead Paint Good/Fair	2.3	Low	Manage	
Youth Centre - External doorGreen	Green	P6	Lead Free	<0.005	N/A	No further action required	
Library - Walkway metal frames	Cream	P7	Lead Free	0.009	N/A	No further action required	



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<div>  <div> LEAD PAINT ASSESSMENT 82 - 94 Comur Street Yass NSW 2582 </div> </div>							
LOCATION	COLOUR	SAMPLE ID	TYPE & CONDITION	RESULT %	RISK OF EXPOSURE	RECOMMENDATIONS	PHOTO
Library - Entrance to library walls	Cream	P8	Lead Free	0.04	N/A	No further action required	
Library - walls door jambs	White	P9	Lead Paint Good/Fair	0.26	Low	Manage	
Library - Walls and door jambs	Blue	P10	Lead Paint Good/Fair	0.95	Low	Manage	
Library window	Cream	P11	Lead Free	0.005	N/A	No further action required	



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LOCATION	COLOUR	SAMPLE ID	TYPE & CONDITION	RESULT %	RISK OF EXPOSURE	RECOMMENDATIONS	PHOTO
Library - male and female toilets blue	Blue	P12	Lead Paint Good/Fair	0.41	Low	Manage	
Level1 - Meeting room skirting	Maroon	P13	Lead Paint Good/Fair	0.19	Low	Manage	
Level 1 - Meeting room walls and ceiling	Cream	P14	Lead Paint Poor	0.23	Mod	Manage - see recommendations for remediation strategies	
Level 1 - Meeting room windows	Green	P15	Lead Paint Poor	1.1	High	Prohibit access - Remediate as lead process work	



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LOCATION	COLOUR	SAMPLE ID	TYPE & CONDITION	RESULT %	RISK OF EXPOSURE	RECOMMENDATIONS	PHOTO
Level 1 - Gallery walls and windows	Grey	P16	Lead Paint Good/Fair	7.1	Low	Manage	
Level 1 - Small room walls adjacent gallery	Light blue	P17	Lead Paint Good/Fair	11	Low	Manage	
Level1. - Archive area timber trim	Light brown	P18	Lead Paint Good/Fair	0.54	Low	Manage	
Level 1 - Balcony windows	Light blue	P19	Lead Paint Good/Fair	0.28	Low	Manage	



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LOCATION	COLOUR	SAMPLE ID	TYPE & CONDITION	RESULT %	RISK OF EXPOSURE	RECOMMENDATIONS	PHOTO
Level 1 - Balcony brickwork	Peach	P20	Lead Paint Good/Fair	3.1	Low	Manage	
Ground floor - Female toilet walls and doors	Pink	P21	Lead Paint Good/Fair	0.12	Low	Manage	
Ground floor - Entrance to female toilet	Yellow	P22	Lead Free	<0.005	N/A	No further action required	
Ground floor - Male toilet doors, frames and skirting	Grey	P23	Lead Paint Good/Fair	0.16	Low	Manage	



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LOCATION	COLOUR	SAMPLE ID	TYPE & CONDITION	RESULT %	RISK OF EXPOSURE	RECOMMENDATIONS	PHOTO
Ground floor - Boutique walls	White	P24	Lead Free	0.061	N/A	No further action required	
Ground floor - Main hall skirting	Maroon	P25	Lead Free	0.082	N/A	No further action required	
Ground floor - ANNEX 1 & 2 doors	White	P26	Lead Paint Good/Fair	0.78	Low	Manage	
Ground floor - ANNEX 1 & 2 doors	Yellow	P27	Lead Free	0.04	N/A	No further action required	



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LOCATION	COLOUR	SAMPLE ID	TYPE & CONDITION	RESULT %	RISK OF EXPOSURE	RECOMMENDATIONS	PHOTO
Ground floor - To stage trim	Cream	P28	Lead Free	<0.005	N/A	No further action required	
Ground floor - To stage trim	Black	P29	Lead Paint Good/Fair	0.45	Low	Manage	
Ground floor - External windows to main hall	Cream	P30	Lead Free	0.062	N/A	No further action required	
Downpipes and guttering	Green	P31	Lead Paint Good/Fair	1.3	Low	Manage	



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FINDINGS

The results of the survey found the eighteen (18) of the thirty-one (31) samples to be lead based paint ($>1\%$) in the inspected area of the site, based on the new criteria in the Australian Standards - AS4361.2-2017 Guide to lead paint management residential and commercial buildings. Six (6) of the paint samples tested were above the WHS lead work process percentage of 1%. The paints are in a good to fair/stable condition apart for two areas that require remediation (see register).

RECOMMENDATIONS

The report must be issued to any contractor who conducts work on any lead based paint areas. The lead based paints are in a fair/good condition. The lead based paints over 0.1% but less than 1% can be remediated as normal works, however any contractor engaged to carry out the work must ensure that the remediation work adopts strict dust mitigation methods.

Any remediation activities are to be undertaken in accordance with current WHS legislation and AS4361.2-2017 Guide to lead paint management residential and commercial buildings.

1. Repainting over lead based paint: Only paint over lead-based paint if surfaces are in good condition. If the paint is flaking or chalking refer to the removal recommendation (2). To prepare the surface for repainting gently apply a sugar soap solution using a material to clean the surface area without creating dust or debris before painting. **Dry-sanding or abrasive scraping is prohibited as it is likely to generate large amounts of lead containing dust.**
2. Removal of lead paint has the greatest potential to generate hazardous lead containing dust. Recommended remediation methods include:
 - Wet scraping or sanding – involves moistening the paint with water from an atomizing bottle or similar, then removing with handheld tools.
 - Chemical stripping (both on and off site) – involves using chemicals to soften the paint, then removing with handheld tools.



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- Heat gun and scraper – the application of heat will soften to allow removal by scraping. This method has the potential to create lead dust and fumes and must be monitored. The paint can also dry brittle, increasing the risk of flakes and dust.

The options can be mixed or parts combined to suit the requirements of current legislation and the AS4361.2-2017 Guide to lead paint management residential and commercial buildings.

Any lead based paint (>1%) removal/refurbishment work must be conducted as lead process work and under controlled conditions using High Efficiency Particulate Air (HEPA) negative pressure units, enclosures and HEPA vacuums. Lead process work must be notified to Worksafe ACT.

All waste must be disposed of in accordance with current EPA legislation.



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APPENDICES



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APPENDIX A - LEAD PAINT LABORATORY CERTIFICATE



EnviroLab Services Pty Ltd
ABN: 13 112 826 646
12 Ashby St Chesham NSW 2567
ph 61 9910 6200 fax 61 9910 6201
customerservice@envirolab.com.au
www.envirolab.com.au

CERTIFICATE OF ANALYSIS 270857

Client Details	
Client	Keane Environmental Pty Ltd
Attention	Geoff Keane
Address	Unit 1 - 301 Canberra Ave, Fyshwick, ACT, 2609
Sample Details	
Your Reference	KE3544
Number of Samples	31 point
Date samples received	04/06/2021
Date completed instructions received	04/06/2021
Analysis Details	
Please refer to the following pages for results, methodology summary and quality control data. Samples were analysed as received from the client. Results relate specifically to the samples as received. Results are reported on a dry weight basis for solids and on an as received basis for other matrices.	
Report Details	
Date results requested by	09/06/2021
Date of Issue	09/06/2021
NATA Accreditation Number 2901. This document shall not be reproduced except in full. Accredited for compliance with ISO/IEC 17025 - Testing. Tests not covered by NATA are denoted with *	

Results Approved By:
Hannah Nguyen, Senior Chemist

Authorised By:

Nancy Zhang, Laboratory Manager

EnviroLab Reference: 270857
Revision No: R00



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LEAD PAINT ASSESSMENT
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Client Reference: KE3544

Lead in Paint					
Our Reference	UNITS	270857-1	270857-2	270857-3	270857-4
Your Reference		P1	P2	P3	P4
Date Sampled		24/05/2021	24/05/2021	24/05/2021	24/05/2021
Type of sample		paint	paint	paint	paint
Date prepared	-	08/06/2021	08/06/2021	08/06/2021	08/06/2021
Date analysed	-	08/06/2021	08/06/2021	08/06/2021	08/06/2021
Lead in paint	None	0.05	<0.005	0.36	0.062

Lead in Paint					
Our Reference	UNITS	270857-5	270857-6	270857-7	270857-8
Your Reference		P5	P6	P7	P8
Date Sampled		24/05/2021	24/05/2021	24/05/2021	24/05/2021
Type of sample		paint	paint	paint	paint
Date prepared	-	08/06/2021	08/06/2021	08/06/2021	08/06/2021
Date analysed	-	08/06/2021	08/06/2021	08/06/2021	08/06/2021
Lead in paint	None	<0.005	0.009	0.04	0.26

Lead in Paint					
Our Reference	UNITS	270857-11	270857-12	270857-13	270857-14
Your Reference		P11	P12	P13	P14
Date Sampled		24/05/2021	24/05/2021	24/05/2021	24/05/2021
Type of sample		paint	paint	paint	paint
Date prepared	-	08/06/2021	08/06/2021	08/06/2021	08/06/2021
Date analysed	-	08/06/2021	08/06/2021	08/06/2021	08/06/2021
Lead in paint	None	0.005	0.41	0.18	0.23

Lead in Paint					
Our Reference	UNITS	270857-15	270857-16	270857-17	270857-18
Your Reference		P15	P16	P17	P18
Date Sampled		24/05/2021	24/05/2021	24/05/2021	24/05/2021
Type of sample		paint	paint	paint	paint
Date prepared	-	08/06/2021	08/06/2021	08/06/2021	08/06/2021
Date analysed	-	08/06/2021	08/06/2021	08/06/2021	08/06/2021
Lead in paint	None	7.1	11	0.54	0.26

Lead in Paint					
Our Reference	UNITS	270857-21	270857-22	270857-23	270857-24
Your Reference		P21	P22	P23	P24
Date Sampled		24/05/2021	24/05/2021	24/05/2021	24/05/2021
Type of sample		paint	paint	paint	paint
Date prepared	-	08/06/2021	08/06/2021	08/06/2021	08/06/2021
Date analysed	-	08/06/2021	08/06/2021	08/06/2021	08/06/2021
Lead in paint	None	0.12	<0.005	0.16	0.061

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Client Reference: KE3544

Lead in Paint					
Our Reference	LPPTS	270857-06	270857-07	270857-08	270857-09
Your Reference		P26	P27	P28	P29
Date Sampled		24/05/2021	24/05/2021	24/05/2021	24/05/2021
Type of sample		paint	paint	paint	paint
Date prepared	-	08/06/2021	08/06/2021	08/06/2021	08/06/2021
Date analysed	-	08/06/2021	08/06/2021	08/06/2021	08/06/2021
Lead in paint	µg/g	0.78	0.04	<0.005	0.45

Lead in Paint		270857-01
Our Reference	LPPTS	
Your Reference		P31
Date Sampled		24/05/2021
Type of sample		paint
Date prepared	-	08/06/2021
Date analysed	-	08/06/2021
Lead in paint	µg/g	1.3

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LEAD PAINT ASSESSMENT
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Client Reference: KE3544

Method ID	Methodology Summary
Method-42012/1122	Operation of 7 lead dipsticks/rapid tests for lead determination by ICP-AES/MS and or D11345.

Environmental Reference: 270657
Revision No: R00

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Client Reference: KE3544

QUALITY CONTROL: Lead in Paint										
Test Description	Units	POC	Method	Blank	#	Batch	Comp	RPO	LCB-1	2475
Crab prepared	-	-	-	-	9	08/06/2021	08/06/2021	08/06/2021	08/06/2021	---
Crab analysed	-	-	-	-	9	08/06/2021	08/06/2021	08/06/2021	08/06/2021	---
Lead in paint	µg/hr	0.005	Method 5350/21-022	-0.005	9	2.3	2.4	4	92	---

QUALITY CONTROL: Lead in Paint										
Test Description	Units	POC	Method	Blank	#	Batch	Comp	RPO	LCB-2	2475
Crab prepared	-	-	-	-	11	08/06/2021	08/06/2021	08/06/2021	08/06/2021	---
Crab analysed	-	-	-	-	11	08/06/2021	08/06/2021	08/06/2021	08/06/2021	---
Lead in paint	µg/hr	0.005	Method 5350/21-022	-0.005	11	0.005	-0.005	0	91	---

QUALITY CONTROL: Lead in Paint										
Test Description	Units	POC	Method	Blank	#	Batch	Comp	RPO	LCB-3	2475
Crab prepared	-	-	-	-	23	08/06/2021	08/06/2021	08/06/2021	08/06/2021	---
Crab analysed	-	-	-	-	23	08/06/2021	08/06/2021	08/06/2021	08/06/2021	---
Lead in paint	µg/hr	0.005	Method 5350/21-022	-0.005	23	-0.005	-0.005	0	---	---

Excel/Tab Reference: 270857
Revision No: R00

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Client Reference: KE3544

Result Definitions	
NT	Not tested
NA	Test not required
INS	Insufficient sample for this test
PQL	Practical Quantitation Limit
<	Less than
>	Greater than
RPD	Relative Percent Difference
LCS	Laboratory Control Sample
NS	Not specified
NEPM	National Environmental Protection Measure
NR	Not Reported

Envelope Reference: 270957
Revision File: R00

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Client Reference: KE3544

Quality Control Definitions	
Blank	This is the component of the analytical signal which is not derived from the sample but from reagents, glassware etc. can be determined by processing solvents and reagents in exactly the same manner as for samples.
Duplicate	This is the complete duplicate analysis of a sample from the process batch. If possible, the sample selected should be one where the analyte concentration is easily measurable.
Matrix Spike	A portion of the sample is spiked with a known concentration of target analyte. The purpose of the matrix spike is to monitor the performance of the analytical method used and to determine whether matrix interferences exist.
LCS (Laboratory Control Sample)	This comprises either a standard reference material or a control matrix (such as a blank sand or water) fortified with analytes representative of the analyte class. It is simply a check sample.
Surrogate Spike	Surrogates are known additions to each sample; blank, matrix spike and LCS in a batch, of compounds which are similar to the analyte of interest, however are not expected to be found in real samples.

Australian Drinking Water Guidelines recommend that Thermotolerant Coliform, Faecal Enterococci, S.E. Coli levels are less than 1000/L. The recommended maximums are taken from "Australian Drinking Water Guidelines", published by the NHRC & ARMC, 2011.

The recommended maximums for analytes in urine are taken from "2018 TLVs and BEIs", as published by ACGIH (where available). Limit provided for Nickel is a precautionary guideline as per Position Paper prepared by ACGIH Exposure Standards Committee, 2016.

Guideline limits for Rinse Water Quality reported as per analytical requirements and specifications of AS 4187, Amdt 2 2019, Table 7.2.

Laboratory Acceptance Criteria	
Duplicate sample and matrix spike recoveries may not be reported on smaller jobs, however, were analysed at a frequency to meet or exceed NEPM requirements. All samples are tested in batches of 20. The duplicate sample RPD and matrix spike recoveries for the batch were within the laboratory acceptance criteria.	
Fibres, solids, vapours, tubes and badges will not have duplicate data as the whole sample is generally extracted during sample extraction.	
Spikes for Physical and Aggregate Tests are not applicable.	
For VOCs in water samples, three vials are required for duplicate or spike analysis.	
Duplications: >10xPQL - RPD acceptance criteria will vary depending on the analytes and the analytical techniques but is typically in the range 20%-50% - see ELN-PQS QA/QC tables for details. <10xPQL - RPD are higher as the results approach PQL and the estimated measurement uncertainty will statistically increase.	
Matrix Spikes, LCS and Surrogate recoveries: Generally 70-130% for inorganics/metals (not SPOCAS); 60-140% for organics/SPOCAS (>150% surrogates) and 10-140% for table SVOCs (including table surrogates), ultra trace organics and specified phenols is acceptable.	
In circumstances where no duplicate and/or sample spike has been reported at 1 in 10 and/or 1 in 20 samples respectively, the sample volume submitted was insufficient in order to satisfy laboratory QA/QC protocols.	
When samples are received where certain analytes are outside of recommended technical holding times (THTs), the analysis has proceeded. Where analytes are on the verge of breaching THTs, every effort will be made to analyse within the THT or as soon as practicable.	
Where sampling dates are not provided, Envirolab are not in a position to comment on the validity of the analysis where recommended technical holding times may have been breached.	
Measurement Uncertainty estimates are available for most tests upon request.	
Analysis of aqueous samples typically involves the extraction/digestion and/or analysis of the liquid phase only (i.e. NOT any settled sediment phase but includes of suspended particles if present), unless stipulated on the Envirolab COC and/or by correspondence. Notable exceptions include certain Physical Tests (pH/E/COD/COD-Apparent Colour etc.); Solids testing, total recoverable metals and PFAS where solids are included by default.	
Samples for Microbiological analysis (not Amoeba forms) received outside of the 2-8°C temperature range do not meet the ideal cooling conditions as stated in AS2031-2012.	

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APPENDIX B - APPLICABLE LEGISLATION - LEAD PAINT ASSESSMENTS

The latest edition of the following legislation is applicable to Lead Paint Assessments in Commercial & Residential Properties:

Work Health and Safety Act 2011.

Work Health and Safety Regulation 2017.

Safework Australia Workplace Exposure Standards for Airborne Contaminants 2019

AS4361.2-2017 Guide to lead paint management Residential and Commercial buildings.

Report Caveats & Statement of Limitations

The report was designed to be read as a whole document and must only be reproduced in full.

All relevant legislation and best practice was followed during the time the assessment was conducted. All conclusions and recommendations are written by the assessor using their professional judgement. The recommendations are based on the assessor's professional judgement and condition of the materials at the time the assessment was conducted.




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2.7 Warrington Fire – Fire safety design advice.






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Fire safety design advice FSDA1.0
Yass Memorial Hall

Quality management

Version	Date	Information about the report			
FSDA 1.0	27/07/2021	FSDA	Report issued to Jason Gaughran and design team for review and comment.		
		Name	Prepared by	Reviewed by	Authorised by
		Signature	Nick de Tarczynski	Tim Shiu	Tim Shiu
					

20210727-CA210057 FSDA 1.0 (issued)

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Fire safety design advice FSDA1.0
Yass Memorial Hall

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3. Description of the building	5
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5. Fire safety design assessment	6
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Appendix C Non-combustible materials – NCC clause C1.9	17
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Yass Memorial Hall

3. Description of the building

The project consists of an existing two storey building that contains a community hall incorporating a stage area, community use rooms and a library to the rear of the building (all of which are class 9b).

The site is bounded by Comur Street to the south-west, 80 Comur Street to the north-west, Banjo Paterson Park to the north-east and 94 Comur Street to the south-east – see Figure 1.



Figure 1 Site plan

The main characteristics of the building for determining compliance with the NCC are listed in Table 1. The proposed use and classification of the building or part in accordance with part A6 of the NCC is listed in Table 2. The size of the fire compartments within the proposed building are listed in Table 3.

Table 1 Main building characteristics

Characteristic	NCC provision	Description
Effective height	Schedule 3	Less than 12 m
Type of construction required	C1.1	Type B
Rise in storeys	C1.2	2
Levels contained	-	3 (including under stage area)

Table 2 Use and classification

Part of building	Use	Classification (A6)
Ground floor	Main hall, stage and associated rooms	9b
Ground floor	Library	9b
First floor	Community use rooms	9b
First floor	Gallery (mezzanine to main hall)	9b

Note: New South Wales specific requirements apply to this building. The building is used as an entertainment venue as defined in the Environmental Planning and Assessment Regulation 2000.



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Yass Memorial Hall

Table 3 Fire compartments:

Building part	Approximate floor area (m ²)	Approximate volume (m ³)
Ground floor main hall	272	2,015
Ground floor annex	180.5	659
Ground floor library	381	1,810
Ground floor general areas	404	1,474
First floor	231	676

Notes:

- The stage area is fire separated from the library via a brick wall. However, total building is deemed as one fire compartment.
- Assumed ceiling heights
 - First floor 2.92 m
 - Annex areas 3.65 m (at pitch of cathedral ceiling)
 - Main Hall 8.9 m (at pitch of cathedral ceiling)
 - Library 4.75 m (at pitch of cathedral ceiling)

4. Previous performance solutions

Warringtonfire is not aware of any previous performance solutions for this building.

5. Fire safety design assessment

We recommend that the issues in Table 4 are made compliant with the DTS provisions of the NCC.

Table 4 Issues to be confirmed or modified


No	Description of issue	DTS provision	Proposed solution
1.	Fire Hazard Properties Internal linings, materials and assemblies must be tested to comply with the fire hazard property requirements of Specification C1.10. Without destructive testing of materials, we could not determine the fire hazard properties of the material linings and finishes. However, due to the type of materials used and the age of the building it is likely that the materials would comply.	Clause C1.10	DTS It is recommended that these materials be reviewed and tested to ascertain their properties.



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Yass Memorial Hall

No	Description of issue	DTS provision	Proposed solution
2.	Dimensions of exits and paths of travel to exits Areas which are departures from the DTS provisions include: <ul style="list-style-type: none"> - Clear width in the path of travel from the first floor gallery 650 mm (requirement 750 mm). - Both door heights to gallery 1960 mm (requirement 1980 mm). - Clear width from first floor safe room 635 mm (requirement 750 mm). - Door height to first floor safe room 1865 mm (requirement 1980 mm). - Clear width from both stairs accessing the stage 850 mm. (requirement 1000 mm) - Clear width for the stair within Annex 2 is 900 mm (requirement 1000 mm) - Height of baffle in first floor kitchen 1780 mm (requirement 1980 mm) - Door height to first floor balcony 1775 mm (requirement 1980 mm). 	Clauses D1.6 and D1.13	DTS Rectify the openings to the required widths and heights. Performance Solution A performance solution could be developed to demonstrate that egress is not greatly affected by the reduced clearances in paths of travel.
3.	Enclosure of space under stairs are ramps Both stairs have storage cupboards underneath. For a required stair, if storage is located below the stair, it must be fire separated.	Clause D2.8	DTS Install fire separation to the enclosing walls and ceiling having an FRL of not less than 60/60/60. Access door to the enclosed space to be fitted with self-closing -/60/30 fire door.
4.	Pedestrian ramps The pedestrian ramp serving exit 6 (see Appendix D.4) does not have slip-resistance measures. 	Clause D2.10	DTS Install a tested slip-resistant coating of at least P4 or R11 (refer to NCC Volume One Table D2.14).

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No	Description of issue	DTS provision	Proposed solution
5.	<p>Going and risers</p> <p>All of the stairs in the building do not have tested slip-resistant measures applied.</p> <p>Risers may be reduced when a stairway discharges on a sloping public walkway or public road. The final risers on exit 8, 9, 10 and 11 (see Appendix D.4) exceed the allowable riser heights.</p> <p>The discharge at exit 9 also discharges directly onto the road curb, which is unsafe.</p>  	Clause D2.13	<p>DTS</p> <p>Install a tested slip-resistant coating or nosing strip to the treads of stairs. Rating to be at least P3 or R10 for internal and P4 or R11 for external stairs (refer to NCC Volume One Table D2.14).</p> <p>DTS</p> <p>The stairs would have to be rectified to achieve compliance. For consistent risers the last step would need to be approximately 180 mm high (different for each stairway). The last steps on exits 8, 9, 10 and 11 is on average more than 300 mm. See Appendix E.</p>



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1. Introduction

We have prepared this advice after an on-site inspection and a desktop review of Yass Memorial Hall against the fire-related deemed-to-satisfy (DTS) provisions of the National Construction Code Volume One – Building Code of Australia (NCC) 2019 Amendment 1¹ – i.e. sections C, D1, D2 and E. Warringtonfire undertook the assessment at the request of Jason Gaughran.

The on-site inspection was done by Nick de Tarczynski and Scott Townsend on 30/06/2021.

The desktop review of the building is intended to identify general fire safety requirements and issues that need to be resolved to comply with the performance requirements of the NCC. It is not a clause-by-clause assessment of the DTS provisions of the NCC.

Our advice includes the following:

- The type of construction required, fire and smoke compartment sizes and whether the large isolated provisions are applicable.
- The travel distance and aggregate exit width requirements.
- Identification of the smoke hazard management options available and other required fire safety systems.
- Review of fire hydrant and fire hose reel locations and coverage.
- Whether we believe fire safety engineering may be used to develop performance solutions.

This review is based on the documentation listed in Appendix A.

Visual inspections and spot checks of the existing building were completed. We were not able to inspect and confirm compliance for all parts of the building because this would have required deconstructive works and in some cases skills outside our area of expertise. Where this was the case, we have stated that we were unable to determine the extent of compliance.

2. Legislative requirements

All new building works must comply with the current provisions of the NCC under clause 98 of the Environmental Planning and Assessment Regulation 2000 (EP&A Regulation 2000).

Under clause 94 of the EP&A Regulation 2000, the consent authority may require certain buildings to be upgraded. This includes buildings where:

- The proposed building work – together with any other building work completed or authorised in the last three years – represents more than half the total volume of the building measured over its roof and external walls.
- The measures within the building are inadequate to:
 - protect people using the building and enable them to safely exit the building if there is a fire
 - restrict the spread of fire from the building to other buildings nearby.

When determining an application, a consent authority may consider whether it would be appropriate to require the existing building to be brought into partial or total conformity with the NCC.

The information in this report is advice on how we believe NCC compliance can be achieved. A number of issues within the NCC are recognised to be open to interpretation. When these issues arise, we have made interpretations that we believe are consistent with standard industry practice. Ultimately this will be at the discretion of the approval authority.



¹ National Construction Code Volume One – Building Code of Australia 2019 Amendment 1, Australian Building Codes Board, Australia







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No	Description of issue	DTS provision	Proposed solution
6.	<p>Thresholds</p> <p>The threshold at exit 5 (see Appendix D.4) has two steps directly outside the door. For an entertainment venue the maximum height difference between the door sill and floor level in which the door opens is 50 mm. The current arrangement includes two risers – 170 mm and 180 mm, plus a landing of 470 mm.</p> <p>Exit 5</p>  <p>Current landing of exit 5</p> 	Clause NSW D2.15	<p>DTS</p> <p>To comply with this specific NSW requirement. A larger landing (at least 750 mm long) would need to be installed. Subsequent stairs would be required to be located after the landing. Stairs must comply with the going and riser dimensions of table D2.13 of NCC Volume One.</p>




<p>7. Barriers to prevent falls Barriers to prevent falls must be at least 1 m above the finished floor level or 865 mm when going down a flight of stairs. The opening within these barriers must not permit a 125 mm sphere to pass through. A number of departures to this requirement are listed below:</p> <ul style="list-style-type: none"> - Main entrance stair balustrade - 710 mm.  <ul style="list-style-type: none"> - Balustrade to first floor balcony - 870 mm.  <ul style="list-style-type: none"> - Openings to balustrade serving Annex 2 and library store exceed 125 mm.  <ul style="list-style-type: none"> - Openings to balustrade to exit 9 and exit 11 exceed 125 mm. 	<p>Clause D2.16</p> <p>DTS Barriers / balustrades be rectified to achieve the minimum height requirements and allowable openings within the barriers / balustrades. See Appendix F</p>
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No	Description of issue	DTS provision	Proposed solution
8.	Handrails No handrail provided on the top flights of Stair 2 (see Appendix D.4). At least one handrail must be provided along the side of a flight of stairs. 	Clause D2.17	DTS Install handrails to at least one side of the flight of stairs, at a minimum of 865 mm above the nosing line of the stairs.
9.	Swing of doors The main door entering into the library swings against the direction of egress. As this door forms part of the required exit, it must swing in the direction of egress.	Clause D2.20	DTS <ol style="list-style-type: none"> 1. Relocate the swing of the door to swing out instead of in; or 2. Compliance for exits can be achieved through the two other exits within the library. If the exit signage is removed the from main entrance door, DTS compliance will be achieved.



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No	Description of issue	DTS provision	Proposed solution
10.	<p>Operation of latch</p> <p>The panic bar on the second set of doors at exit 14 has been replaced with a standard latch set. This is a departure from the DTS provisions for this type of building.</p> 	Clause D2.21	<p>DTS</p> <p>Reinstate a compliant panic bar to the door in exit 14.</p>
	<p>Three doors provide access to the first floor balcony. However, none of these doors have compliant latches to enable egress.</p>		<p>DTS</p> <p>Install compliant door sets, that allow for a single hand downward action to open.</p>
	<p>The entrance doors to the community meeting room and youth centre door sets are provided with dead bolts instead of compliant hardware.</p> 		<p>DTS</p> <p>If these rooms are deemed as separate sole-occupancy units these dead lock door sets are compliant. However if the rooms are not used as separate sole-occupancy units the door set need be replaced with compliant door hardware (single hand downward action).</p>



No	Description of issue	DTS provision	Proposed solution
11.	<p>Fire Hydrants</p> <p>There are no internal hydrants on site, however a street hydrant is located at the street near the south corner at Comur Street.</p>  <p> - Street hydrant</p> <p>Coverage has been based on 10 m from the hardstand of the truck to the southern corner of the building. The main building has adequate hose coverage, however the library needs approximately 75 m of hose to achieve coverage. Exceeding two lengths of fire-fighting hose.</p> 	Clause E1.3	<p>DTS</p> <p>Recommend engaging a hydraulic engineer to develop a DTS solution to achieve hydrant coverage.</p>
12.	<p>Fire Hose reels</p> <p>Two fire hose reels are provided to serve the building and both have departures from the DTS provisions.</p> <p>The fire hose reel serving the main hall does achieve system coverage. However, it is installed on the ground floor, and also serves the first floor. The fire hose reel must only serve the storey which it is located.</p> <p>The fire hose reel serving the library is located greater than 4 m from an exit.</p>	Clause E1.4	<p>DTS</p> <p>Install an additional fire hose reel for first floor and relocate fire hose reel in library to within 4 m of one of the exits.</p> <p>Performance Solution</p> <p>As system coverage is achieved by both fire hose reels, a performance solution could be developed to include additional fire extinguishers to the first floor and library.</p>
13.	<p>Smoke Hazard Management</p> <p>Maintenance logs were sighted, with regular maintenance checks against AS 1851.6 occurring. No departures from the DTS provisions sighted for the smoke hazard management system.</p>		<p>DTS</p> <p>No upgrade required.</p>

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No	Description of issue	DTS provision	Proposed solution
14.	Emergency lighting Limited emergency lights were sighted during the inspection. This building requires emergency lighting on the ground floor in every room as the floor area of the storey is greater than 300 m ² . No emergency lighting required on the first floor, except to serve the two egress stairs.	Clause E4.2	DTS It is recommended that an electrical engineer be engaged to review the building to provide a scope of works to achieve compliant for the emergency lighting system.
15.	Exit signs A large majority of the exit signs within the building require maintenance. As a consequence a number of globes were blown and require replacement.	Clause E4.5	DTS It is recommended that an electrical engineer be engaged to review the building to provide a scope of works to achieve compliant exit and directional signage system.
16.	Seating areas The gallery contains fixed seating. The clear width between the seats is 260 mm. The minimum clear width should be 300 mm.	Clause H1.4	DTS Ensure that the seats can automatically retract. This will achieve the clear width. Performance Solution A performance solution could be developed to address the reduction of width.
17.	Aisle lights Aisle lights should be installed between the aisles within the gallery area.	Clause H1.7	DTS Install aisle lights in the gallery area.

6. Conclusion

The review of the building design against the fire-related DTS provisions of the NCC found that the building requires a number of rectifications to achieve compliance, to the current NCC. However, as covered in Section 2 of this report, it is for the consent authority to determine if it would be appropriate to require the existing building to be brought into partial or total conformity with the NCC.



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Appendix A Drawings and information

Drawing title	Dwg no	Date	Drawn
Memorial hall floor plans	DP154705	Unknown	Unknown
Yass Memorial Hall – Upstairs Gallery Level – First Floor	-	1984	Unknown



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Appendix B Fire resistance

B.1 Table 4 – Type B construction: FRL of building elements – excluding sprinklered and open-deck carparks

Building element	Class 5, 7a and 9 parts
External wall (including any column and other building element incorporated within it) or other external building element, where the distance from any fire-source feature to which it is exposed is –	
For loadbearing parts –	
less than 1.5 m	120/120/120
1.5 to less than 3 m	120/90/60
3 to less than 9 m	120/30/30
9 to less than 18 m	120/30/-
18 m or more	-/-/-
For non-loadbearing parts –	
less than 1.5 m	-/120/120
1.5 to less than 3 m	-/90/60
3 m or more	-/-/-
External column not incorporated in an external wall, where the distance from any fire-source feature to which it is exposed is –	
For loadbearing columns –	
less than 18 m	120/-/-
18 m or more	-/-/-
For non-loadbearing columns –	
	-/-/-
Common walls and fire walls –	120/120/120
Internal walls –	
Fire-resisting lift and stair shafts –	
Loadbearing	120/120/120
Non-loadbearing	-/120/120
Loadbearing	120/-/-
Non-loadbearing	-/-/-
Loadbearing	120/-/-
Non-loadbearing	-/-/-
Other loadbearing internal walls and columns	120/-/-
Roofs	-/-/-



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Appendix C Non-combustible materials – NCC clause C1.9

The NCC requirements for non-combustible construction do not apply to:

- gaskets
- caulking
- sealants
- termite management systems
- glass, including laminated glass
- thermal breaks associated with glazing systems.
- damp-proof courses.

The following materials may be used wherever non-combustible materials are required:

- plasterboard
- perforated gypsum lath with a normal paper finish
- fibrous-plaster sheet
- fibre-reinforced cement sheeting
- pre-finished metal sheeting having a combustible surface finish not exceeding 1 mm thickness and where the spread-of-flame index is no greater than 0
- sarking-type materials that do not exceed 1 mm in thickness and have a flammability index not greater than 5
- bonded laminated materials where it achieves the following:
 - each lamina, including any core, is non-combustible
 - each adhesive layer does not exceed 1 mm in thickness and the total thickness of the adhesive layers does not exceed 2 mm
 - the spread-of-flame and smoke-developed indices of the bonded material as a whole do not exceed 0 and 3 respectively



Appendix D Population and exit width calculations

D.1 Explanation of this section

The population in each area of the building has been calculated in accordance with table D1.13 to determine the aggregate exit width required. The calculations are provided in Table 5. The required exit width has then been compared to the exits currently provided to determine whether they are adequate. The exits provided are described in Appendix D.3.

D.2 Calculation of populations and required exit width

The estimated exit widths required for the building were calculated based on the following assumptions:

1. As per clause D1.6 the population density within the respective areas of the building was calculated in accordance with table D1.13.
2. We have calculated the exits widths in accordance with clause D1.6 on the following basis:
 - a. 1 m for the floors that accommodate 100 persons or less.
 - b. Where a storey or mezzanine accommodates more than 100 persons but not more than 200 persons, the exit width must be 1 m plus 250 mm for every 25 persons (or part) in excess of 100.
 - c. Where a storey or mezzanine accommodates more than 200 persons, the exit width must be 2 m plus 0.5 m for every 50 persons (or part) where a stair or ramp forms part of the path of travel from the tenancy to road or open space.

Table 5 Summary of floor areas, population and exit widths

Level	Use	Approx. floor area (m ²)	Population density (m ² /person)	Estimated population	Required exit width (m)	Available exit width (m)
Ground	Main Hall	272	1	272	5.00	8.90
	Annex	180.5	1	181		
	Kitchen and associated store	49	10	5		
	Library	340	2	170		
	Library Storage	39.5	30	1		
	Youth centre	107	10	11		
	Community meeting room	38	10	4		
First floor	Community use rooms	200	10	20	1.00	1.90
	Gallery	340	Fixed seating	97	1.00	
Total				117		

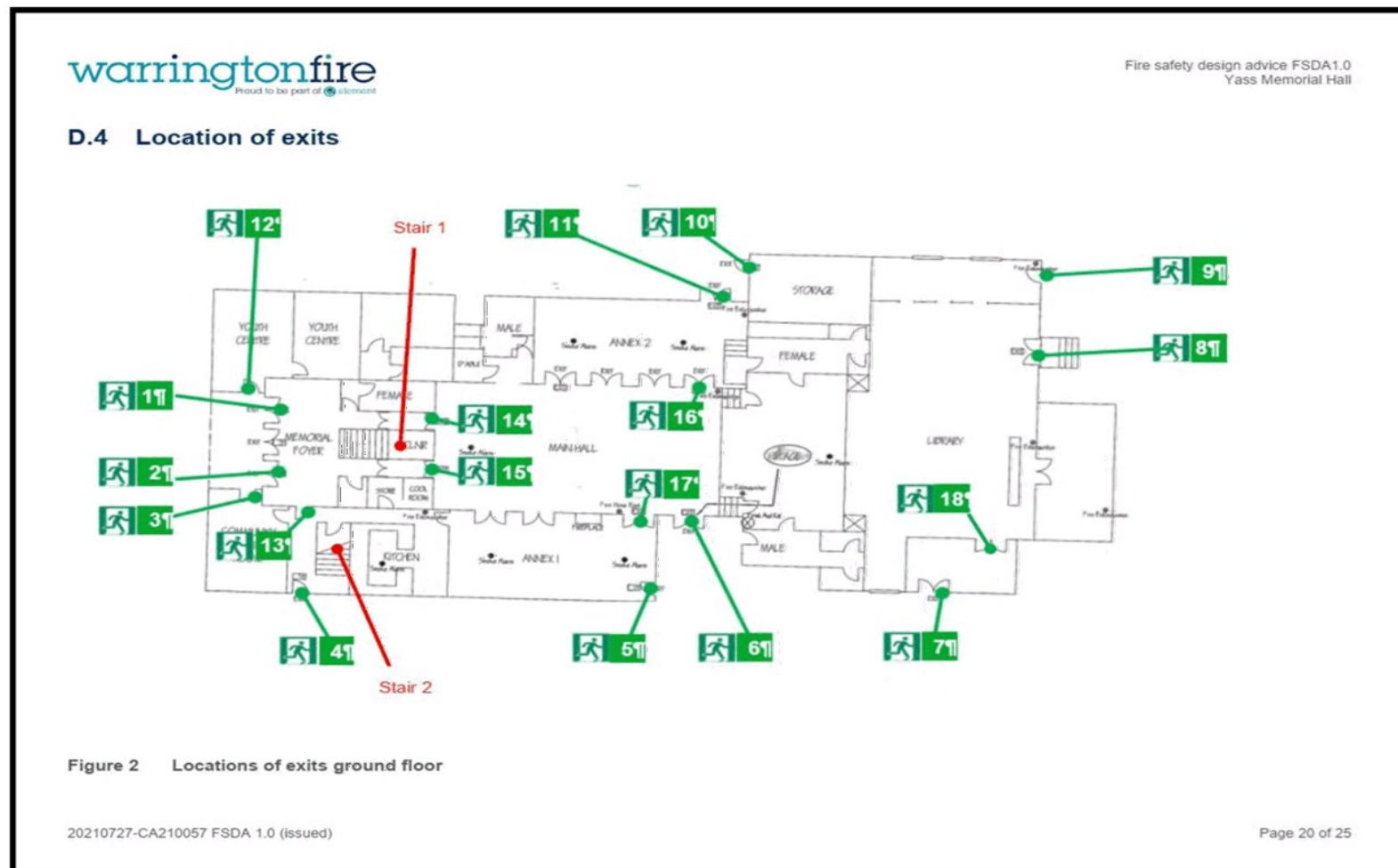
D.3 Exits included in the current building design

The nominated required exits from the building are set out in Table 6 below and shown in Appendix D.4.

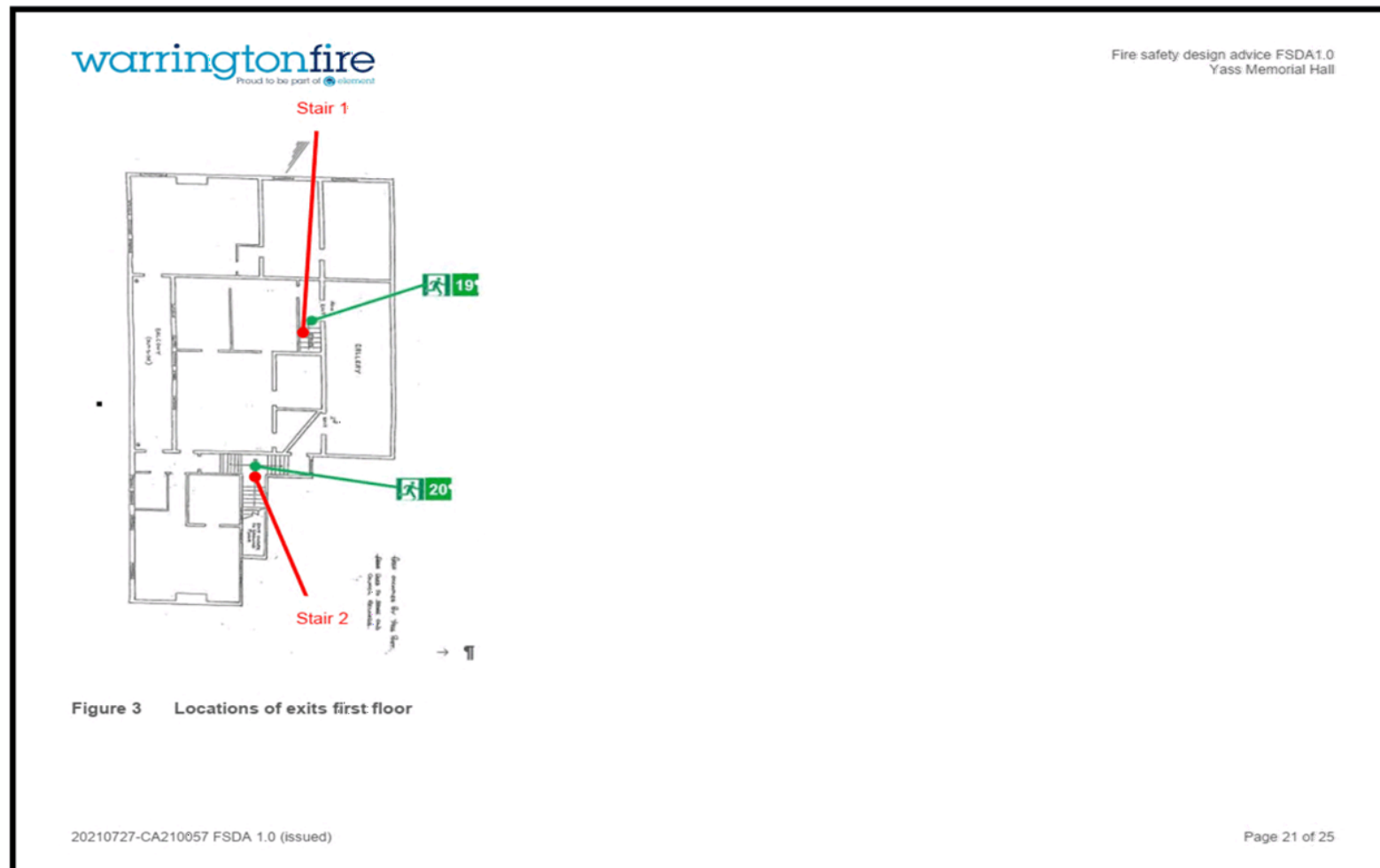
Table 6 Exit details

No	Description	Comments	Unobstructed exit width (m)
Ground – Serving Main hall, annex, kitchen and associated store rooms			
1.	External door	Double-leaf door with panic bar in foyer.	1.43
2.	External door	Double-leaf door with panic bar in foyer.	1.43
3.	External door	Single-leaf door serving community meeting room	1.00
4.	External door	Single-leaf door serving first floor stair	1.00
5.	External door	Single-leaf door serving annex 1	1.00
6.	External door	Double-leaf door with panic bar serving main hall	1.66
7.	External door	Single-leaf door serving library	1.00
8.	External door	Double-leaf door with panic bar serving library	1.28
9.	External door	Single-leaf door serving library	1.00
10.	External door	Double-leaf door with panic bar serving library storage	1.70
11.	External door	Double-leaf door with panic bar serving annex 2	1.38
12.	External door	Single-leaf door serving youth centre	1.00
Total			14.88
Ground – Doors in the path of travel to an exit			
13.	Internal door	Single-leaf door leading to exit 4	1.00
14.	Internal door	Double-leaf door with panic bar leading to exit 1	1.46
15.	Internal door	Double-leaf door with panic bar leading to exit 2	1.46
16.	Internal door	Double-leaf door with panic bar leading to exit 11	1.38
17.	Internal door	Double-leaf door with panic bar leading to exit 5	1.43
18.	Internal door	Power operated door leading to exit 7	1.20
Total			5.30
First floor			
19.	Non-fire-isolated stair	Single-leaf door to stair	1.00
20.	Non-fire-isolated stair	Single-leaf door to stair from gallery	0.90
Total			1.90
<ul style="list-style-type: none"> The exit widths above are approximations based on drawings referenced in Appendix A. The exit widths are the door width plus 250 mm as prescribed under clause D1.6. The exit widths provided in the areas are sufficient for the populations nominated in appendix D.2. Make sure all nominated exit doors are openable at all times and comply with the requirements of clauses D2.19, D2.20 and D2.21 as applicable. 			





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Appendix E Goings and risers – NCC clause D2.13

	Riser (R)		Going (G)		Quantity (2R+G)	
	Max	Min	Max	Min	Max	Min
Public stairways	190	115	355	250	700	550
Private stairways	190	115	355	240	700	550

Notes:

- Private stairways are –
 - stairways in a sole-occupancy unit in a class 2 building or class 4 part; and
 - in any building, stairways which are not part of a required exit and to which the public do not normally have access.
- Going and riser dimensions must be measured in accordance with **Figure 4**.
- The going in tapered treads (except winders in lieu of a quarter or half landing) in a curved or spiral stairway is measured –
 - 270mm in from the outside side of the unobstructed width of the stairway if the stairway is less than 1m wide (applicable to a non-required stairway only); and
 - 270mm from each of the unobstructed width of the stairway if the stairway is 1m wide or more.

Table 7 Riser and going dimensions

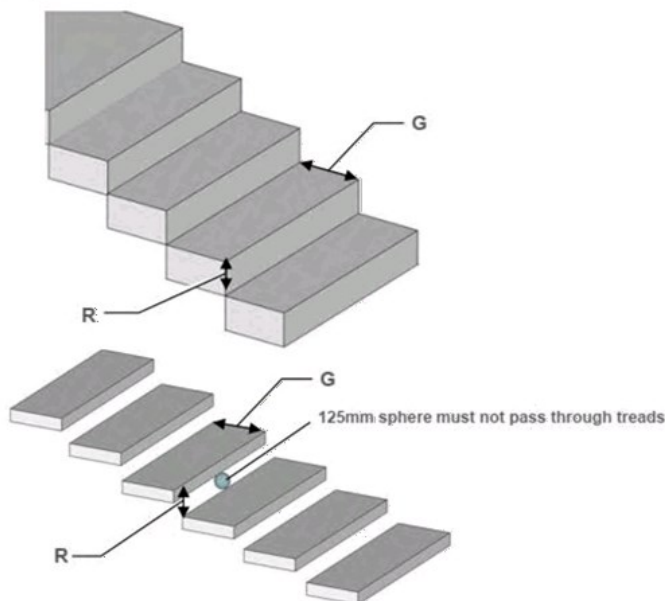


Figure 4 Riser and going for stairways

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Appendix F Barriers to prevent falls – NCC clause D2.16

Barrier construction requirements

1. Barrier heights

Location	Minimum height
(a) Stairways or ramps with a gradient of 1:20 or steeper.	865 mm
(b) Landings to a stair or ramp where the barrier is provided along the inside edge of the landing and does not exceed 500 mm in length.	
(c) In front of fixed seating on a mezzanine or balcony within an auditorium in a Class 9b building, where the horizontal projection extends not less than 1 m outwards from the top of the barrier.	700 mm
(d) In all other locations.	1 m

Notes:

- Heights are measured vertically from the surface beneath, except that for stairways the height must be measured above the nosing line of the stair treads. A transition zone may be incorporated where the barrier height changes from 865 mm on a stair flight or ramp to 1 m at a landing or floor.

2. Barrier openings

Location	Maximum Opening
(a) Fire-isolated stairways, fire-isolated ramps and other areas used primarily for emergency purposes, excluding – (i) external stairways, and (ii) external ramps.	A 300 mm sphere must not be able to pass through any opening; or
(b) Class 7 (other than carparks) and Class 8 buildings.	where rails are used— (i) a 150 mm sphere must not be able to pass through the opening between the nosing line of the stair treads and the rail or between the rail and the floor of the landing, balcony or the like, and (ii) the opening between rails must not be more than 460 mm.
(c) In all other locations.	A 125 mm sphere must not be able to pass through any opening.

Note: The maximum 125 mm barrier opening for a stairway, such as a non fire-isolated stairway, is measured above the nosing line of the stair treads.

3. Barrier climbability

Location	Requirement
(a) Fire-isolated stairways, fire-isolated ramps and other areas used primarily for emergency purposes, excluding – (i) external stairways, and (ii) external ramps.	No requirement.
(b) Class 7 (other than carparks) and Class 8 buildings.	



(c) For floors more than 4 m above the surface beneath in all other locations. Any horizontal or near horizontal elements between 150 mm and 760 mm above the floor must not facilitate climbing.

The following figures illustrate examples in how compliance can be achieved with clause D2.16 for stairways that are not fire-isolated and used primarily for emergency purposes. The illustrations are general and do not cover all scenarios. Ensure that compliance is achieved in accordance with clause D2.16 and the dimensional requirements in the table above.

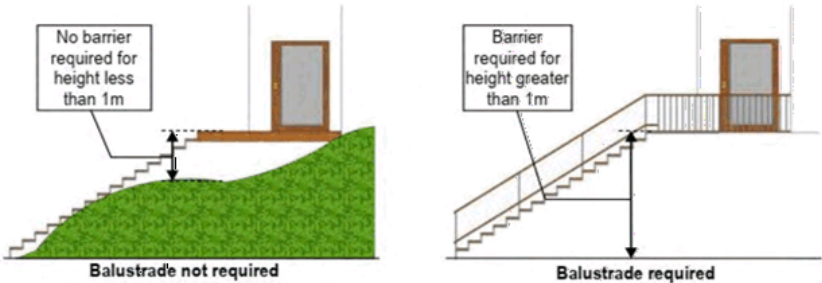


Figure 5 Illustration showing when balustrades are required by the NCC

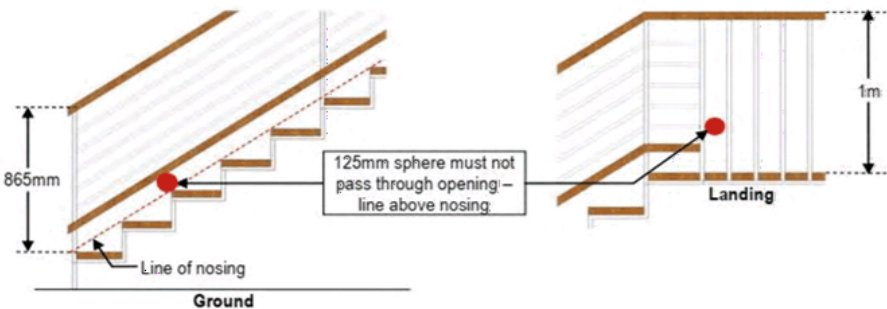


Figure 6 Illustration of balustrade heights and spacing for non-fire isolated stairway

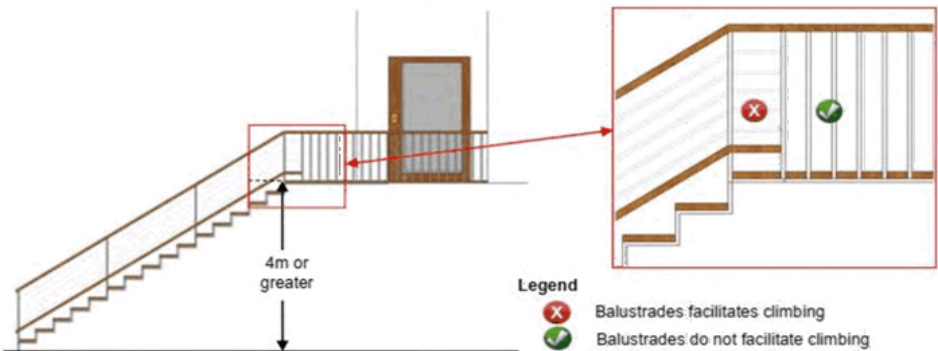


Figure 7 Balustrades located greater than 4m above the surface beneath

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END OF REPORT



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DISCLAIMER:

The opinions expressed in this report are that of the author and are to be taken into account in conjunction with the reports referred to herein.

We trust the above is sufficient to meet your request. Please do not hesitate to contact our office should you require any further information or assistance.

The author hereby makes himself available to provide verbal evidence, clarification or expansion of any information provided herein.

This report refers specifically to the matters requested for opinion of the author. Therefore, this report may not contain the full extent of our investigations nor does it contain all information gathered during our investigations.

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If you have any queries with this report or require further information, please do not hesitate to contact Peak Consulting.

DISPUTE RESOLUTION PROCEDURE

Please note: Peak Consulting has a dispute resolution system available. For details of this please contact our office IN THE FIRST INSTANCE.

CERTIFICATION

This document certifies that the property described in this Inspection Report has been inspected by the Building Consultant in accordance with the level of service requested by the Client and the terms and conditions as set out in this Report, and in strict accordance with AS 4349.1 2007

TERMS AND CONDITIONS

A SCOPE OF INSPECTION AND REPORT

Pre-purchase Property Inspection Report only deals with the detection or non-detection of Structural Damage, Conditions Conducive to Structural Damage and any Significant Defect in the general condition of Secondary Elements and Finishing Elements of construction discernible at the time of inspection, with or without ancillary testing. All other reports are Special-Purpose Inspection Reports.

As requested by the Client, the inspection assessment was based solely on the following inspection carried out by a Building Consultant of the Readily Accessible Areas of the property:

Service Requested A visual examination of surface work, and the carrying out of Tests.

NOTE: In the case of strata and company title properties, the inspection is limited to the interior and immediate exterior of the particular unit being inspected. The complete inspection of other common property areas would be the subject of a Special-Purpose Inspection Report which is adequately specified.

LIMITATIONS

The Client acknowledges:

1. This Inspection Report does not include the inspection and assessment of items or matters outside the scope of the requested inspection and report. Other items or matters may be the subject of a Special-Purpose Inspection Report which is adequately specified (see Exclusions below).
2. This Inspection Report does not include the inspection and assessment of items or matters that do not fall within the consultant's direct expertise.
3. The inspection only covered the Readily Accessible Areas of the property. The inspection did not include areas which were inaccessible, not readily accessible or obstructed at the time of inspection. Obstructions are defined as any condition or physical limitation which inhibits or prevents inspection and may include – but are not limited to – fixed ceilings, wall linings, floor coverings, fixtures, fittings, furniture, clothes, stored articles/materials, thermal insulation, sarking, pipe/duct work, builder's debris, vegetation, pavements or earth.
4. Australian Standard Inspection of Buildings. Part 1 Property Inspections – Residential Buildings recognises that a standard property report is not a warranty or an insurance policy against problems developing with the building in the future.
5. This Inspection Report was produced for the use of the Client. The Building Consultant is not liable for any reliance placed on this report by any third party.



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EXCLUSIONS

The Client acknowledges:

A Standard Property Inspection Report does not cover or deal with:

- Any 'minor fault or defect', i.e. a matter, in view of the age, type and condition of the building being inspected, does not require substantial repairs or urgent attention and rectification;
- Solving or providing costs for any rectification or repair work;
- The structural design or adequacy of any element of construction;
- Detection of wood destroying insects such as termites and wood borers;
- The operation of fireplaces and chimneys;
- Any services including building engineering (electronic), fire and smoke detection or mechanical;
- Any swimming pools and associated pool equipment or spa baths and spa equipment or the like;
- Any appliances such as dishwashers, waste disposal units, ovens, stoves and ducted vacuum systems;
- A review of occupational, health or safety issues such as asbestos content, or the provision of safety glass or swimming pool fencing;
- Whether the building complies with the provisions of any building Act, code, regulation(s) or by-laws; and
- Whether the ground on which the building rests has been filled, is liable to subside, is subject to landslip, earthquakes or tidal inundation, or if it is flood prone.
- Any of the above matters may be the subject of a Special-Purpose Inspection Report which is adequately specified and undertaken by an appropriately qualified inspector.

DEFINITIONS

Structural Damage means a significant impairment to the integrity of the whole or part of the Structure falling into one or more of the following categories:

Structural Cracking and Movement – major (full depth) cracking forming in primary elements resulting from differential movement between or within the elements of construction, such as foundations, footings, floors, walls and roofs.

Deformation – an abnormal change of shape of primary elements resulting from the application of load(s).

Dampness – the presence of moisture within the building, which is causing consequential damage to primary elements.

Structural Timber Pest Damage – structural failure, i.e. an obvious weak spot, deformation or even collapse of timber primary elements resulting from attack by one or more of the following wood destroying agents: chemical delignification; fungal decay (rot); wood borers (borers); and termites (white ants).

Conditions Conducive to Structural Damage means noticeable building deficiencies or environmental factors that may contribute to the occurrence of Structural Damage.

Structure means the load bearing part of the building, comprising the Primary Elements.

Primary Elements means those parts of the building providing the basic load bearing capacity to the Structure, such as foundations, footings, floor framing, load bearing walls, beams or columns. The term 'Primary Elements' also includes other structural building elements including: those that provide a level of personal protection such as handrails; floor-to-floor access such as stairways; and the structural flooring of the building such as floorboards.

Significant Defect means a matter, in view of the age and type of the building being inspected, requires substantial repairs or urgent attention and rectification.

Secondary Elements means those parts of the building not providing load bearing capacity to the Structure, or those non-essential elements which, in the main, perform a completion role around openings in Primary Elements and the building in general such as non-load bearing walls, partitions, wall linings, ceilings, chimneys, flashings, windows, glazing or doors.

Finishing Elements means the fixtures, fittings and finishes applied or affixed to Primary Elements and Secondary Elements such as baths, water closets, vanity basins, kitchen cupboards, door furniture, window hardware, render, floor and wall tiles, trim or paint. The term 'Finishing Elements' does not include furniture or soft floor coverings such as carpet and vinyl or the like.

Client means the person or persons, for whom the Inspection Report was carried out or their Principal.

Principal means the person or persons for whom the report is being obtained.

Building Consultant means a person, business or company who is qualified and experienced to undertake a Standard Property Inspection Report in accordance with Australian Standard AS 4349. "Inspection of Buildings. Part 1: Property Inspections – Residential Buildings".



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Readily Accessible Areas means areas which can be easily and safely inspected without injury to person or property, are up to 3.6 metres above ground or floor levels, in roof spaces where the minimum area of accessibility is not less than 600 mm high by 600 mm wide and subfloor spaces where the minimum area of accessibility is not less than 400 mm high by 600 mm wide, providing the spaces or areas permit entry. Or where these clearances are not available, areas within the consultant's unobstructed line of sight and within arm's length.

Tests mean where appropriate the carrying out of tests using the following procedures and instruments:

Dampness Tests means additional attention to the visual examination was given to those accessible areas which the consultant's experience has shown to be particularly susceptible to damp problems. Instrument testing using an electronic moisture detecting meter of those areas and other visible accessible elements of construction showing evidence of dampness was performed.

Physical Tests means the following physical actions undertaken by the consultant: opening and shutting of doors, windows and draws; operation of taps; water testing of shower recesses; and the tapping of tiles and wall/plaster.

ACCESSIBILITY

Unless specified in writing, the inspection only covered the Readily Accessible Areas of the Building and Site. The inspection did not include areas which were inaccessible, not readily accessible or obstructed at the time of inspection.

Building Interior. The Consultant did not move or remove any ceilings, wall coverings, floor coverings (including carpeting and wooden floorboards), furnishing, equipment, appliances, pictures or other household goods. In an occupied property, furnishings or household items may be concealing defects which may only be revealed when the items are moved or removed.

NOTE. In the case of strata and company title properties or other Class 2 buildings or equivalent, if the inspection was limited to assessing the interior of a particular unit or lot, the Client may have additional liability for defects or faults in the common property. This additional liability can only be addressed through the undertaking of a Special-Purpose Inspection Report which is adequately specified.

Building Exterior, Roof Exterior and Site. In inspecting the Building exterior, roof exterior and site the Consultant did not move or remove any obstructions such as wall cladding, awnings, trellis, earth, plants, bushes, foliage, stored materials, debris or rubbish. Such items may be concealing defects that may only be revealed when the items are moved or removed.

Roof Space In inspecting the roof space of any pitched roof there was no inspection of areas where accessibility was less than 600 mm high by 600 mm wide (but includes areas at the eaves of accessible roof spaces, that are within the consultant's unobstructed line of sight and within arm's length from a point with conforming clearance, i.e. 600 mm high by 600 mm wide).

Bodily access should be provided to the interior of all accessible roof spaces. In accordance with Australian Standard AS 4349 the minimum requirement is a 450 mm by 400 mm access manhole.

Obstructions such as roofing, stored articles, thermal insulation, sarking and pipe/duct work may be concealing evidence of defects which may only be revealed when the obstructions are moved or removed.

Subfloor Space Storage of materials in subfloor areas is not recommended as it reduces ventilation and makes inspection difficult. Obstructions may be concealing evidence of damage or faults which may only be revealed when the obstructions are moved or removed.

Bodily access should be provided to all accessible subfloor areas. In accordance with Australian Standard AS 4349 the minimum requirement is a 500 mm x 400 mm access manhole. In the case of suspended floors, if the clearance between the ground and structural components is less than 400 mm, Australian Standard 3660 recommends that the ground should be excavated to provide the required clearance, subject to maintaining adequate drainage and support to footings.

BUILDING STANDARDS

Building standards changed significantly in the 1970's when the Building Act was passed and again in 1990 when the Building Code of Australia was introduced. Materials and construction techniques are constantly changing and Building Legislation must change to address the latest developments.

Unless a dwelling has been constructed recently it may not comply with current standards. That does not necessarily mean that established dwellings are poorly constructed.

Generally, this assessment is based on the building standards that were current when the dwelling was constructed, which may be different from the current requirements of the Building Act.



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The author is a licenced ~~Builder~~ (123582C NSW), (19957795 ACT).

The author is a licenced Building Consultant (BC737 NSW) (now obsolete). Copies of these licences are available upon request.

The opinions expressed in this report are that of the author and are based on the skills, training and experience gained throughout 26 years licenced practice.

Peak Consulting trust the information included in this report, being impartial to any party is of assistance.

This report should not be relied upon 180 days from the date hereon.

Should you need further information regarding this report please do not hesitate to contact the author.

Signed:



George Pudja

Wednesday, 1 September 2021

